

Brenda Stephens, Chair
Jay Mattingly, Vice-Chair
Steve Cammarata, Commissioner
Monica Dever, Commissioner
Michael Graf, Commissioner
Joaquin Santos, Commissioner
Bob Steinbach, Commissioner



Lomita City Hall
Council Chambers
24300 Narbonne Avenue
Lomita, CA 90717
Phone: (310) 325-7110
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Next Resolution No. PC 2024-05

**AGENDA
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, APRIL 8, 2024
6:00 P.M.**

THE PLANNING COMMISSION HAS RESUMED PUBLIC MEETINGS IN THE COUNCIL CHAMBERS. PARTICIPATION BY MEMBERS OF THE PUBLIC IS ONLY GUARANTEED VIA IN-PERSON ATTENDANCE.

AS A COURTESY, THE CITY MAY ALSO CHOOSE TO ALLOW PUBLIC PARTICIPATION DURING THE MEETING VIA A COMPUTER OR SMART DEVICE USING THE FOLLOWING ZOOM LINK. THE COUNCIL MAY SUSPEND PUBLIC PARTICIPATION VIA ZOOM AT ANY TIME, AND THE MEETING WILL NOT BE CANCELLED NOR SUSPENDED IF TECHNICAL ISSUES PRECLUDE OR IMPACT THE ABILITY TO ACCEPT PUBLIC COMMENT OVER ZOOM. SHOULD YOU WISH TO ENSURE YOU CAN PARTICIPATE IN THIS MEETING, OR COMMENT ON AN ITEM ON THE AGENDA, YOU MUST SHOW UP IN PERSON AT THE MEETING:

<https://us06web.zoom.us/j/86795441153>

Telephone Option: (669) 900-6833 Meeting ID: 867 9544 1153

If you wish to provide public comment during Oral Communications or for a particular agenda item, you may either contact the Deputy City Clerk before the meeting, at 310-325-7110 ext. 141, complete a speaker card and give it to the Deputy City Clerk before or during the meeting, or if participating via Zoom, utilize the “raise hand” function to join the queue to speak when the Chair calls the item for discussion. Your name and city of residency is requested, but not required.

1. OPENING CEREMONIES

- a. Call Meeting to Order
- b. Flag Salute
- c. Roll Call

2. ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on subjects other than those scheduled are requested to do so at this time. Please provide your name and address for the record. In order to conduct a timely meeting, a 3-minute time limit per person has been established. Government Code Section 54954.2 prohibits the Planning Commission from discussing or taking action on a specific item unless it appears on a posted agenda.

3. CONSENT AGENDA

- a. **APPROVAL OF MINUTES:** March 11, 2024

RECOMMENDED ACTION: Approve minutes.

- b. **2023 ANNUAL GENERAL PLAN AND HOUSING ELEMENT PROGRESS REPORTS**

RECOMMENDED ACTION: Receive and file the City’s 2023 Annual General Plan and Housing Element Progress Reports.

4. PUBLIC HEARINGS

- a. **DISCUSSION AND CONSIDERATION OF AN AMENDMENT TO CONDITIONAL USE PERMIT NO. 310 FOR BEER AND WINE SALES FOR OFF-SITE CONSUMPTION AT 2301 PACIFIC COAST HIGHWAY IN THE COMMERCIAL RETAIL (C-R) ZONE**

APPLICANT: Kimberly Duncan, and R. Bruce Evans

PRESENTED BY: Associate Planner MacMorran

RECOMMENDED ACTION: Approve an amendment to Conditional Use Permit No. 310 to allow the existing convenience store and gas station at 2301 Pacific Coast Highway to sell beer and wine for an additional hour beyond the existing hours every evening for off-site consumption and to confirm the categorical exemption from the California Environmental Quality Act (CEQA).

- b. **DISCUSSION AND CONSIDERATION OF GENERAL PLAN AMENDMENT 2024-01, ZONING TEXT AMENDMENT NO. 2024-02, AND ZONING MAP AMENDMENT NO. 2024-01 FOR 24925-25007 WALNUT STREET (APNS: 7375-015-901, 7375-015-902, 7375-015-903, AND 7375-015-904**

APPLICANT: City of Lomita

PRESENTED BY: Associate Planner MacMorran

RECOMMENDED ACTION: Adopt a resolution recommending approval of General Plan Amendment 2024-01, Zoning Text Amendment No. 2024-02, and Zoning Map Amendment No. 2024-01 for 24925-25007 Walnut Street to create a public purpose specific plan for 24925 Walnut St. (Lomita Manor) and 25007 Walnut St. (vacant lot) and recommending an exempt finding from the California Environment Quality Act (CEQA).

- c. **DISCUSSION AND CONSIDERATION OF A REQUEST FOR A ZONE TEXT AMENDMENT TO AMEND TO SECTION 11-1.48.02 (PRINCIPAL USES PERMITTED) OF ARTICLE 48 (C-R (COMMERCIAL-RETAIL)) OF CHAPTER 1 (ZONING) OF TITLE XI (PLANNING AND ZONING) OF THE LOMITA MUNICIPAL CODE REGARDING THE RESTRICTION OF SERVICE-BASED USES ON THE GROUND FLOOR OF COMMERCIAL SHOPPING CENTERS OVER 5,000 SQUARE FEET**

APPLICANT: Filed by David Nosrati (“Applicant”), 3435 Ocean Park Blvd Suites 107-502, Santa Monica, CA, 90405.

PRESENTED BY: Erika Barbero, Assistant Planner

RECOMMENDED ACTION: Continue the item to the May 13, 2024, Planning Commission meeting per request of the applicant.

5. SCHEDULED MATTERS

- a. **COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS**
- b. **UPCOMING DEVELOPMENTS AND BUSINESSES**

6. OTHER MATTERS

- a. **STAFF ANNOUNCEMENTS**
- b. **PLANNING COMMISSIONER ITEMS**
- c. **COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS**

Tuesday, May 7, 2024, City Council meeting, and Tuesday, May 21, 2024, City Council meeting

7. ADJOURNMENT

The next regular meeting of the Planning Commission is scheduled for Monday, May 13, 2024, at 6:00 p.m.


Written materials distributed to the Planning Commission within 72 hours of the Planning Commission meeting are available for public inspection via the City's website and copies are available for public inspection beginning the next regular business day in the City Clerk's Office, 24300 Narbonne Avenue, Lomita.

In compliance with the Americans with Disabilities Act (ADA) if you need special assistance to participate in this meeting, please contact the office of the City Clerk at (310) 325-7110. Notification at least forty-eight (48) hours prior to the meeting will enable the City to make reasonable arrangements.

Any person may appeal all matters approved or denied by the Planning Commission to City Council within 30 days of receipt of notice of action by the applicant. Payment of an appeal fee is required. For further information, contact City Hall at (310) 325-7110.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted not less than 72 hours prior to the meeting at the following locations: Lomita City Hall, Lomita Park, and uploaded to the City of Lomita website at http://www.lomita.com/cityhall/city_agendas/.

Dated Posted: April 3, 2024



Kathleen Horn Gregory, MMC, City Clerk

**MINUTES OF THE
LOMITA PLANNING COMMISSION
REGULAR MEETING
MONDAY, MARCH 11, 2024**

1. OPENING CEREMONIES

a. Call Meeting to Order

The regular meeting of the Lomita Planning Commission was called to order by Chair Cammarata at 6:00 p.m. on Monday, March 11, 2024, in the Council Chambers at Lomita City Hall, 24300 Narbonne Avenue, Lomita, California.

b. Commissioner Steinbach led the flag salute.

c. Roll Call

PRESENT: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf, and Chair Cammarata

ABSENT: None

STAFF PRESENT: Community & Economic Director Rindge, Associate Planner MacMorran, and City Clerk Gregory

2. SELECTION OF CHAIR AND VICE-CHAIR FOR 2024 – 2025

Chair Cammarata opened the floor for nominations.

Commissioner Dever made a motion, seconded by Commissioner Steinbach, to nominate Commissioner Stephens for Chair.

MOTION CARRIED by the following vote:

AYES: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf, and Chair Cammarata

NOES: None

ABSENT: None

Commissioner Dever made a motion, seconded by Chair Cammarata, to nominate Commissioner Mattingly for Vice-Chair.

MOTION CARRIED by the following vote:

AYES: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf, and Chair Cammarata

NOES: None

ABSENT: None

It was the consensus of the Commission to allow the current Chair and Vice-Chair to serve at tonight’s meeting, with the newly appointed Chair and Vice-Chair to assume those positions at the April 8, 2024, meeting, so that they can be brought up to speed on the duties in the interim.

3. ORAL COMMUNICATIONS

Chair Cammarata opened Oral Communications. There being no requests to speak, Chair Cammarata closed Oral Communications.

4. CONSENT AGENDA

a. APPROVAL OF MINUTES: February 12, 2024

RECOMMENDED ACTION: Approve minutes.

Vice-Chair Graf made a motion, seconded by Commissioner Santos, to approve the recommended action, with an edit to item 4a, which inadvertently referenced the Council instead of the Commission.

MOTION CARRIED by the following vote:

- AYES: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf, and Chair Cammarata
- NOES: None
- ABSENT: None

5. PUBLIC HEARINGS

a. DISCUSSION AND CONSIDERATION OF AMENDED VESTING TENTATIVE TRACT MAP NO. 74138 TO AMEND PHASE 2 OF A MIXED-USE PROJECT CONSISTING OF THE DEVELOPMENT OF 16 RESIDENTIAL UNITS WITH A TOTAL OF 39 PARKING SPACES LOCATED AT 24516 NARBONNE AVENUE WITHIN THE D-C (DOWNTOWN COMMERCIAL) ZONE AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) (Applicant: Lorenzo Schiappa of Luigi Schiappa Development, 2040 Lomita Boulevard, Lomita, CA 90717)

RECOMMENDED ACTION: Adopt a resolution recommending approval of the amendment to Vesting Tentative Tract Map No. 74138 to amend Phase 2 of a mixed-use project consisting of the development of 16 residential units with a total of 39 parking spaces located at 24516 Narbonne Ave and recommending exemption finding from the California Environment Quality Act (CEQA).

Chair Cammarata recused himself from discussion of items 5a and 5b due to a business relationship with the applicant. He left the dais and the Council Chambers at 6:06 p.m.

Director Rindge presented the staff report per the agenda material. The City will no longer receive the estimated \$43,000 in exchange for the alley vacation; however the City will maintain jurisdiction of the entire alley for the benefit of utility work and future improvements.

Brief Commission discussion took place relative to why the alley vacation project never went to Council.

Vice-Chair Graf invited the applicant to speak to the project.

Luigi Schiappa, the applicant, stated that there were a lot of complications in terms of logistics of the alley, utilities, and liability.

Vice-Chair Graf opened the public hearing at 6:14 p.m. As there were no requests from the public to speak on this item, he closed the public hearing at 6:15 p.m. and invited further Commission discussion or a motion.

Commissioner Steinbach made a motion, seconded by Commissioner Santos, to approve the recommended action.

MOTION CARRIED by the following vote:

AYES: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf
 NOES: None
 ABSENT: None
 ABSTAIN: Chair Cammarata

- b. DISCUSSION AND CONSIDERATION OF VESTING TENTATIVE TRACT MAP NO. 83968 TO SUBDIVIDE ONE 39,428 FT² LOT INTO A PLANNED RESIDENTIAL DEVELOPMENT CONTAINING NINE SINGLE-FAMILY RESIDENTIAL LOTS AND ONE COMMON LOT AT 2418 253RD STREET WITHIN THE AGRICULTURAL-NONCOMMERCIAL (A-1) ZONE AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)** (Applicant: Luigi Schiappa of Luigi Schiappa Development, 2040 Lomita Boulevard, Lomita, CA 90717)

RECOMMENDED ACTION: Adopt a resolution recommending approval of Vesting Tentative Tract Map No. 83968 to allow subdivision of a 39,428 ft² lot into a planned residential development containing nine single-family residential lots and one common lot subject to the findings and conditions and recommending exemption finding from the California Environment Quality Act (CEQA).

Chair Cammarata recused himself from discussion of items 5a and 5b due to a business relationship with the applicant. He left the dais and the Council Chambers at 6:06 p.m.

Associate Planner MacMorran presented the staff report per the agenda material.

Brief Commission discussion took place relative to fencing and parking.

An error was noted on page 11 of the resolution under “Compliance.” A CUP was referenced instead of the Vesting Tentative Tract Map (VTTM).

Vice-Chair Graf invited the applicant to speak to the project.

Luigi Schiappa stated that he was available to answer any questions.

Vice-Chair Graf opened the public hearing at 6:34 p.m.

Joe Gonzalez, Lomita resident, expressed concerns about possible drainage issues at the project site and suggested a retention tank be installed, as the area experiences flooding when it rains.

Director Rindge stated that an extensive study will be done once the final site plans are completed per Public Works requirements, which would determine stormwater requirements.

Bill Lockwood, Lomita resident, felt the lot sizes were much too large for the neighborhood, and shared concerns about further drainage issues in the area.

As there were no further requests from the public to speak on this item, Vice-Chair Graf closed the public hearing at 6:48 p.m. and brought the item back to the Commission for further discussion or a motion.

Brief Commission discussion was held relative to potential drainage issues in that area.

Vice-Chair Graf invited a motion.

Commissioner Stephens made a motion, seconded by Commissioner Santos, to approve the recommended action, with the following correction to the resolution: Under "Compliance" on page 11, instead of referencing a CUP, the resolution will reference the Vesting Tentative Tract Map.

MOTION CARRIED by the following vote:

AYES: Commissioners Dever, Mattingly, Santos, Steinbach, Stephens, Vice-Chair Graf
 NOES: None
 ABSENT: None
 ABSTAIN: Chair Cammarata

Chair Cammarata returned to the dais at 6:53 p.m.

6. SCHEDULED MATTERS

a. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS

Director Rindge stated that the Council approved a contract for a mural to be placed at Lomita Park and Council met on March 7 for the mid-year budget review.

b. UPCOMING DEVELOPMENTS AND BUSINESSES

Director Rindge stated that there are no updates since the February 2024 Planning Commission meeting.

Brief discussion took place relative to businesses that have closed or are closing soon in the City, and projects that have pulled out.

7. OTHER MATTERS

a. STAFF ANNOUNCEMENTS

Director Rindge stated that Planning Intern Weisberg found full-time work, so the City is in recruitment for a replacement Planning Intern, and a second Code Enforcement Officer started work two weeks ago. The April 8, 2024, Planning Commission meeting will have a pretty big agenda, including a consent agenda item on the General Plan/Housing Element annual progress reports; this update will be included on the March 19, 2024, City Council meeting agenda.

b. PLANNING COMMISSIONER ITEMS

Commissioners thanked Chair Cammarata and Vice-Chair Graf for a job well done, and congratulated Commissioners Stephens and Mattingly on their appointments as new Chair and Vice-Chair respectively.

Chair Cammarata asked if there was an update on revising the Planning Commission bylaws. Director Rindge stated that it is still in the works across all boards.

c. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Planning Commission representation at the Tuesday, April 2, 2024, and the Tuesday, April 16, 2024, City Council meetings is to be determined.

8. ADJOURNMENT

As there was no further business to discuss, Chair Cammarata adjourned the meeting at 7:07 p.m.



Linda E. Abbott, CMC, Deputy City Clerk



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission **Item No. 3b**

FROM: Brianna Rindge, Community & Economic Development Director

MEETING DATE: April 8, 2024

SUBJECT: 2023 Annual General Plan and Housing Element Progress Reports

RECOMMENDATION

Receive and file the City's 2023 Annual General Plan and Housing Element Progress Reports.

BACKGROUND

Pursuant to Government Code Section 65400(a)(2), by April 1 of each year, City staff is required to submit an Annual Progress Report (APR) for the General Plan and also specifically for the Housing Element to the State Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR). This annual report must address the City's efforts in meeting the programs and Regional Housing Needs Assessment (RHNA) targets within its adopted Housing Element. Pursuant to this requirement, staff prepared the 2023 APRs for Planning Commission and City Council review. This item was also scheduled for the March 29, 2024 City Council meeting.

Please note that the progress reports do not take into account the General Plan Update currently in process and projected for adoption by the end of 2024.

The city adopted its current Housing Element in December 2021, revised in October 2022, and received certification from HCD on October 14, 2022. The current Housing Element covers the years 2021 through 2029 and is a mandated element of the City's General Plan. It includes information related to the City's existing housing needs, an analysis of the City's population and employment trends, household characteristics, an inventory of land suitable for residential development, and goals, policies, and programs intended to meet the identified housing needs and state-mandated requirements. For more information, visit lomitacity.com/general-plan.

Assembly Bill 72 provides HCD authority to revoke Housing Element compliance if it determines that a jurisdiction is not adequately implementing the adopted Housing

Element. The City is required to closely track the status of its Housing Element programs to ensure continued compliance. While the City has control over zoning and other development regulations and policies, the City does not construct or finance actual units. The effective level of housing construction is impacted by a multitude of financial, geographic, and sociopolitical factors that are beyond the City's regulatory control.

GENERAL PLAN APR

The State does not provide a specific form or format to submit the General Plan APR. The purpose of the report is to demonstrate how the City's activities correspond to the General Plan's adopted goals, policies, and implementation measures. The report features those activities that played a significant role in implementation of the existing General Plan for the calendar year.

HOUSING ELEMENT APR

The APR covers activity from January 1, 2023, to December 31, 2023. The State developed a standardized APR form for municipalities to utilize for annual reporting purposes, which includes the following tables. The City used the Southern California Association of Governments' accessory dwelling unit rent analysis to determine RHNA income categories.

Table A – Housing Development Applications Submitted – lists all new residential units submitted and deemed complete for building permit or entitlement.

Table A2 – Annual Building Activity Report Summary – lists entitlement approvals, building permits, and Certificates of Occupancy for all new residential units, by income level.

Table B – Regional Housing Needs Allocation Progress – autopopulates with data from prior years and Table A2. This table keeps track of the City's progress in meeting its RHNA allocation by affordability.

Tables C, E, F, F2, G, H, I, J, K, & LEAP – City has no related data to share for 2023.

Table D – Program Implementation Status – describes progress made on the 31 programs identified in the City's certified Housing Element.

Summary – autopopulates according to data entered into the other tables.

CEQA

Review and submittal of the attached report is not a project requiring review under the California Environmental Quality Act (CEQA).

OPTIONS

Information only. Receive and file.

ATTACHMENTS

1. 2023 Annual Progress Report of Lomita's Adopted General Plan
2. 2023 Annual Progress Report of Lomita's Housing Element - State Reporting Forms

Prepared by:

Brianna Rindge

Brianna Rindge
Community & Economic Development Director

Prepared by:

Laura MacMorran

Laura MacMorran
Associate Planner

City of Lomita Community & Economic Development Department



2023 General Plan Annual Progress Report

Annual Progress Report on the Currently Adopted Lomita General Plan

Reporting Period: Year 2023
(January 1, 2023 – December 31, 2023)

The purpose for the Annual Progress Report is to:

- assess the status of General Plan implementation in accordance with adopted goals, policies and action measures
- identify any necessary adjustments or modifications to the General Plan as a means to improve local implementation
- convey a clear correlation between land use decisions made during the 12-month reporting period and the goals, policies and implementation measures contained in the General Plan; and
- provide information regarding local agency progress in meeting its share of regional housing needs.

The current Lomita General Plan was adopted by the Lomita City Council on May 4, 1998. The Lomita General Plan contains the seven state-required elements which are land use, circulation, housing, conservation, open space, safety and noise. The State allows the combining of elements or the addition of new elements as long as the required seven elements are present in some fashion. Lomita’s General Plan contains the following elements.

Lomita General Plan Element	Update Status
Safety	Updated & adopted December 2021
Housing	Updated & certified October 14, 2022
Land Use	Currently undergoing update; projected completion by end of 2024
Circulation	
Resource Management (Open Space & Conservation)	
Noise	
Economic Development	
Implementation	

On February 23, 2023, the City released a request for proposals for its General Plan Update, Program Environmental Impact Report, and zoning code update including objective design standards. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan.

Implementation Progress Review by Element

Several of the activities listed contribute to multiple Elements. Four activities contribute to the success of all 7 Elements:

- Released Request for Proposals for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan.
- Extended agreement with Kiley and Associates to Provide Federal Legislative Advocacy Services Approved July 2023
- Involvement with Contract Cities, The League, SBCCOG, NLC, SCAG, and various other
- legislative partners
- Continued monitoring and communicating formal positions on proposed bills to State and Federal representatives
- continue to work with California Consulting on the procurement of grants for City projects such as park improvements and multi-modal transportation improvements
- Participated at two Contract Cities conferences with State legislators

Housing Element

In 2022, the State certified the City of Lomita's Housing Element. The Annual Housing Progress Report (**Table 4 of Attachment 2 to the staff report**) provides detailed analysis of the progress made towards achieving the housing goals within the 31 programs including meeting the Regional Housing Needs Allocation. For the Sixth Housing Cycle (2021-2029), the City's Regional Housing Need Allocation (RHNA) is 827 units. Although cities do not control and are not required to directly participate in housing production, Lomita aims to work towards and facilitate the production of housing.

Safety Element

On December 21, 2021, City Council certified the Initial Study/Mitigated Negative Declaration and adopted General Plan Amendment 2021-02 for the updated 2021-2029 Safety Element. The Safety Element goals, policies, and actions provide the City's safety roadmap with a 20-year horizon, including a comprehensive hazard mitigation and emergency response strategy with five goals, 21 policies, and 64 action items. Since adoption, the City took the following steps towards achieving its safety goals.

- Approved American Red Cross facility use agreement to designate the Tom Rico Center and Marc Fosnaugh gym an official disaster shelter. Staff monitoring for

grant opportunities to help fund improvements.

- Secured FEMA funding of \$72,680 for project costs and \$3,622 for grant management costs to update the City's Local Hazard Mitigation Plan under the Hazard Mitigation Grant Program. Awarded Request for Proposals.
- Active Community Response Emergency Team (CERT) committee meeting monthly. CERT is a group of Federal Emergency Management Agency trained volunteers who provide relief to victims of disasters by assisting the City of Lomita in preparing for, responding to, and recovering from emergencies.
- Emergency generator and new roof for Appian Way Pump Station.
- Worked with Area G Disaster Management Area Coordinator to conduct a preliminary review of Lomita's Emergency Response plan.
- Provided sandbags to mitigate the impact of potential flooding and established a readily available sandbag distribution point for residents.
- Obtained Government Emergency Telecommunications Service (GETS) cards for Emergency Operations Center employees.
- Marketed the importance of address number posting for emergency services through the City's website, social media, newsletter, and e-newsletter.
- Coordinated with the American Red Cross Executive Director for the South Bay Chapter to establish a collaboration for the City to host smoke detector alarm installation and blood drive events.
- Passed an ordinance to amend emergency shelter regulations in line with State law.
- Code enforcement staff opened cases on dwellings constructed or converted without building permits and secured several vacant unsecured buildings to reduce risk of fire related to unsafe structures or hazardous conditions related to vegetation or outdoor storage.
- Regular contact with public safety partners for situational awareness.

Circulation Element

Last updated in 1998, the Circulation Element will be updated by January 1, 2025. The element establishes 9 policies and, in 2022, the City deployed the following.

- Obtained Sustainable Communities Grant of \$289,500 for Lomita's Citywide School Loading Zone Study for Vision Zero Neighborhood Planning Initiatives & Infrastructure.
- Conducted and completed Traffic Calming Study/Toolkit including public engagement meetings.
- Awarded Request for Proposals and kicked-off Pavement Management Program including extensive field investigation and sampling to extend the life of the street across approximately 6,529,000 square feet of pavement, yielding significant repairs and resurfacing of streets where slurry seal would not be sufficient.
- Began field surveyance of each segment of pavement within the City to update the City's Pavement Management System which tracks past, present, and future

pavement conditions and street maintenance/rehabilitation projects, establishing project prioritization.

- Completed Street reconstruction in Zones C & F.
- Managed Dial-a-Ride program yielding over 1,500 trips.
- Adopted ordinance to expand commercial parking configuration options to include time-limited parking, designated parking spaces, and wayfinding for pick-up or drive-up retail.
- Adopted ordinance defining vehicle movement following 72-hour parking notice.
- Adopted ordinance to amend covered parking requirements per State law.
- Hired City's first Parking Enforcement Supervisor and officers.
- Citywide refuse collection and street sweeping improvements.
- Initiated City street signage inspection & inventory project.

Resource Management Element

Last updated in 1998, the Resource Management Element, which includes a focus on both open space and conservation, will be updated by January 1, 2026. The element institutes 17 policies and, in 2023, the City implemented the following related projects.

- Hired multiple new engineer positions to improve completion time of capital projects.
- Awarded FEMA Hazard Mitigation Assistance Grant in the amount of \$1,124,884.50 for the 247th Street Area Water Main Replacement Project. Scope of work approved and authorized for bidding.
- Awarded contract for Sewer System Master Plan. Established sewer system model based upon land/parcel usage, data from Los Angeles County Department of Public Works on sewer maintenance, and flow monitoring conducted in the sewer to validate the model. Conducted two week-long flow monitoring. Created a sewer system model and working calibration.
- Awarded Request for Proposals for and conducted New Groundwater Well Feasibility Study.
- Progressed on construction of the Cypress Water Production Facility (CWPF) Upgrade with Granular Activated Carbon (GAC) Project. Hazen and Sawyer continue to provide support for the permitting with the Division of Drinking Water (DDW). During this period, RC Foster worked on pipe labelling, security camera system, the data control system, internet service, electrical components, security camera system, the data control system (SCADA), electrical/instrumentation work, and more.
- As part of the City's commitment to transparent operations of the City's water system, Lomita hosts monthly tours of CWPF open to residents and business owners in the Lomita area. The tours are an opportunity for residents to get answers to some common water questions and to learn more about the City's water supply and upcoming projects and programs.
- Tested all 160+ backflow devices within the water system.

- Completed Water Supply and Demand Assessment resulting in anticipation that the City maintains adequate water supply to meet water demands.
- Awarded design and construction contract for the Downtown Lomita Multi-Benefit Stormwater Project for stormwater features along Lomita Boulevard and Narbonne Avenue consisting of constructing approximately 3,300 linear feet of PVC water pipeline and appurtenances to mitigate local and downstream flood risk, improve water quality, and reduce the heat island effect in the downtown Lomita area. In addition, the project includes features to beautify the neighborhood and promote healthy transportation and recreation.
- Hired consultant to ensure new construction projects adhere to stormwater best management practices and Low Impact Development requirements.
- Released Request for Proposals for additional efforts toward stormwater/MS4 compliance.
- Enrolled in the Clean Truck Check Program with the California Air Resources Board for heavy duty vehicles.
- Organic waste collection ongoing.
- Maintained robust parks & recreation athletics and wellness program of classes for everyone from youth to seniors.
- Worked with the Port of LA to benefit from a loan of a replica Waterfront Red Car to display at the Lomita Railroad Museum property.
- Improved parks facilities including new and/or improved athletic equipment, security lighting, benches, tables, and building maintenance.
- Ongoing evaluation and maintenance of citywide sidewalks, trees, drains, curb/gutters, pipes, potholes, landscaped areas, telecommunications, water mains, and City facilities.
- Completed and shared Consumer Confidence Report providing updated water quality system information to customers.

Land Use Element

Last updated in 1998, the Land Use Element will be updated in time for the State's October 2024 deadline for rezoning. The element conveys 19 policies and in 2023, the City completed the following related projects.

- Revised and streamlined project review process across departments.
- Established online permitting system for all planning and public works discretionary and ministerial applications.
- Adopted ordinance to expand outdoor dining standards.
- Passed an ordinance expanding zoning districts where the keeping of chickens is allowed.
- Adopted ordinance updating building code.
- Approved 1,123 building permits
- Inspected over 1,000 private properties to ensure a safely built environment.
- Declared a prominent site a public nuisance through the provisions of the municipal

- code; awarded the contract for abatement and testing for lead and asbestos.
- Hired City's first code enforcement supervisor as well as a part-time contract officer and full-time contract officer.
 - Removed 650+ graffiti & dumping instances.
 - Generated 80+ residential property records reports to advise new homebuyers of existing permits and code violations.
 - Through the combined efforts of Planning and Code Enforcement, 350+ properties gained new compliance with Lomita Municipal Code.
 - Contracted with DataTicket to encourage compliance by collecting upon code enforcement citations; moved from written citations to electronically recorded citations.
 - Planned and hosted over 30 community events including the Anti-Gang and Drug Free Walk, Lemonade Day, and Health Fair for all ages.
 - Kaia South Bay officially opened and held ribbon-cutting.

Economic Development Element

The City most recently updated its Economic Development Element in 1998 and is currently updating the element although not required by the State. In 2023, the City took the following steps towards achieving the Economic Development Element's goals and implementation efforts.

- Approved permits for the opening of a new Target and also a Grocery Outlet at a major node near the middle of the city to spawn further investment within the city and diminish leakage.
- The City's Community Development Advisory Board approved the Community Development Block Grant roster (budget) for FY 23-24 in the amount of \$140,077 to fund Residential Rehabilitation, Lifeline and the Job Creation and Business Incentive Loan Programs. For Residential Rehabilitation, Two applications were approved and both projects began construction. The Lifeline program provides emergency response service for a total of 19 subscribers currently enrolled. The program accepts applications from Lomita residents who are at least 55 years old or disabled.
- Continued to award businesses through the ARPA-funded Façade Improvement Program and Job Creation Program.
- Selected for the USC Sunstone Business Improvement Program to expand entrepreneurship in Lomita.
- Collaborated with the Lomita Chamber of Commerce to host the State of the City Address and national Lemonade Day to encourage youth entrepreneurship.
- Completed 500+ business zoning clearances.

Noise Element

Last updated in 1998, the Noise Element will be updated by January 1, 2026. The element institutes 17 policies and, in 2023, the City implemented the following related projects.

- Approved \$50,000 for the purchase of a zero-emission vehicle for parking enforcement use.
- Approved \$35,000 for the purchase of an Electric Vehicle for Public Works' Water Division.
- Adopted ordinance to mitigate sound created by animals including chickens.
- Rotation of speed radar signs ongoing.
- Continue to monitor noise throughout Lomita and enforce the standards and regulations of the City's Noise Control Ordinance.
- Consider noise during public hearings of all discretionary entitlements.
- Review adjacent jurisdictions' discretionary projects for noise impacts on Lomita.

For questions, please contact:

Brianna Rindge, AICP
Director of Community & Economic Development
City of Lomita
b.rindge@lomitacity.com

Jurisdiction	Lomita	
Reporting Year	2023	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

Note: "+" indicates an optional field
Cells in grey contain auto-calculation formulas

**Table A
Housing Development Applications Submitted**

Project Identifier					Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Density Bc Applicz		
1					2	3	4	5							6	7	8	9	10	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Date Application Submitted (see instructions)	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project	Please select streamlining provision/s the application was submitted pursuant to.	Did the housing development application seek incentives or concessions pursuant to Government Code section 65915?	
Summary Row: Start Data Entry Below								0	4	0	12	0	1	15	32	25	7			
7375-014-029	7375-014-029	25107 Eshelman Ave		ADU 134	ADU	R	1/7/2023				1					1	1		NONE	No
7373-012-039	7373-012-039	25308 Cypress Street		ADU 135	ADU	R	1/20/2023							1	1	1			NONE	No
7376-019-005	7376-019-005	2122 247th St		ADU 136	ADU	R	3/2/2023				1				1		1		NONE	No
7374-007-019	7374-007-019	2129 240th St		ADU 137	ADU	R	3/20/2023						1		1	1			NONE	No
7373-018-080	7373-018-080	2423 256th St		ADU 145	ADU	R	1/27/2023				1				1	1			NONE	No
7376-018-012	7376-018-012	24672 Woodward Ave		ADU 138	ADU	R	1/20/2023							1	1	1			NONE	No
7374-013-031	7374-013-031	24324 Lomita Dr		ADU 139	ADU	R	3/27/2023		1						1	1			NONE	No
7376-017-011	7376-017-011	24709 Woodward Ave		ADU 140	ADU	R	4/4/2023				1				1	1			NONE	No
7553-009-035	7553-009-035	26038 Oak Street		ADU 142	ADU	R	4/19/2023							2	2		2		NONE	No

7373-017-030	7373-017-030	2432 254th Street	JADU 3	ADU	R	4/19/2023									1					1	1		NONE	No		
7549-003-007	7549-003-007	2005 263rd St	ADU 143	ADU	R	5/9/2023														1	1	1		NONE	No	
7549-004-004	7549-004-004	26208 Oak St	ADU 144	ADU	R	5/18/2023									1						1	1		NONE	No	
7372-018-040	7372-018-040	24718 Walnut	ADU 145	ADU	R	5/1/2023														1	1	1		NONE	No	
7553-017-038	7553-017-038	1922 261st St	ADU 146	ADU	R	7/6/2023														1	1	1		NONE	No	
7374-008-019	7374-008-019	23833 Eshelman Ave	JADU 4	ADU	R	8/17/2023															1	1		NONE	No	
7411-014-049	7411-014-049	26230 Western Ave	ADU 147	ADU	R	8/18/2023														1	1	1		NONE	No	
7411-014-049	7411-014-049	24600 Cypress Street	ADU 148	ADU	R	8/21/2023														1	1	1		NONE	No	
7553-017-018	7553-017-018	26116 Regent Ave	ADU 149	ADU	R	8/2/2023																1	1		NONE	No
7374-002-025	7374-002-025	2050 Lomita Park Pl	ADU 150	ADU	R	9/8/2023																1	1		NONE	No
7376-018-013	7376-018-013	24676 Woodward Avenue	ADU 151/SB 9		R	9/12/2023									1						2	3		3	NONE	No
7373-007-002	7373-007-002	25618 Reed Drive	ADU 152	ADU	R	9/18/2023																1	1		NONE	No

7376-019-011	7376-019-011	2137 248th St		ADU 153	ADU	R	9/18/2023					1						1	1		NONE	No		
7376-012-020	7376-012-020	24615 Moon St		ADU 154	ADU	R	9/28/2023					1						1	1		NONE	No		
7553-017-016	7553-017-016	1884 261st St.		ADU 155	ADU	R	9/29/2023											1	1	1		NONE	No	
7375-018-004	7375-018-004	1912 253rd St		ADU 156	ADU	R	10/9/2023					1						1	1			NONE	No	
7373-014-036	7373-014-036	2219 254th St		ADU 157	ADU	R	11/16/2023											1	1	1		NONE	No	
7376-007-034	7376-007-034	2355 249th St.		ADU 158	ADU	R	11/8/2023			1								1	1			NONE	No	
7375-023-033	7375-023-033	25612 Oak St		ADU 159	ADU	R	11/28/2023											1	1		1		NONE	No
7376-022-018	7376-022-018	2059 248th Street		ADU 160	ADU	R	12/18/2023											1	1	1			NONE	No
																							0	
																							0	
																							0	
																							0	
																							0	

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier				Unit Types		Affordability by Household Incomes - Completed Entitlement									
1				2	3	4							5	6	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements
Summary Row: Start Data Entry Below							0	3	0	10	0	1	8		22
	7373004007	25215 Cypress St.		2012030022	ADU	R									0
	7553003114	26103 & 26103 1/2 Narbonne Ave.		2105130003	2 to 4	O									0
	7553003114	26105 & 26105 1/2 Narbonne		2105130004	2 to 4	O									0
	7553003114	26107 & 26107 1/2 Narbonne		2105130005	2 to 4	O									0
	7553003114	26109 & 26109 1/2 Narbonne		2105130006	2 to 4	O									0
	7373007032	25622 1/2 Pennsylvania Ave.		2108110025	ADU	R									0
	7373011004	25018 Cypress St.		2109130019	ADU	R									0
	7376002018	24373 Pennsylvania Ave.		2202010027	ADU	R									0
	7376004029	2416 1/2 247th St.		2203040004	ADU	R									0
	7549002033	26217 Ocean		2205130006	ADU	R									0
		26016 Oak St.		2207070022	SFD	O									0
	7375006007	2116 250th St.		2207270012	ADU	R									0
	7374013020	24202 1/4 Lomita Dr.		2210270028	ADU	R									0
	7411-014-050	26320 Western Ave.		2305160010	SFD	O									0
	7374008021	23843 Eshelman Ave.		2306090001	ADU	R									0
	7553017018	26114 Regent Ave.		2309280023	ADU	R									0
	7373006048	2325 Stratford Ave.		2207070004	ADU	R									0
	7373009002	25612 1/2 Lucille Ave		2207270032	ADU	R									0
	7373010002	25506 Cypress St.		2210070012	ADU	R									0
	7373013010	2229 255th St.		2103040033	ADU	R									0
	7373017030	2432 1/2 254th		2304140003	ADU	R									0
	7373018081	2425 256th St.		2207140052	ADU	R									0
	7375007011	25032 1/2 Oak		2210210002	ADU	R									0
	7375011011	25422 Oak St.		2305120001	ADU	R									0
	7410016011	1739 1/2 252nd St.		2303090023	ADU	R									0
	7375020011	1921 1/2 257th St.		2208170022	ADU	R									0
	7376005022	2456 1/2 248th St.		2210270027	ADU	R									0

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Building Permits							8	9
Current APN	Street Address	Project Name*	7							Building Permits Date Issued	# of Units Issued Building Permits
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income		
			0	2	0	10	0	1	18		31
7373004007	25215 Cypress St.										0
7553003114	26103 & 26103 1/2 Narbonne Ave.										0
7553003114	26105 & 26105 1/2 Narbonne Ave.										0
7553003114	26107 & 26107 1/2 Narbonne Ave.										0
7553003114	26109 & 26109 1/2 Narbonne Ave.										0
7373007032	25622 1/2 Pennsylvania Ave.										0
7373011004	25018 Cypress St.										0
7376002018	24373 Pennsylvania Ave.										0
7376004029	2416 1/2 247th St.					1				6/27/2023	1
7549002033	26217 Ocean Ave.										0
	26016 Oak St.										0
7375006007	2116 250th St.										0
7374013020	24202 1/4 Lomita Dr.										0
7411-014-050	26320 Western Ave.										0
7374008021	23843 Eshelman Ave.							1	11/29/2023		1
7553017018	26114 Regent Ave.					1			9/25/2023		1
7373006048	2325 Stratford Ave.							1	5/4/2023		1
7373009002	25612 1/2 Lucille Ave			1					6/8/2023		1
7373010002	25506 Cypress St.							1	4/25/2023		1
7373013010	2229 255th St.							1	6/20/2023		1
7373017030	2432 1/2 254th			1					11/27/2023		1
7373018081	2425 256th St.					1			10/16/2023		1
7375007011	25032 1/2 Oak					1			10/4/2023		1
7375011011	25422 Oak St.							1	12/7/2023		1
7410016011	1739 1/2 252nd St.							1	10/2/2023		1
7375020011	1921 1/2 257th St.					1			8/10/2023		1
7376005022	2456 1/2 248th St.					1			10/31/2023		1
7376009033	24659 Cypress St.							1	3/21/2023		1
7376010022	2353 246th Pl							1	5/12/2023		1
7376011005	24340 1/2 Pennsylvania Ave.					1			3/6/2023		1
7376017018	24673 1/2 Woodward Ave.					1			3/28/2023		1
7376020001	2136 1/2 248th St.					1			12/12/2023		1
7411030007	26343 Alta Vista Ave.							1	6/9/2023		1
7549004004	26208 1/2 Oak St.					1			9/27/2023		1
7553009039	26016 Oak St.							9	11/27/2023		9
7375-018-004	1912 253rd St										0
7375-014-029	25107 Eshelman Ave										0
7373-012-039	25308 Cypress Street										0
7374-007-019	2129 240th St										0
7373-018-080	2423 256th St										0
7376-018-012	24672 Woodward Ave										0
7374-013-031	24324 Lomita Dr										0
7376-017-011	24709 Woodward Ave										0

7373-017-030	2432 254th Street										0
7549-003-007	2005 263rd St										0
7549-004-004	26208 Oak St										0
7372-018-040	24718 Walnut										0
7553-017-038	1922 261st St										0
7374-008-019	23833 Eshelman Ave										0
7411-014-049	26230 Western Ave										0
7411-014-049	24600 Cypress Street										0
7553-017-018	26116 Regent Ave										0
7374-002-025	2050 Lomita Park Pl										0
7373-007-002	25618 Reed Drive										0
7376-019-011	2137 248th St										0
7376-012-020	24615 Moon St										0
7376-008-004	2322 247th St.							1	9/19/2023		1
7373-014-036	2219 254th St										0
7376-007-034	2355 249th St.										0

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			Affordability by Household Incomes - Certificates of Occupancy									
Current APN	Street Address	Project Name*	10						11	12		
			Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) Date Issued	# of Units issued Certificates of Occupancy or other forms of readiness	
			0	0	0	6	0	0	11		17	
7373004007	25215 Cypress St.								1	9/25/2023	1	
7553003114	26103 & 26103 1/2 Narbonne Ave.								2	5/9/2023	2	
7553003114	26105 & 26105 1/2 Narbonne Ave.								2	5/9/2023	2	
7553003114	26107 & 26107 1/2 Narbonne Ave.								2	5/9/2023	2	
7553003114	26109 & 26109 1/2 Narbonne Ave.								2	5/9/2023	2	
7373007032	25622 1/2 Pennsylvania Ave.					1				8/1/2023	1	
7373011004	25018 Cypress St.					1				3/2/2023	1	
7376002018	24373 Pennsylvania Ave.					1				3/7/2023	1	
7376004029	2416 1/2 247th St.					1				1/25/2023	1	
7549002033	26217 Ocean Ave. 26016 Oak St.					1				8/31/2023	1	
7375006007	2116 250th St.								1	11/13/2023	1	
7374013020	24202 1/4 Lomita Dr.					1				8/21/2023	1	
7411-014-050	26320 Western Ave.										0	
7374008021	23843 Eshelman Ave.								1	12/14/2023	1	
7553017018	26114 Regent Ave.										0	
7373006048	2325 Stratford Ave.										0	
7373009002	25612 1/2 Lucille Ave										0	
7373010002	25506 Cypress St.										0	
7373013010	2229 255th St.										0	
7373017030	2432 1/2 254th										0	
7373018081	2425 256th St.										0	
7375007011	25032 1/2 Oak										0	
7375011011	25422 Oak St.										0	
7410016011	1739 1/2 252nd St.										0	
7375020011	1921 1/2 257th St.										0	
7376005022	2456 1/2 248th St.										0	
7376009033	24659 Cypress St.										0	
7376010022	2353 246th Pl										0	
7376011005	24340 1/2 Pennsylvania Ave.										0	
7376017018	24673 1/2 Woodward Ave.										0	
7376020001	2136 1/2 248th St.										0	
7411030007	26343 Alta Vista Ave.										0	
7549004004	26208 1/2 Oak St.										0	
7553009039	26016 Oak St.										0	
7375-018-004	1912 253rd St										0	
7375-014-029	25107 Eshelman Ave										0	
7373-012-039	25308 Cypress Street										0	
7374-007-019	2129 240th St										0	
7373-018-080	2423 256th St										0	
7376-018-012	24672 Woodward Ave										0	
7374-013-031	24324 Lomita Dr										0	
7376-017-011	24709 Woodward Ave										0	
7373-017-030	2432 254th Street										0	
7549-003-007	2005 263rd St										0	
7549-004-004	26208 Oak St										0	
7372-018-040	24718 Walnut										0	
7553-017-038	1922 261st St										0	
7374-008-019	23833 Eshelman Ave										0	
7411-014-049	26230 Western Ave										0	
7411-014-049	24600 Cypress Street										0	
7553-017-018	26116 Regent Ave										0	
7374-002-025	2050 Lomita Park Pl										0	
7373-007-002	25618 Reed Drive										0	
7376-019-011	2137 248th St										0	
7376-012-020	24615 Moon St										0	
7376-008-004	2322 247th St.										0	
7373-014-036	2219 254th St.										0	
7376-007-034	2355 249th St.										0	

Table A2

Annual Building Activity Report Summary - New Construction, Entitled, Permits and Completed Units

Project Identifier			13	Streamlining	Infill	Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions	Term of Affordability or Deed Restriction	Demolished/Destroyed Units			Density Bonus			
Current APN	Street Address	Project Name*	How many of the units were Extremely Low Income?	Please select the streamlining provision the project was APPROVED pursuant to. (may select multiple)	Infill Units? Y/N*	Assistance Programs for Each Development (may select multiple - see instructions)	Deed Restriction Type (may select multiple - see instructions)	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*	Number of Demolished/Destroyed Units	Demolished or Destroyed Units	Demolished/Destroyed Units - Owner or Renter	Total Density Bonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Allowable Residential Gross Floor Area)	Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking Waivers or Parking Reductions)	List the incentives, concessions, waivers, and modifications (Excluding Parking Waivers or Parking Modifications)	Did the project receive a reduction or waiver of parking standards? (Y/N)
			0	NONE	Y					2						
7373004007	25215 Cypress St.		0	NONE	Y											
7553003114	26103 & 26103 1/2 Narbonne Ave.		0	NONE	Y											
7553003114	26105 & 26105 1/2 Narbonne Ave.		0	NONE	Y											
7553003114	26107 & 26107 1/2 Narbonne Ave.		0	NONE	Y											
7553003114	26109 & 26109 1/2 Narbonne Ave.		0	NONE	Y											
7373007032	25622 1/2 Pennsylvania Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7373011004	25018 Cypress St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7376002018	24373 Pennsylvania Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7376004029	2416 1/2 247th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7549002033	26217 Ocean Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
	26016 Oak St.		0	NONE	Y					1	Demolished	O				
7375006007	2116 250th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7374013020	24202 1/4 Lomita Dr.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7411-014-050	26320 Western Ave.		0	NONE	Y					1	Destroyed	O				
7374008021	23843 Eshelman Ave.		0	NONE	Y											
7553017018	26114 Regent Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7373006048	2325 Stratford Ave.		0	NONE	Y											
7373009002	25612 1/2 Lucille Ave		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations								
7373010002	25506 Cypress St.		0	NONE	Y											
7373013010	2229 255th St.		0	NONE	Y											

7373017030	2432 1/2 254th		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7373018081	2425 256th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7375007011	25032 1/2 Oak		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7375011011	25422 Oak St.		0	NONE	Y													
7410016011	1739 1/2 252nd St.		0	NONE	Y													
7375020011	1921 1/2 257th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376005022	2456 1/2 248th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376009033	24659 Cypress St.		0	NONE	Y													
7376010022	2353 246th Pl		0	NONE	Y													
7376011005	24340 1/2 Pennsylvania Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376017018	24673 1/2 Woodward Ave.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376020001	2136 1/2 248th St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7411030007	26343 Alta Vista Ave.			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7549004004	26208 1/2 Oak St.		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7553009039	26016 Oak St.		0	NONE	Y													
7375-018-004	1912 253rd St		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7375-014-029	25107 Eshelman Ave		0	NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7373-012-039	25308 Cypress Street			NONE	Y													
7374-007-019	2129 240th St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7373-018-080	2423 256th St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376-018-012	24672 Woodward Ave			NONE	Y													
7374-013-031	24324 Lomita Dr			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7376-017-011	24709 Woodward Ave			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7373-017-030	2432 254th Street			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations										
7549-003-007	2005 263rd St			NONE	Y													

7549-004-004	26208 Oak St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7372-018-040	24718 Walnut			NONE	Y												
7553-017-038	1922 261st St			NONE	Y												
7374-008-019	23833 Eshelman Ave			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7411-014-049	26230 Western Ave			NONE	Y												
7411-014-049	24600 Cypress Street			NONE	Y												
7553-017-018	26116 Regent Ave			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7374-002-025	2050 Lomita Park Pl			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7373-007-002	25618 Reed Drive			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7376-019-011	2137 248th St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7376-012-020	24615 Moon St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7376-008-004	2322 247th St.			NONE	Y												
7373-014-036	2219 254th St			NONE	Y			ADUs were classified using SCAG's 17% Ex.Low and Very Low, 43% Low, 6% Mod, and 35% Above Mod. Allocations									
7376-007-034	2355 249th St.			NONE	Y												

Jurisdiction	Lomita	
Reporting Year	2023	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
Please contact HCD if your data is different than the material supplied here

Table B Regional Housing Needs Allocation Progress Permitted Units Issued by Affordability														
		1	2									3	4	
Income Level		RHNA Allocation by Income Level	Projection Period - 06/30/2021- 10/14/2021	2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	239	-	-	-	-	-	-	-	-	-	-	4	235
	Non-Deed Restricted		-	1	1	2	-	-	-	-	-	-	-	-
Low	Deed Restricted	124	-	-	-	-	-	-	-	-	-	-	15	109
	Non-Deed Restricted		-	-	5	10	-	-	-	-	-	-	-	-
Moderate	Deed Restricted	128	-	-	-	-	-	-	-	-	-	-	3	125
	Non-Deed Restricted		-	-	2	1	-	-	-	-	-	-	-	-
Above Moderate		338	-	1	32	18	-	-	-	-	-	-	51	287
Total RHNA		829												
Total Units			-	2	40	31	-	-	-	-	-	-	73	756
Progress toward extremely low-income housing need, as determined pursuant to Government Code 65583(a)(1).														
		5										6	7	
		Extremely low-income Need	2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date	Total Units Remaining	
Extremely Low-Income Units*		120	-	-	-	-	-	-	-	-	-	-	-	120

*Extremely low-income housing need determined pursuant to Government Code 65583(a)(1). Value in Section 5 is default value, assumed to be half of the very low-income RHNA. May be overwritten.

Please Note: Table B does not currently contain data from Table F or Table F2 for prior years. You may login to the APR system to see Table B that contains this data.

Note: units serving extremely low-income households are included in the very low-income RHNA progress and must be reported as very low-income units in section 7 of Table A2. They must also be reported in the extremely low-income category (section 13) in Table A2 to be counted as progress toward meeting the extremely low-income housing need determined pursuant to Government Code 65583(a)(1).

Please note: For the last year of the 5th cycle, Table B will only include units that were permitted during the portion of the year that was in the 5th cycle. For the first year of the 6th cycle, Table B will only include units that were permitted since the start of the planning period. Projection Period units are in a separate column.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

VLI Deed Restricted
VLI Non Deed Restricted

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

Jurisdiction	Lomita
Reporting Year	2023 (Jan. 1 - Dec. 31)

Table D

Program Implementation Status pursuant to GC Section 65583

Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
Program 1: Housing Rehabilitation Grant Program	Provide rehabilitation assistance to 5 households annually throughout the 2021–2029 planning period.	Continuous	Ongoing
Program 2: Code Enforcement	(1) Track and monitor code enforcement cases as complaints are submitted. (2) Conduct outreach to property owners with possible violations through direct contact, and inform these households of steps to correction of violations. (3) Assist 80 households to correct and close violation cases annually.	Continuous/annual	Staff notes code violations during residential property report inspections and informs residents about any violation, with a 90-day grace period to come into compliance. The City hired a Planning Intern to prioritize Property Record Reports which identifies and helps clean up residential code violations and safety hazards. The City promoted the Code Enforcement Officer to Code Enforcement Supervisor in fall 2023. The City hired a new part-time code enforcement officer in January 2023 to assist in casework and maintained the contract through the end of the year, up to \$100,000 in expenditures. The City advertised for a new full-time code enforcement officer city employment position at the end of 2023 and hired an individual in early 2024. City Council adopted a substandard living conditions ordinance that went into effect April 20, 2023 to improve enforcement of residential building and safety violations. In 2023, staff completed over 80 property records reports for home sales and gained compliance of 350+ violations, including both
Program 3: Mobile Home Park Regulations	Amend Mobile Home Park Regulations to ensure consistency with SB 330, 2019 by fall 2024.	Fall 2024	Timeframe upcoming
Program 4: Lower-Income Housing Preservation	(1) Contact the Retirement Housing Foundation and qualified entities to identify and pursue a strategy for ongoing preservation of affordability for the Lomita Kiwanis Gardens by fall 2024. (2) Provide information on priority Section 8 assistance through the Los Angeles County Housing Authority, should Section 8 contracts expire or in the event of a change in property ownership. (3) Where needed, provide funding assistance for the preservation of Lomita Kiwanis Gardens through technical assistance with grant pursuits and letters of support for grants pursued by the Retirement Housing Foundation.	Fall 2024	Staff developed a new "Additional Housing Resources" webpage with information on Section 8 that was posted on a permanent webpage on the City's website, shared in the City's newsletter, and on the City's social media outlets.
Program 5: Replacement Requirements	(1) Amend staff procedures related to the review and issuance of demolition and development permits by spring 2022. (2) Enforce replacement requirements in accordance with Government Code Section 66300 throughout and beyond the planning period.	Spring 2022 (1) Continuous (2)	The City continuously mandates replacement requirements consistent with the Housing Crisis Act of 2019 for proposed housing developments on sites that currently have residential uses, or within the past 5 years have had residential uses that have been vacated or demolished, that are or were subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of low or very low income, subject to any other form of rent or price control, or occupied by low- or very low-income households.
Program 6: Accessory Dwelling Units	(1) Adopt an amendment to the City's Zoning Code, consistent with or less restrictive than State requirements, by spring 2023. (2) Develop and adopt an affordable ADU incentive program by spring 2023.	Spring 2023	City Council adopted an updated ADU to respond to new State ADU law. The ordinance went into effect July 20, 2023 and was sent to the State for review. City Council adopted an ordinance for affordable housing incentives for 4 or fewer residential units within the Downtown-Commercial District that went into effect October 19, 2023.

Program 7: Incentives and Regulations	<p>(1) To assist in the development of housing for lower income households, including extremely low-income households, the city will annually and proactively reach out to developers of affordable housing to identify development opportunities and assist with development, including funding, supporting funding applications, ministerial reviews of naturally affordable housing types, easing development standards including parking and front setback requirements, fee waivers, reduction or deferrals, and incentives and concessions beyond those in State Density Bonus law. The City will target 200 units in the planning period throughout the City and 30 percent in higher resource or higher income areas and 30 percent in lower-income areas.</p> <p>(2) Amend the Density Bonus ordinance to ensure consistency with State law, including the provision of a bonus for student affordable housing, senior housing, and 100 percent affordable developments by spring 2023.</p> <p>(3) Improve development regulations intended to incentivize affordable and mixed-income housing development through regulatory inducements such as incentive zoning paired with objective</p>	Annual (1) (4) Spring 2023 (2) Fall 2023 (3) Continuous (5)	On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The City is currently working on the updates to the Noise, Land Use, Economic Development, Circulation, and Resource Management/Open Space Elements, the Environmental Impact Report, and zoning code update. Staff works with developers on a one-on-one basis daily, consistently asking for input and best practices with the intention of improving the City's regulations and services.
Program 8: Low-Barrier Navigation Centers	Amend the Zoning Code, consistent with State requirements, by spring 2023.	Spring 2023	City Council adopted an ordinance permitting Low-Barrier Navigation Centers consistent with State requirements on March 21, 2023.
Program 9: Supportive Housing	Amend the Zoning Code, consistent with State requirements, by spring 2023.	Spring 2023	City Council adopted an ordinance permitting Supportive Housing consistent with State requirements on March 21, 2023.
Program 10: Affordable Housing Streamlining	<p>(1) Continue to provide SB 35 streamlining to qualifying projects throughout the planning period.</p> <p>(2) Amend the Zoning Code and staff procedures, consistent with State requirements, by spring 2023.</p>	Continuous (1) Spring 2023 (2)	The City provides an affordable housing streamlined approval process in accordance with State requirements for qualifying development proposals and reports on affordable housing streamlining applications in the Housing Element Annual Progress Report. Staff is analyzing existing municipal code and its compliance with State law to determine the need for another ordinance.
Program 11: Objective Design Standards	<p>(1) Ongoing monitoring of Zoning Code amendments to ensure any new design standards are objective.</p> <p>(2) Pair rezone program (Program 14) with objective standards that ensure that maximum permitted densities can be achieved by fall 2024.</p>	Ongoing (1) Fall 2024 (2)	On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The City is currently working on the updates to the Noise, Land Use, Economic Development, Circulation, and Resource Management/Open Space Elements, the Environmental Impact Report, and zoning code update to include objective design standards. City Council adopted 13 housing-related ordinances in 2023 (ADU update, lot design update, building code update, multifamily housing signage, supportive housing, transitional housing, employee housing, low-barrier navigation centers, reasonable accommodation, covered parking elimination, emergency shelter parking, substandard living conditions, and affordable housing incentives for 4 or fewer residential units within the Downtown-Commercial District).
Program 12: Lot Consolidation	Amend the Zoning Code to enhance lot consolidation incentives by spring 2023.	Spring 2023	On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The City is currently working on the updates to the Noise, Land Use, Economic Development, Circulation, and Resource Management/Open Space Elements, the Environmental Impact Report, and zoning code update to include lot consolidation incentives.

<p>Program 13: Zoning Revisions for Special Housing Needs</p>	<p>(1) Amend the Zoning Code to remove discretionary permit requirements for Emergency Shelters in the M-C zone. (2) Amend the Zoning Code to consider transitional as a residential use of property and to permit transitional housing in the same manner as other residential uses in the same zone. (3) Permit employee and farmworker housing in accordance with the Health and Safety Code Sections 17021.5 and 17021.6 and the Employee Housing Act. (4) Amend the Zoning Code to provide a process by which large residential care facilities with seven or more residents may be permitted, without discretion, in commercial and mixed-use zones. (5) Reduce development standards for Senior Planned Unit Developments through the adoption of a reduction in parking requirements and a reduction in minimum unit size requirements. (6) Amend Reasonable Accommodation procedures to remove the major Reasonable Accommodation Process and analyze the Planning Commission hearing requirement as a constraint. (7) Amend zoning and permit procedures to permit group homes in all residential zones with objectivity and approval certainty including Community Care</p>	<p>Spring 2023 (1) (2) (3) (4) (5) (6) Fall 2024 (7)</p>	<p>City Council adopted an ordinance permitting Emergency Shelters, Transitional Housing, Employee (and farmworker) housing, Senior Planned Unit Development parking requirements, and Reasonable Accommodation procedures, removing all discretionary requirements, consistent with State law on March 21, 2023.</p>
<p>Program 14: Rezone Program</p>	<p>(1) The rezone will occur no later than October 15, 2024. (2) Evaluate for General Plan consistency and amend General Plan as necessary, concurrent with the rezone. (3) Rezone sites selected from Sites A–Y as identified in Table B of the Sites Inventory Form.</p>	<p>October 15, 2024</p>	<p>On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The City is currently working on the updates to the Noise, Land Use, Economic Development, Circulation, and Resource Management/Open Space Elements, the Environmental Impact Report, and zoning code update to include the rezoning of selected sites. The City is on track for the rezoning to be completed by the October 15, 2024 State deadline</p>
<p>Program 15: Supporting Low Density</p>	<p>(1) Implement the provisions of SB 9 by January 1, 2022 and consider ordinance amendment to establish ministerial review procedures and objective development and design standards for any proposed housing development, or proposed lot splits of existing single-family residential lots, in the R-1 and A-1 zones (as they exist on January 1, 2022) by spring 2023. (2) Determine the need for an ordinance amendment to establish ministerial review procedures and objective development and design standards or proposed housing development, or proposed lot splits of existing single-family lots, in the R-1 and A-1 zones, which are not subject to SB 9 by Spring</p>	<p>Spring 2023</p>	<p>On September 6, 2022, City Council adopted an ordinance permitting Planned Residential Unit Developments by-right administratively according to objective design standards, in compliance with SB9, allowing additional dwelling units. On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The City is currently working on the updates to the Noise, Land Use, Economic Development, Circulation, and Resource Management/Open Space Elements, the Environmental Impact Report, and zoning code update to include objective design standards.</p>
<p>Program 16: No Net Loss</p>	<p>(1) Amend staff procedures to ensure all development proposals and rezone proposals are reviewed against the capacity identified for sites in the Sites Inventory Form within 3 months of Housing Element adoption. (2) Develop a methodology for tracking remaining capacity within 1 year of Housing Element adoption</p>	<p>January 2023 (1) October 2023 (2)</p>	<p>Staff actively improves upon procedures to ensure all development proposals and rezone proposals are reviewed against the capacity identified for sites in the Sites Inventory Form as well as tracking remaining capacity.</p>
<p>Program 17: Annual Progress Reports</p>	<p>(1) Submit approved Annual Progress Reports to HCD annually by April 1. (2) Mid-Term evaluation in 2025.</p>	<p>Annually by April 1</p>	<p>On track for full compliance</p>

Program 18: Surplus Lands	<p>(1) Identify and track surplus City-owned sites annually.</p> <p>(2) If surplus sites are identified and available for the purpose of developing low- and moderate-income housing, prior to the disposal of surplus lands, the City shall provide a written notice of availability to any local public entity and housing sponsors that have notified the Department of Housing and Community Development of their interest in surplus land.</p> <p>(3) Release RFP for affordable housing development at Housing Authority owned</p>	<p>Continuous (1) (2) December 2023 (3)</p>	<p>The City tracks surplus City-owned sites continuously.</p>
Program 19: Accessibility	<p>(1) Continue to enforce accessibility requirements through development approvals throughout the planning cycle.</p> <p>(2) Create a housing resources webpage that connects developers and residents to accessibility resources, such as home retrofit guides and universal design standards that can increase in-unit accessibility, among other housing-related information and resources, by summer 2023. The City will target marketing in areas of higher need with a goal of 50 persons assisted in the planning period.</p> <p>(3) Residents and property owners will be notified of updates to the City's website through the City's monthly e-newsletters that are sent to the City's listserv.</p>	<p>Continuous (1) Summer 2023 (2) (3)</p>	<p>Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Accessibility standards information was featured in the City's bi-weekly newsletter during March 2023. The City practices continuous enforcement of accessibility requirements through development approvals by planning staff. Staff is currently amending the ADU ordinance to require accessible design on the bottom floor when two ADUs are stacked above a certain height.</p>
Program 20: Homebuyer Assistance Programs	<p>(1) Include updated information in City newsletters annually.</p> <p>(2) Update the City's website with relevant information and resources by fall 2023 and ensure that all web materials use best practices for user accessibility through information that is perceivable, operable, understandable, and robust.</p>	<p>Annually (1) Fall 2023 (2)</p>	<p>Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Information on Homebuyer Assistance Programs was featured in the City's bi-weekly newsletter during March 2023.</p>
Program 21: Section 8 Housing Choice Voucher Program	<p>(1) Provide 70 Section 8 vouchers annually and target 50% of housing choice vouchers in higher opportunity and higher income areas.</p> <p>(2) Update the City's website to create a housing resources page that connects residents, developers, non-profits, property owners, and other interested parties to relevant information and resources on available housing programs, regulations, events, and other relevant information no later than summer 2023.</p> <p>(3) Include updated information to connect property owners and residents to the City's housing resources webpage in City newsletters, which are sent to all property owners in the City's boundaries bi-annually.</p> <p>(4) Include updated information to connect property owners and residents to the City's housing resources webpage in the monthly e-newsletters that are sent to the City's listserv.</p> <p>(5) To Affirmatively Further Fair Housing, beginning in 2023, the City will conduct an analysis every two-years to target Section 8 Housing Choice Vouchers in higher opportunity areas throughout the</p>	<p>Continuous (1) Summer 2023 (2) Not specified (3) (4)</p>	<p>Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Section 8 was featured in the City's bi-weekly newsletter during April 2023. The "Additional Housing Resources" webpage was developed in a visually compelling manner to get spread the information with positivity. The various topics were scheduled to be disseminated incrementally throughout 2023 into both the e-newsletters and physical newsletters so as to not inundate the public with information and maximize digestion.</p>

Program 22: Fair Housing	(1) Include updated information in the City's monthly newsletters. (2) Update the City's website with relevant information and resources on fair housing from HRC within 1 year of Housing Element adoption; distribute information in the City's monthly newsletter. (3) Provide annual staff trainings on how to refer complaints and inquiries to HRC with a goal of 200 households assisted throughout the City within the planning period. (4) Coordinate with HRC to gather and analyze local data collected annually and	Continuous (1) (4) October 2023 (2) Annual (3)	Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Fair Housing information was featured in the City's bi-weekly newsletter during April 2023. The City continues to contract with the Housing Rights Center to promote equal housing opportunities
Program 23: Fair Housing Marketing	(1) Develop and promote marketing material standards, consistent with the standards outlined in State law, to ensure representative materials are provided by developers by summer 2024. (2) Ensure standards are easily available for development applicants at the permit counter and on the City's website by summer 2024.	Summer 2024: Develop and promote marketing material standards, and ensure that standards are easily available for development applicants at the permit counter and on the City's website	Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Fair Housing Marketing information was featured in the City's bi-weekly newsletter during May 2023.
Program 24: Analysis of Impediments to Fair Housing Choice	(1) Continue to participate in the Analysis of Impediments to Fair Housing Choice every 5 years. (2) Collaborate with the Community Development Commission and the Housing Authority of the County of Los Angeles through continued communication and data-sharing for the completion of the Analysis of Impediments to Fair Housing Choice every 5 years.	Every 5 years	Timeframe upcoming
Program 25: Energy Conservation Program	(1) Periodically review zoning and subdivision requirements to promote energy conservation measures, concurrent with updates to the Building Code or by 2026, whichever is sooner. (2) Promote energy conservation strategies on the City's website by summer 2023 and in the City's summer iteration of the bi-annual newsletter. (3) Continue to provide fee waivers that are available for solar projects throughout the planning period.	2026 (1) Summer 2023 (2) Continuous (3)	Staff created a new "Additional Housing Resources" webpage with accessibility regulations and standards. Energy Conservation information was featured in the City's bi-weekly newsletter during May 2023. Energy Conservation information was featured in the Summer 2023 printed newsletter mailed to every property in the city. The City continues to provide fee waivers that are available for solar projects throughout the planning period.
Program 26: Increased Transparency	(1) Ensure all relevant information is provided on the City's website within 1 year of Housing Element adoption. (2) Continue to update information as changes to the City's regulations are made and as new information becomes available throughout the planning period.	October 2023 (1) Continuous (2)	Staff confirmed that information regarding the current schedule of fees (most recently updated in January 2023 and again in February 2024), exactions, applicable affordability requirements, all zoning ordinances, development standards, and annual fee reports or other relevant financial reports are immediately available on the City's website. Staff is actively making available "cheat sheets" and other information on the City's website to more effectively disseminate information to the public on various permits and processes.

Program 27: Reduced Parking Requirements	(1) Amend the Zoning Code to identify a process by which parking requirements can be reduced for religious institutions in exchange for housing development, consistent with the requirements of AB 1851 (2020) by spring 2023. (2) Amend the zoning code to adhere to the requirements of AB 139 (2019) regarding parking for emergency shelters. This includes sufficient parking to accommodate all staff working in the emergency shelter, provided that the standards do not require more parking for emergency shelters than other residential or commercial uses within the same zone. (3) Implement parking reductions for multifamily housing and remove garage parking requirements across all residential zones by spring 2024. This will include the removal of garage parking requirements across all residential zones, a reduction to covered parking requirements and overall parking requirements for multifamily housing, and will ensure that covered parking requirements are not	Spring 2023 (1) Unspecified (2) Spring 2024 (3)	City Council adopted an ordinance requiring minimum parking for Emergency Shelter consistent with State law on March 21, 2023. Also on March 21, 2023, City Council adopted an ordinance removing garage and covered parking requirements across all residential zones and the Mixed-Use Overlay Zone and permitting tandem parking, consistent with State law.
Program 28: Rezone Opportunities	(1) Coordinate with the Housing Authority of Los Angeles to identify opportunities for increased densities and future redevelopment within the planning period. (2) Continue to evaluate opportunities for updated land use plans and zoning ordinances that can increase densities through annual informational sessions with the Planning Commission.	Continuous	The City coordinates with the Housing Authority of Los Angeles to identify opportunities for increased densities and future redevelopment within the planning period. The Planning Commission discussed updated land use plans and zoning ordinances that can increase densities on April 10, 2023. On February 23, 2023, the City released an RFP for a General Plan Update and zoning ordinance update including further affordable housing incentives, rezoning, objective design standards, and CEQA documentation. By the end of 2023, the City completed the Existing Conditions Report, implemented a comprehensive public engagement strategy, and selected a Preferred Future Land Use Plan. The Housing Element identifies enough sites to meet the RHNA plus a 35% buffer.
Program 29: Ongoing Code Updates	(1) Annually monitor State legislative changes and amend regulations accordingly. (2) Continue to accept recommendations from the development community for ideas on how the City can increase flexibility and certainty in the development process. This will be achieved through continued project coordination meetings with developers through the submittal process.	Annual (1) Continuous (2)	The City continues to monitor State legislative changes and amend regulations accordingly. City staff continues to accept recommendations from the development community for ideas on how the City can increase flexibility and certainty in the development process, both during and outside of the permitting process.
Program 30: Inclusionary Housing Ordinance	(1) Conduct an inclusionary housing feasibility analysis by spring 2024. (2) Adopt an inclusionary housing ordinance, where feasible, by winter 2025.	Spring 2024 (1) Winter 2024 (2)	Inclusionary housing feasibility analysis was conducted in late 2023.
Program 31: Place-Based Strategies for Community Revitalization	Complete a minimum of one improvement project annually in lower income areas.	Annual	City staff meets monthly with a contracted grant writing team to seek funding for place-based strategies in areas of higher need or lower income.



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission **Item No. 4a**

FROM: Laura MacMorran, Associate Planner

MEETING DATE: April 8, 2024

SUBJECT: Discussion and Consideration of an Amendment to Conditional Use Permit No. 310 for Beer and Wine Sales for Off-Site Consumption at 2301 Pacific Coast Highway in the Commercial Retail (C-R) Zone

RECOMMENDATION

Approve an amendment to Conditional Use Permit No. 310 to allow the existing convenience store and gas station at 2301 Pacific Coast Highway to sell beer and wine for an additional hour beyond the existing hours every evening for off-site consumption and to confirm the categorical exemption from the California Environmental Quality Act (CEQA).

BACKGROUND

Kimberly Duncan, and R. Bruce Evans on behalf of 7-Eleven Stores, request an amendment to Conditional Use Permit No. 310's Condition of Approval No. 58 to extend the convenience store and gas station's hours to sell beer and wine by one hour at 2301 Pacific Coast Highway in the Commercial Retail (C-R) Zone.

In 2019, the Planning Commission approved a gas station and convenience store, which could sell beer and wine for off-site consumption. Presently, beer and wine sales are authorized from 7:00 a.m. to 11:00 p.m. on Sundays through Thursdays and from 7:00 a.m. to 12:00 a.m. on Fridays and Saturdays.

The City requires an amendment to the existing conditional use permit to expand the sale hours of beer and wine for off-site consumption from 11:00 p.m. to 12:00 a.m. Sundays through Thursdays and from 12:00 a.m. to 1:00 a.m. on Fridays and Saturdays.

Existing Conditions

The subject site is located on the northwest corner of Pacific Coast Highway and Cypress Street. A 7-Eleven convenience store and gas station combination operates at this location and is open 24 hours a day.

ANALYSIS

General Plan and Zoning Designations

Neither the General Plan land use designation, Commercial, or zoning designation, Commercial Retail, have changed since the CUP was authorized. The project remains consistent with the intent of these designations.

Adjacent Zoning and Land Uses

<i>Direction</i>	<i>Land Use</i>	<i>Zoning</i>
North	Residential	Commercial Retail (C-R)
South	Commercial	Commercial Retail (C-R)
West	Commercial	Commercial Retail (C-R)
East	Commercial and Residential	Commercial Retail (C-R)

Environmental Determination

Pursuant to Section 15301 (Existing Facilities) of the CEQA guidelines, a project that consists of permitting or licensing involving negligible or no expansion of use may be found to be exempt from the requirements of CEQA. One-hour extension of beer and wine sales times is a type of licensing and a negligible expansion of the use. The building's footprint will not be altered or expanded to accommodate the conditional use permit.

Conditional Use Permit Findings Summary

Staff reviewed the project in accordance with Section 11-1.70.09 Conditional Use Permit of the Lomita Municipal Code and advises that the project is consistent with the required findings (see Exhibit A). The City has not received any complaints in recent years and the business has remained substantially compliant with the existing conditions of approval. In accordance with Lomita Municipal Code Sec. 11-1.60.03 Maintenance of required facilities, the building, landscaping, sign, gas pumping area, etc. must be maintained as originally approved.

Public Safety

The City has six reporting districts, and the subject property is located in Reporting District (RD) 1714, which only encompasses Pacific Coast Highway. As more incidents are expected within purely commercial areas, the district consistently ranks either first or second among Lomita's six districts in the number of Part 1 (violent and property) and Part 2 (less serious) Crimes in accordance with the FBI's Uniform Crime Reporting.

Attached is a list of the calls for service from 2021 to 2023. The table below summarizes the calls.

Year	2021	2022	2023
Total Calls	3	14	16
Disturbance Related Calls	2	4	8
Possible Drunk Driving	0	0	1

It is important to consider whether the sale of beer and wine and the hours are conducive to an environment that places a demand on public safety services and/or fuels criminal behavior. Alcohol does not appear to be related to most of the public safety calls to the site. The Los Angeles County Sheriff's Analyst indicated that most of the calls for service occurred between the hours of 5:00 a.m. and 1:00 p.m. In addition, Staff spoke with the City's liaison deputies who did not express concerns about extending beer and wine sales by one hour to 12:00 a.m. and 1:00 a.m.

PUBLIC NOTICE

On March 28, 2024, staff mailed notices of this hearing to property owners within 300' of the subject property and posted on the Lomita City web page, at Lomita City Hall, and at Lomita Park.

OPTIONS

1. Approve the attached resolution.
2. Deny the application.
3. Provide staff with further direction.


ATTACHMENT

1. Draft Resolution Amending CUP No. 310
2. Resolution 2019 -03
3. CUP No. 310's Architectural and Landscaping Plans Annotated
4. Vicinity Map
5. Zoning Map
6. General Plan Map
7. Aerial Photograph
8. Notice of Exemption
9. Applicant's Request

Recommended by:


Brianna Rindge, AICP
Community & Economic Development Director

Prepared by:


Laura MacMorran, AICP
Associate Planner

RESOLUTION NO. PC 2024-05

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING A REQUEST FOR AN AMENDMENT TO CONDITIONAL USE PERMIT NO. 310 TO ALLOW AN EXISTING CONVENIENCE STORE AND GAS STATION FACILITY AT 2301 PACIFIC COAST HIGHWAY (APN: 7373-007-040) TO EXTEND THE SALE OF BEER AND WINE FOR OFF-SITE CONSUMPTION BY ONE HOUR EVERY DAY WITHIN THE COMMERCIAL RETAIL (C-R) ZONE. FILED BY KIMBERLY DUNCAN, 7-ELEVEN, INC., P.O. BOX 139044, DALLAS, TX 75313, AND R. BRUCE EVANS, COUNSEL FOR 7-ELEVEN INC., 426 CULVER BLVD., PLAYA DEL REY, CA 90293 (CO-APPLICANTS) AND FINDING THE ACTION TO BE EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15301 OF THE CEQA GUIDELINES

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The City of Lomita received an application on February 13, 2024, to allow an existing convenience store and gas station facility at 2301 Pacific Coast Highway to amend the beer and wine sales hours for off-site consumption by one hour every day. Filed by Kimberly Duncan, and R. Bruce Evans on behalf of 7-Eleven Inc. (Co-Applicants).
- B. On April 8, 2024, the Planning Commission of the City of Lomita held a duly noticed public hearing and accepted public testimony for an application.
- C. The project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act guidelines. The project consists of permitting a license to sell beer and wine for off-site consumption, which is a negligible expansion of the onsite activities.
- D. The Planning Commission finds that the Co-Applicants agree with the necessity of and accept all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering, the health, safety, and welfare of citizens in general including those who access the site.

Section 2. Findings

The amendment to the existing Conditional Use Permit is subject to the Conditional Use Permit findings contained in Lomita Municipal Code Section 11-1.70.09 (Conditional Use Permit). The required findings below are shown in italicized type and the reason(s) the project is consistent is shown in regular type. Planning Commission finds, after due study and deliberation, that the following circumstances exist:

1. *The proposed use is allowed within the district with the approval of a CUP and complies with all other applicable requirements of Article 70 (Zoning Ordinance) of the Lomita Municipal Code.*

Subject to the requirements of Article 56 (Sale of Alcoholic Beverages), packaged liquor, when ancillary to food sales, is permitted in the C-R Zone with the approval of a conditional use permit (Section 11-1.48.04(11)).

The original plans identified 4 cooler vaults out of 12 as containing beer and wine and two beer and wine shelving areas directly across from the cooler vaults. Upon a site visit staff observed five coolers out of ten filled with beer and wine. Shelf space is an indicator as to whether a product is ancillary or more than ancillary. To ensure that beer and wine shelf space do not become more than ancillary, staff recommends a condition of approval setting the maximum percentage of beer and wine cooler space to 50% of the existing cooler space and a two-shelf maximum amount of nonrefrigerated space directly across from the coolers. Even with the additional cooler, the amount of floor space dedicated to beer and wine sales is a small fraction of the total floor area; therefore, beer and wine are ancillary product sales.

2. *The proposed use is consistent with the General Plan.*

The General Plan land use designation for the subject property is commercial. This designation provides for commercial uses. The sale of beer and wine for off-site consumption directly to the consumer and is considered a retail commercial use, which is consistent with the designation.

3. *The site and building's design, location and size are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger, or otherwise constitute a menace to the public health, safety, or general welfare or be materially detrimental to the property of other persons located in the vicinity.*

The site and building's design will not change because of the proposed additional beer and wine sale hours. The building is oriented to Pacific Coast Highway (PCH) and deliveries enter from PCH. Any deliveries to the site travel south on Cypress Street toward PCH.

4. *The site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood.*

The project does not require physical changes to the site layout related to buildings and parking. The site was developed in 2019 in accordance with the present-day development standards. Some landscaping areas are bare and need replanting in accordance with the attached landscape plan.

5. *The site is served by highways and streets adequate to carry the kind and quantity of traffic such use would generate.*

The project is located at the northwest corner of PCH and Cypress Street, which has a traffic light. Pacific Coast Highway is a six-lane roadway with a left center turn lane. PCH is classified by The Circulation Element classifies PCH as a major highway. The street and its design can adequately carry the kind and quantity of vehicle traffic the proposed change in use will generate. Cypress Street is a local street and is 50 feet wide. The curb-to-curb measurement is narrower than City standards and right-of-way lacks street trees and wells. The street current design was approved administratively and the applicant proposes no related changes. Should the properties to the east be redeveloped there may be a need to modify Cypress Street's curb-to-curb width, revisit street parking on the westerly side of the street, and/or provide street trees.

Section 3. Distance Requirement Findings

Any business selling alcoholic beverages for off-site or on-site consumption shall be located a minimum of 300 feet from schools, parks, public recreation areas, and any other use determined to be a sensitive use by the Community Development Director per Lomita Municipal Code Section 11-1.56.03(C). Residential uses exist within 300 feet of the subject property and in the past the City has considered residential uses as sensitive. Section 11-1-56.03(D) of the Lomita Municipal Code states that the Planning Commission may modify the distance requirements when granting a conditional use permit if the following additional findings can be made. This section enables the City to scrutinize the impacts of new alcohol use or modification on existing sensitive uses.

1. *The proposed use will not have an adverse impact on public safety. Factors that could be considered to determine impact include but are not limited to Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding reporting districts, Los Angeles County Sheriff's Department's crime statistics for the underlying and surrounding properties, and the types of crime within those same areas.*

While residential uses are located within 300 feet of the subject property, the sale of beer and wine for off-site consumption is oriented away from the adjacent residential uses. Pacific Coast Highway's Reporting District 1714 is dominated by commercial properties which typically have higher incidents of crime. The Sheriff's Department did not express concern for the additional hour of beer and wine sale for off-site consumption. The original conditions remain in effect and contain provisions to ensure safe and neighbor compatible operations.

2. *The business will provide beneficial commercial vitality to the area.*

The existing convenience store and gas station combination reduces the distance residents and people driving northbound on PCH have to travel for gas and light food and beverage products.

- 3. The use will not be objectionable or detrimental to surrounding properties and the neighborhood.*

For three years, the site has sold beer and wine for off-site consumption. The store, gas dispensers, and parking area are oriented towards PCH. This design buffers the northerly residential uses from commercial activity. Last, the City's Code Enforcement Division has not received complaints related to the site's sale of beer and wine for off-site consumption.

Section 4. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Amendment to Conditional Use Permit No. 310 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community and Economic Development Director or a major modification to the plans is approved by the Planning Commission.
2. This permit is granted for the Applicants' application received on February 13, 2024, on file with the Planning Division, and may not be transferred from one property to another.
3. By commencing any activity related to the project or using any structure authorized by this permit, Applicants accepts all the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
4. This permit shall not be effective for any purpose until a duly authorized representative of the owner of the property has filed with the Department of Community Development a notarized affidavit accepting all the conditions of this permit. If the Applicants is a corporation, then an officer of the corporation shall sign the acceptance affidavit.
5. This permit shall automatically be null and void two years from the date of issuance unless a business license has been issued by the City of Lomita. A request for a one-year extension may be considered by the Planning Commission. No extension shall be considered unless requested prior to the expiration date.
6. In the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission.
7. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall

lapse.

8. All outstanding fees owed to the City, including staff time spent processing this application, shall be paid in full.

PLANNING CONDITIONS

9. Replacing Planning Commission Resolution 2019-03 Condition No. 58 to read: Beer and wine sales may only occur between the hours of 7:00 am and 12:00 a.m. Sunday through Thursday and 7:00 am to 1:00 a.m. on Fridays and Saturdays. No more than 50% of the existing coolers shall contain beer and wine, and they shall be locked during the non-sales hours. No more than two shelving areas for beer and wine as shown on the plans dated December 13, 2018.

10. Resolution 2019-03's other conditions remain in effect and unmodified.

INDEMNIFICATION

Applicants agrees, as a condition of adoption of this resolution, at Applicants' own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicants' commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.

COMPLIANCE

If Applicants, owner, or tenant fails to comply with any of the conditions of this permit, the Applicants, owner or tenant shall be subject to a civil fine pursuant to the City of Lomita Municipal Code.

If any of the conditions of the Minor Conditional Use Permit are not complied with or upon notice of a violation by the Code Enforcement Division, the Planning Commission, after written notice to the Applicants and a noticed public hearing, may in addition to revoking the permit, amend, delete, or add conditions to this permit at a subsequent public hearing.

PASSED, APPROVED, and ADOPTED by the Planning Commission of the City of Lomita on this 8th day of April 2024 by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Brenda Stephens, Chairperson

ATTEST:

Brianna Rindge, AICP
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

DRAFT

RESOLUTION NO. PC 2019-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING A CONDITIONAL USE PERMIT FOR 1) A NEW 2,520 SQ. FT. CONVENIENCE STORE (7-11) WITH EIGHT FUELING STATIONS, AND ASSOCIATED PARKING AND LANDSCAPING, 2) TO PERMIT THE SALE OF BEER AND WINE FOR OFF-SITE CONSUMPTION, AND 3) TO PERMIT THE OUTSIDE DISPLAY OF 20 POUND PROPANE TANKS FOR THE PROPERTY LOCATED AT 2301 PACIFIC COAST HIGHWAY IN THE C-R, COMMERCIAL RETAIL ZONE. FILED BY 7-11 INC., 330 E. LAMBERT ROAD, BREA CA, 91403 (THE "APPLICANT").

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The Planning Commission of the City of Lomita (the City) has considered an application for a conditional use permit to for 1) a new 2,520 sq. ft. convenience store (7-11) with eight fueling stations, and associated parking and landscaping, 2) to permit the sale of beer and wine for off-site consumption, and 3) to permit the outside display of 20 pound propane tanks for the property located at 2301 Pacific Coast Highway in the C-R, Commercial Retail Zone. Filed by 7-11 Inc., 330 E. Lambert Road, Brea CA, 91403.
- B. The subject site is zoned C-R (Commercial Retail) and designated Commercial by the City's General Plan. Pursuant to Sec. 11-1.48.04 of the Lomita Municipal Code (Code), each of the proposed uses are permitted subject to a conditional use permit.
- C. This project is subject to the California Environmental Quality Act. In accordance with Section 15332 (In-fill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines, projects characterized as in-fill development meeting the conditions described in that section may be found to be exempt from the requirements of CEQA. The proposed project consists of 2,520 square foot convenience store with eight fueling stations, and associated parking and landscaping. The development is fully located within the City limits, is on less than five acres, is consistent with the applicable General Plan and Zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. Further a traffic report was prepared detailing that there will be no traffic impacts. It is determined that there is no substantial evidence that the project may have a significant effect on the environment and the Planning Commission confirms the CEQA exemption.
- D. On January 14, 2019, the Planning Commission held a duly noticed public hearing and accepted public testimony.
- E. The Planning Commission finds that the Applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Findings. Pursuant to Section 11-1.70.09 (Conditional Use Permit) of the Code, the Planning Commission finds, after due study and deliberation that the following circumstances exist:

- 1) *The proposed use is allowed within the District with approval of a CUP and complies with all other applicable requirements of this Article;*

The subject property is located in the C-R zone. Lomita Municipal Code Section 11-1.48.04 list the uses permitted subject to conditional use permit approval. All three of the requested uses are allowed within the zone subject to the CUP. The project meets all requirements as applicable to the zone as outlined in the development standards table of this staff report.

- 2) *The proposed use is consistent with the General Plan;*

The General Plan land use designation for this area is Commercial which provides for retail sales activities and limited service establishments. A fueling station, with a convenience market, is consistent with this designation in that it will provide fuel and goods to those traveling along the Pacific Coast Highway corridor. The sale of alcoholic beverages and propane is both a retail sales activity and a service for residents and therefore consistent with the General Plan. Lastly, all three of the proposed uses are listed within the C-R zone as conditionally permitted uses.

- 3) *The design location, size and operating characteristics are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity;*

All three of the proposed uses subject to a conditional use permit meet all of the City's development criteria. Except for a few minor aesthetic changes and the driveway expansion (incorporated as conditions of approval) the project meets the City's Pacific Coast Highway Design Guidelines. The site is designed in such a manner that it is completely oriented towards Pacific Coast Highway, the City's major commercial thoroughfare. The front entrance to the proposed convenience store faces Pacific Coast Highway and the proposed fuel dispensers and fuel canopy are oriented towards the south end of the property nearest Pacific Coast Highway. Ingress and egress to and from the property are via Pacific Coast Highway, and Cypress Street (which is located approximately 83ft. south of the northerly property line and adjacent residence). This site layout will facilitate easy access for vehicles traveling on Pacific Coast Highway as well as for fuel and product delivery trucks with minimal impact to adjacent uses.

To the rear of the property is a non-conforming residential use. There is an existing block wall (per Code requirements) and a 10 foot rear yard setback. To ensure the setback area remains clear of persons and illegal dumping staff has added condition of approval number 56 requiring a wrought iron fence between the building and wall on both the east and west side. Further, all though there is no building lighting proposed at this location, staff has added condition of approval number 57 that one light fixture be installed along

the north elevation. The height of the fixture cannot exceed eight feet, it must be manually controlled from the inside of the building, and divert all light downward away from adjacent properties. This will ensure proper lighting if an issue should surface past daylight.

The proposed outdoor storage area for propane tanks will be limited to an eight square foot area adjacent to the building as indicated on the site plan. The storage area does not block the path of travel and is located approximately 52 feet from the residential neighbor to the rear. The propane will be stored in the basic propane storage cage as required by State law.

Lastly, subject to adequate conditions the proposed sale of beer and wine should not adversely affect the public welfare nor the property of other persons. The sale of beer and wine at 7-Eleven convenience stores generally represents a small percentage of a store's gross sales and is offered to its customers for convenience purposes. Currently the City has two 7-11 markets which are permitted to sell beer, wine, and spirits from 6:00 am to 2:00 am seven days per week. The existing 7-11 located on Pacific Coast Highway and Walnut Street receives a fair amount of calls for service. That being said, staff is recommending the following conditions of approval as they relate to the sale of alcoholic beverages:

- Beer and wine sales can only be made between the hours of 7:00 am and 11:00 pm Sunday through Thursday and 7:00 am to 12:00 am on Fridays and Saturdays. Refrigerators containing beer wine shall be locked during the non-sales hours.
- Security cameras shall be installed inside the store as well as outside along with a video recorder that covers all common areas of the store, high-risk areas, entrances and exits and views to the parking lot to deter criminal activity The camera system shall be equipped to maintain video footage for a minimum two weeks.
- The store front windows shall be maintained free from any obstructions to allow maximum visibility into the store.
- No advertising of alcohol shall be visible from the exterior of the building.
- The business owner must have readily identifiable personnel to monitor the premises and ensure there is no loitering around the premises. Signage shall be installed stating loitering is prohibited and employees shall be instructed to enforce this provision and call local law enforcement if necessary.
- The Applicant shall maintain its premises in a neat and orderly fashion. Graffiti shall be removed within 24 hours of notification and all areas within the premises shall be free of litter at all times.
- The Applicant will cause all of its managers and employees of the convenience store to participate in the LEAD (License Education on Alcohol and Drugs) program provided by the State of California Department of Alcoholic Beverage Control, or an equivalent program.

- If excessive complaints are received regarding noise, loitering, or the Los Angeles County Sheriff reports a high level of calls for service, the City in its discretion may take action to have the Planning Commission review the conditional use permit and including without limitation add conditions or revoke the permit. Excessive complaints shall mean three verified complaints relating to different incidents within one calendar month or 10 per calendar year.

- 4) *The site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood.*

The site is comprised of two lots that will be joined together and is 22,853 square feet in size with approximately 112 linear feet of frontage on PCH and approximately 203 linear feet of frontage on Cypress Street. A condition of approval has been added to widen the driveway to accommodate vehicles and delivery trucks entering the premises for use of the convenience store and fueling. A condition of approval is also included to secure the rear yard by including two additional iron fences appropriately closing off the rear yard. This added security, in addition to the condition of approval for additional lighting at the rear yard, integrates the commercial use with the legal nonconforming single family use to the north of the property.

The site meets all development standards therefore it is adequate in size and shape to accommodate the development features prescribed under the Zoning Ordinance. The project only utilizes 11% of the allowable FAR on the site. The added conditions provided in the report will further assist to integrate the use into the neighborhood.

- 5) *The site is serviced by highways and streets adequate to carry the kind and quality of traffic such use would generate.*

The subject site is mainly served by Pacific Coast Highway which is a designated major highway within the City and a designated truck route. The applicant provided a traffic study prepared by a licensed traffic engineer, and reviewed by the City's engineer, detailing that there will not be a level of service impact to the intersections of Cypress St. and Pacific Coast Highway and Pennsylvania Ave. and Pacific Coast Highway. Cypress St. and Pacific Coast Highway are adequate to accommodate the number of vehicles traveling to the project site.

Section 3. Any business selling alcoholic beverages for off-site or on-site consumption shall be located a minimum of 300 feet from schools, parks, public recreation areas and any other use determined to be a sensitive use by the Community Development Director. Section 11-1-56.03 (D) of the Lomita Municipal Code states that the Planning Commission may modify the distance requirements when granting a conditional use permit if the following additional findings can be made:

1. *The proposed use will not have an adverse impact on public safety. Factors that could be considered to determine impact include but are not limited to Los Angeles County Sheriff*

Department's crime statistics for the underlying and surrounding reporting districts, Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding properties and the types of crime within those same areas;

The subject property is located in the highest crime reporting district in the City (1714). This is due to external factors in that the district is entirely made up of Pacific Coast Highway and its adjacent commercial properties. It should be noted that according to the Los Angeles County Sheriff's Department, the high crime is related to Pacific Coast Highway's location as a thoroughfare through the City with many crimes originating outside the City limits but ending within the City whereby raising the crime statistics. Further, the Sheriff's Department was consulted on this application and they did not express concern for this type of use at this location with the provided conditions. The permit has been adequately conditioned to ensure safe and compatible operations.

2. *The business will provide beneficial commercial vitality to the area.*

Currently the lot is vacant and provides no commercial vitality to the area. A fueling station with a convenience market that, offers beer and wine for sale, will be beneficial to the commercial vitality of the area. The fueling station is expected to generate over 1,000 customers daily who will be purchasing goods in the City. Fueling stations and convenience markets are a vital component of a city's commercial corridor. The ancillary sale of alcoholic beverages adds to that commercial vitality in that persons will not have to leave the City to purchase these goods. Permitting the sale of alcoholic beverages will assist the operator in having a stronger business within the City.

3. *The use will not be objectionable or detrimental to surrounding properties and the neighborhood.*

With proper conditions, the sale of alcoholic beverages for off-site consumption will not be detrimental to the surrounding properties. The subject site meets all development standards including setbacks, walls, parking, and lot coverage. With the incorporation of condition of approval numbers 58-65 any potential impacts from the ancillary sale of wine and beer should be mitigated.

Section 4. The Planning Commission of the City of Lomita hereby approves Conditional Use Permit No. 310 subject to the following conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated on 12/21/18 on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls.

3. Approval of this permit shall expire 24 months from the date of approval by the Planning Commission, unless significant construction or improvements or the use authorized hereby have commenced. One or more extensions of time for use inauguration may be requested.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Applicant to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
6. By commencing any activity related to the project or using any structure authorized by this permit, Applicant accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
7. Applicant shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the Code.
8. Before placing or constructing any signs on the project property, Applicant shall obtain a sign permit from the City. Except as provided in the sign permit, Applicant may not change any signs on the project property.
9. Applicant shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
10. Applicant shall not permit any combustible refuse or other flammable materials to be burned on the project property.
11. Applicant shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
12. If Applicant, owner or tenant fails to comply with any of the conditions of this permit, the Applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code.
13. Prior to issuance of building permits, Applicant shall correct all violations of the City Code existing on the project property.
14. Applicant agrees, as a condition of adoption of this resolution, at Applicant's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicant's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.

15. This permit shall not be effective for any purpose until a duly authorized representative of the owner of the property has filed with the Department of Community Development, a notarized affidavit accepting all the conditions of this permit. This affidavit, or a copy of this resolution, shall be recorded with the County Recorder and is binding on successors. If the applicant is a corporation, then an officer of the corporation shall sign the acceptance affidavit.

LANDSCAPING STANDARD CONDITIONS

16. Before the City issues building permits or the proposed use is initiated, Applicant shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
17. Before the City issues a certificate of occupancy, Applicant shall install landscape and automatic irrigation systems. The irrigation shall be weather based and of the smart irrigation type. It shall be a brand approved by the Irrigation Association of California State University Fresno. A list of systems may be obtained from the planning division.
18. Applicant and/or property owner shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure to do so will result in the revocation of this permit and initiation of legal proceedings if necessary.
19. All trees planted or placed on the project property by Applicant shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
20. The project shall meet the maximum allowable water usage requirements as calculated by the AB 325 formula. The calculations shall be shown on the submitted landscape plans for verification.
21. Run off directional flow shall be detailed on the landscape plan with as much run-off water captured in landscaped areas as possible.

FIRE DEPARTMENT STANDARD CONDITIONS

22. Applicant shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Applicant shall mark all designated fire lanes in accordance with the California Vehicle Code.
23. Before the City issues building permits, Applicant shall obtain the Los Angeles County Fire Department approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Los Angeles County Fire Department shall determine whether or not the plan provides adequate fire protection.
24. Developer shall meet the County of Los Angeles's fire flow requirements. The developer is responsible for water system upgrades within the public right-of-way to ensure all hydrants meet the required fire flow requirements.

25. Developer shall install an automatic fire sprinkler system as required by the Fire Department.

PUBLIC WORKS CONDITIONS

26. All project driveways, approaches, and adjacent sidewalk area shall be constructed to meet American Disabilities Act requirements. Any existing sidewalk within the City's right-of-way currently not meeting ADA requirements shall be removed and replaced. Perimeter sidewalk within the Cal-Trans right-of-way shall be required to be upgraded at the discretion of Cal-Trans.

27. Prior to receiving Certificate of Occupancy, developer shall repair in accordance with the standards and specifications of the Public Works Director, any damaged concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins the street, at no expense to the city.

28. All unused approaches must be removed and replaced with sidewalk/parkway improvements to match existing and pursuant to American Disabilities Act requirements.

29. Developer shall have a pre-construction meeting with the head of the Public Works Department to discuss and submit a construction schedule.

30. All improvements along the Pacific Coast Highway right-of-way require a permit from Caltrans prior to construction.

31. Subject to Cal-Trans approval, the curb ramp located at the north/west corner shall be upgraded to meet American with Disabilities Act requirements.

32. Subject to Cal-Trans approval, the existing approach located on Pacific Coast Highway shall be expanded to a 45 foot width.

33. Vehicles over 24,000 pounds are prohibited to exit the project site onto Cypress St. and turn north. It is the responsibility of the project owner to ensure that all vendors are aware of this prohibition.

PLANNING STANDARD CONDITIONS

34. The final building plans submitted by Applicant with the building permit application shall depict all building materials and colors to be used in construction.

35. Any application for a minor modification to the project shall be accompanied by three copies of plans reflecting the requested modification, together with applicable processing fees.

36. Before the City issues building permits, Applicant shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.

37. Applicant may not modify any use approved by this permit unless the Community Development Director determines that Applicant has provided the parking required by the

Code for the modified use.

38. Applicant shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Applicant shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color.
39. For any exterior utility meter panels, Applicant shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible.
40. Project on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, standards in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Applicant shall recess or conceal under-canopy lighting elements so as not to be directly visible from a public street. Applicant shall submit a lighting plan showing standard heights and light materials for design review and approval of the Community Development Director. The commercial parking area shall provide a minimum 1 foot-candle throughout.
41. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway.
42. Applicant shall provide for dust control at all times during project property preparation and construction activities.
43. Subject to the approval of the Community and Development Director, the Applicant shall prepare a construction site management plan detailing the storage of construction materials and construction related vehicles outdoors on the project property.
44. Applicant shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property.
45. Applicant shall pay the required Development Tax and water facilities fee prior to issuance of building permits.

PLANNING SPECIAL CONDITIONS

46. That the Community Development Director may approve minor changes to the final approved plans. For numerical standards, the Community Development Director may approve deviations up to 10% provided that city code requirements are met.

47. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
48. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
49. All utilities shall be placed underground subject to review and approval of the Community Development Director and the Building Official.
50. Subject to the approval of the Public Works Director, the applicant shall post and paint as necessary to keep Cypress St. clear adjacent to the Cypress driveway.
51. The parcels addressed at 25629 Cypress St. and 2301 Pacific Coast Highway shall have a lot tie recorded stating that it is one building lot, with a form approved by the Community Development Director and City Attorney.
52. That the canopy columns be painted a color consistent with the building such as “La Habra Stucco Alamo” and that they receive the same stone veneer treatment as the building for the first 3 feet 6 inches.
53. A decorative cornice shall be added to the top of the canopy matching the building cornice in the color “crystal white”.
54. There shall be no illumination of the exterior of the fuel canopy except for one internally illuminated 7-11 logo on each elevation.
55. The existing block wall along the north property line’s structural integrity shall be verified by a structural engineer or other qualified individual. If the existing wall is not structurally sound it shall be replaced with a new six-foot solid masonry block wall. A solid six-foot masonry block wall shall be maintained at the subject property’s north property line at all times.
56. A six-foot wrought iron fence shall be erected on both the east and west sides of the building perpendicular to the block wall as indicated on the approved project plans.
57. One light fixture shall be installed along the north elevation. The height of the fixture cannot exceed eight feet, it must be manually controlled from the inside of the building, and divert all light downward away from adjacent properties. The light fixture shall be included within the lighting plan and approved by the Community Development Director.
58. Beer and wine sales can only be made between the hours of 7:00 am and 11:00 pm Sunday through Thursday and 7:00 am to 12:00 am on Fridays and Saturdays. Refrigerators containing beer wine shall be locked during the non-sales hours.
59. Security cameras shall be installed inside the store as well as outside along with a video recorder that covers all common areas of the store, high-risk areas, entrances and exits and

views to the parking lot to deter criminal activity The camera system shall be equipped to maintain video footage for a minimum two weeks.

60. The store front windows shall be maintained free from any obstructions to allow maximum visibility into the store.
61. No advertising of alcohol shall be visible from the exterior of the building.
62. The business owner must have readily identifiable personnel to monitor the premises and ensure there is no loitering around the premises. Signage shall be installed stating loitering is prohibited and employees shall be instructed to enforce this provision and call local law enforcement if necessary.
63. The Applicant shall maintain its premises in a neat and orderly fashion. Graffiti shall be removed within 24 hours of notification and all areas within the premises shall be free of litter at all times.
64. The Applicant will cause all of its managers and employees of the convenience store to participate in the LEAD (License Education on Alcohol and Drugs) program provided by the State of California Department of Alcoholic Beverage Control, or an equivalent program.
65. If excessive complaints are received regarding noise, loitering, or the Los Angeles County Sheriff reports a high level of calls for service, the City in its discretion may take action to have the Planning Commission review the conditional use permit and including without limitation add conditions or revoke the permit. Excessive complaints shall mean three verified complaints relating to different incidents within one calendar month or 12 per calendar year.
66. That graffiti shall be removed within 24 hours of notification by City staff.
67. Developer shall pay the applicable Water Facilities fee, development fees, and tree fees.
68. Subject to the approval of the Community Development Director, the developer shall prepare a construction mitigation plan which minimizes the noise impacts to adjacent properties.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14th day of January, 2019 by the following vote:

AYES: Commissioners: Cammarata, Dever, Popelka, Graf
NOES: Commissioners:
ABSENT: Commissioners: Hoy, Santos, Thompson



Michael Graf, Chair

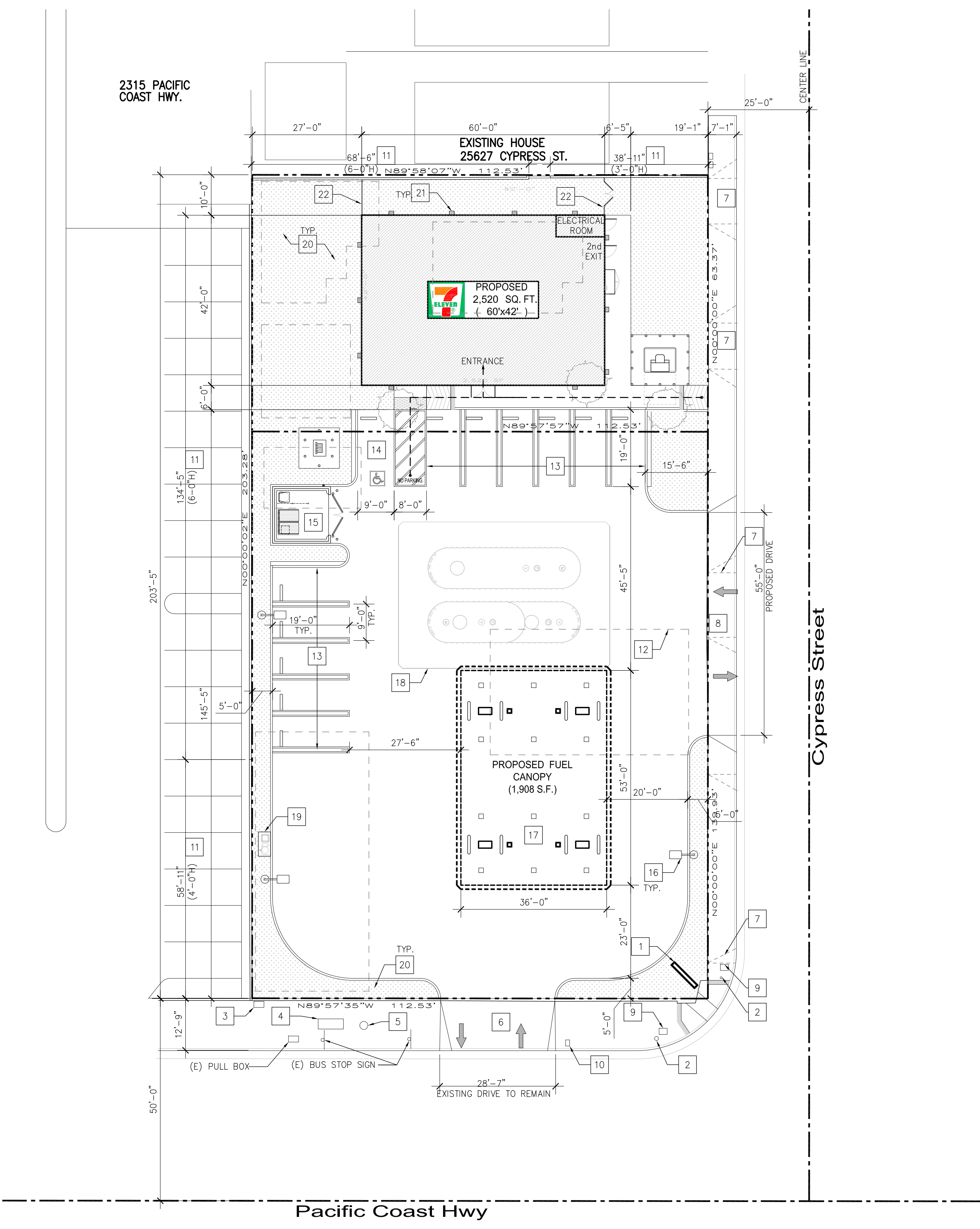
ATTEST:



Alicia Velasco, Community and Economic
Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

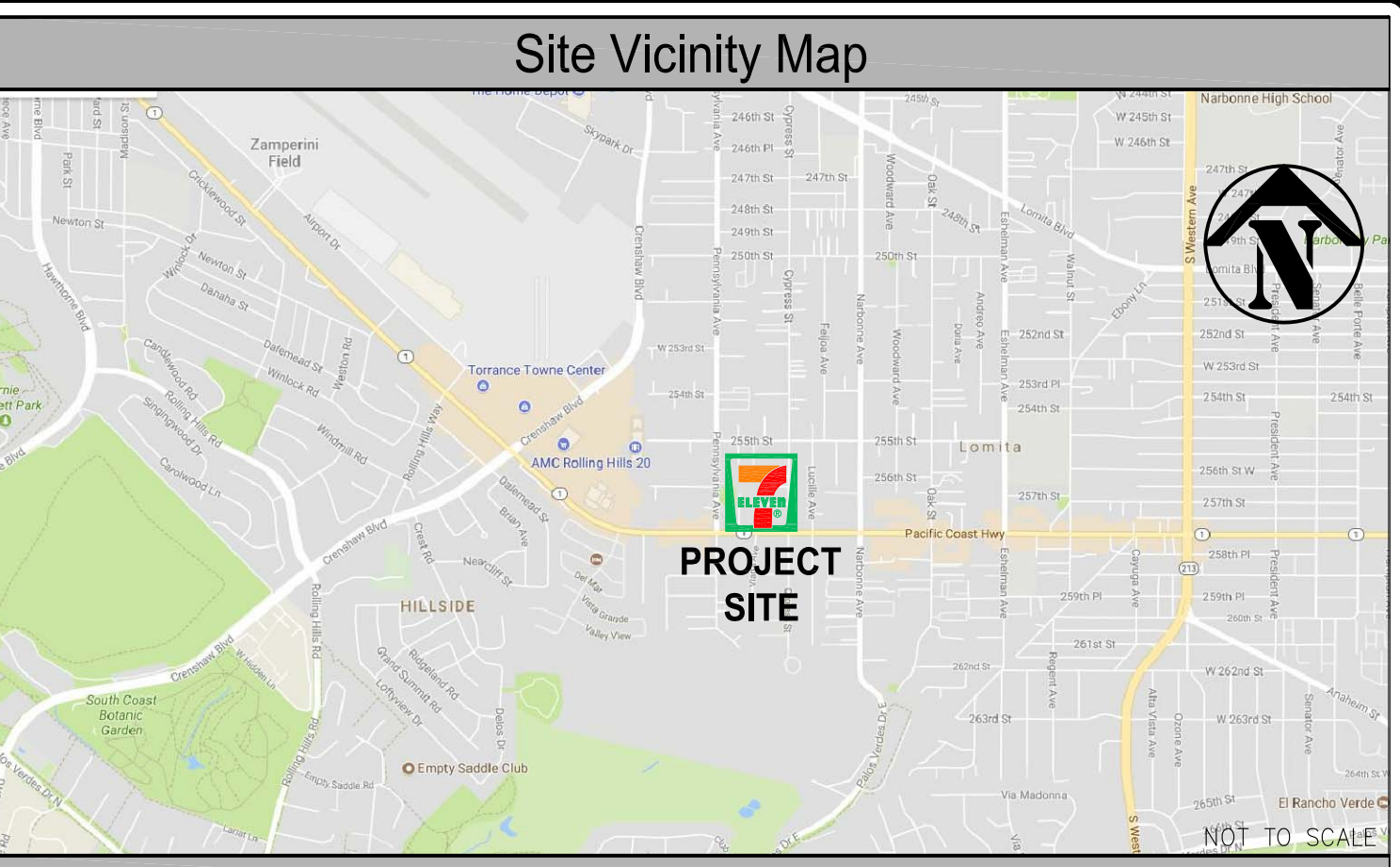
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



1
A0.0 PROPOSED SITE PLAN
Scale: 1/16" = 1'-0"
THE PHOTO-METRIC PLAN CAN
WAIT UNTIL BP PLAN CHECK

City of Lomita
Planning and Zoning Approval
Case No. CUP No 310
Signed *LM* Date _____
Subject to the following conditions:
1. Building and Safety Permits
2. This approval will expire
unless used in one year.
XXXXXXXXXX
See PC Reso #2019-03
& CUP 310
Amendment 4.9.24

Sheet Index					
		INCLUDED	NOT INCLUDED		
<input checked="" type="checkbox"/>	A0.0	PROPOSED SITE PLAN	<input checked="" type="checkbox"/>	A2.3	PROPOSED TRASH ENCLOSURE
<input checked="" type="checkbox"/>	A1.0	PROPOSED FLOOR PLAN	<input checked="" type="checkbox"/>	A2.4	PROPOSED MONUMENT SIGN
<input checked="" type="checkbox"/>	A2.0	PROPOSED ELEVATIONS	<input checked="" type="checkbox"/>	L1.0	CONCEPTUAL LANDSCAPE PLAN
<input checked="" type="checkbox"/>	A2.1	PROPOSED ELEVATIONS CANOPY	<input checked="" type="checkbox"/>	TOPO	TOPO SURVEY
<input checked="" type="checkbox"/>	A2.2	PROPOSED 3D RENDERING			



Project Directory

ADDRESS: 2301 PACIFIC COAST HWY, LOMITA, CA 90717
NORTH WEST CORNER OF PACIFIC COAST HIGHWAY AND CYPRESS ST.

LEGAL DESCRIPTION: TRACT NO 848 N 140 FT OF S 150 FT OF LOT 60

OWNER:
NAME: CHERINE & JILL E. MEDAWAR
MAIL ADDRESS: 3453 NEWRIDGE DRIVE, RACHCHO PALOS VERDES, CA 90275
PHONE: N/A

ADDRESS: 25629 CYPRESS ST, LOMITA, CA 90717

LEGAL DESCRIPTION: TRACT NO 848 S 63.4 FT OF N 126.8 FT OF LOT 60

OWNER:
NAME: SALEHI, AMIR
MAIL ADDRESS: 409 N PACIFIC COAST HWY, STE 556, REDONDO BEACH, 90277
PHONE: N/A

APPLICANT:
NAME: ASI DEVELOPMENT
MAIL ADDRESS: 5932 BOLSA AVENUE, STE. #107, HUNTINGTON BEACH, CA 92649
PHONE: 714-892-8810

Scope of Work

DEMO EXISTING BUILDINGS, MERGE LOTS AND CONSTRUCT A NEW CONVENIENCE STORE WITH 4 GAS PUMPS AND CANOPY.

Site Data Information

APN: 7373-007-013 / 7373-007-014
LOT: TRACT NO 848 S 63.4 FT OF N 126.8 FT OF LOT 60/
TRACT NO 848 N 140 FT OF S 150 FT OF LOT 60
ZONING: CR - COMMERCIAL, RETAIL

LOT AREA	SQ. FT.		RATIO		
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	
		22,883		100%	
BUILDING AREA	OCCUPANCY: M CONSTRUCTION: V-B BUILDING HEIGHT: 25'-0"	2,520		11.01%	
REQUIRED LANDSCAPE AREA PER CODE; MIN 6% OF LOT AREA		1,373		6%	
PROVIDED LANDSCAPE AREA w/ 5' PERIMETER		5,081		22.20%	
PROVIDED LANDSCAPE AREA w/o 5' PERIMETER		2,360		10.31%	
PARKING AREA	TYPE	PARKING STALL SIZE		PARKING SPACE (1/300 PER PLANNING)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
	REGULAR	9'-0" x 19'-0"	9'-0" x 19'-0"		11
	COMPACT	7'-6" x 15'-0"	N/A	9	0
	HANDICAP	9'-0" x 19'-0"	9'-0" x 19'-0"		1
TOTAL				12	

Site Key Notes

1 (N) MONUMENT SIGN	12 (E) BUILDING TO BE REMOVED. REFER TO SHEET A0.1 FOR MORE INFO.
2 (E) TRAFFIC LIGHT TO REMAIN, TYP.	13 (N) PARKING STALL
3 (E) GAS METER TO REMAIN.	14 (N) ACCESSIBLE PARKING STALL
4 (E) BUS STOP BENCH TO REMAIN.	15 (N) TRASH ENCLOSURE
5 (E) PUBLIC TRASH CAN TO REMAIN.	16 (N) LOT LIGHT STANDARD, TYP.
6 (E) DRIVE-WAY APPROACH TO REMAIN.	17 (N) GAS CANOPY
7 (E) DRIVE-WAY APPROACH TO BE REMOVED. REFER TO SHEET A0.1 FOR MORE INFO.	18 (N) FUEL TANK (U.S.T.)
8 (N) DRIVE-WAY APPROACH	19 (N) AIR / VAC MACHINE
9 (E) TRAFFIC SIGNAL BOX TO REMAIN.	20 (N) LANDSCAPE. REFER TO SHEET L1.0 FOR MORE INFO.
10 (E) WATER METER TO REMAIN.	21 (N) WALL PACK LIGHT.
11 (E) 4'-0"H/6'-0"H BLOCK WALL TO REMAIN.	22 (N) 6'-0"H WROUGHT IRON FENCE/GATE.

Site General Notes

- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT / OWNER ANY DISCREPANCIES
- GENERAL CONTRACTOR TO FIELD VERIFY ALL SITE ACCESSIBILITY FEATURES AND NOTIFY ARCHITECT / OWNER ANY NON-COMPLIANCE
- GENERAL CONTRACTOR TO KEEP SITE FREE OF DEBRIS AND PROTECT ALL SITE / LANDSCAPE / HARDSCAPE FEATURES THAT ARE NOT AFFECT THE SCOPE OF WORK
- GENERAL CONTRACTOR TO KEEP DRIVEWAY AND PARKING AREA FREE OF NAILS, SCREWS, AND/OR SCRAP METALS TO PREVENT TIRE DAMAGES

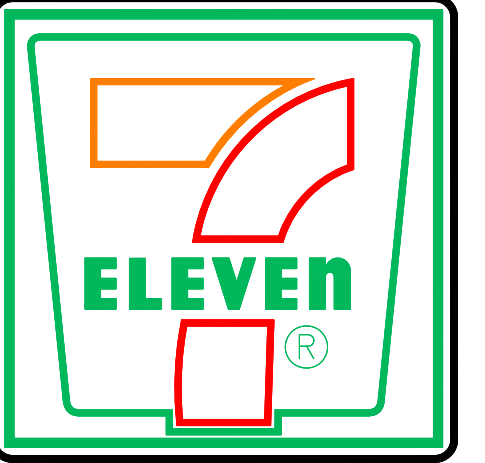
5932 Bolsa Avenue, Ste. #107
Huntington Beach, CA 92649

T: 714-892-8810
714-892-8812
F: 800-342-0507

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Stamp:

12/13/18



Project Location:

2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717

New Building 2,520 S.F.

No.	Date	Revision

Project No.: **38548**
Scale: As-Noted
Drawn / Checked by: TV/KP
Date: December 13, 2018

Drawing Title:
Proposed Site Plan

Sheet:
A0.0

Materials Legend

- SMOOTH STUCCO FINISH
LA HABRA STUCCO #63152 ASHENVILLE
- SMOOTH STUCCO FINISH
LA HABRA STUCCO #524 ALAMO
- EPS FOAM CORNICE PER MANUFACTURER
COLOR: CRYSTAL WHITE
- EPS FOAM TRIM PER MANUFACTURER
COLOR: CRYSTAL WHITE
- ALUMINUM STORE FRONT SYSTEM
GLASS COLOR & STYLE: TINTED
FRAME COLOR: ANODIZED ALUMINUM
- ALUMINUM AWNING BY OTHERS
COLOR: SEAL SKIN/SW #7675
- METAL ELECTRICAL DOOR w/LOUVER
COLOR: SEAL SKIN/SW #7675
- METAL EXIT DOOR w/PUSH BAR
COLOR: SEAL SKIN/SW #7675
- STONE VENEER: BY CULTURED STONE
STYLED & COLOR: PRO-FIT LEDGESTONE "MOJAVE"
INSTALLATION METHOD: DRY STACK (TIGHTLY STACKED)

SIGNAGE CODE INFORMATION

FORMULA: 2sf for each LF of the building that fronts a publicly dedicated street or public access area. Max 100 sf per business

SOUTH ELEVATION: 120 sf allowable
SIGN A: 85.3 sf

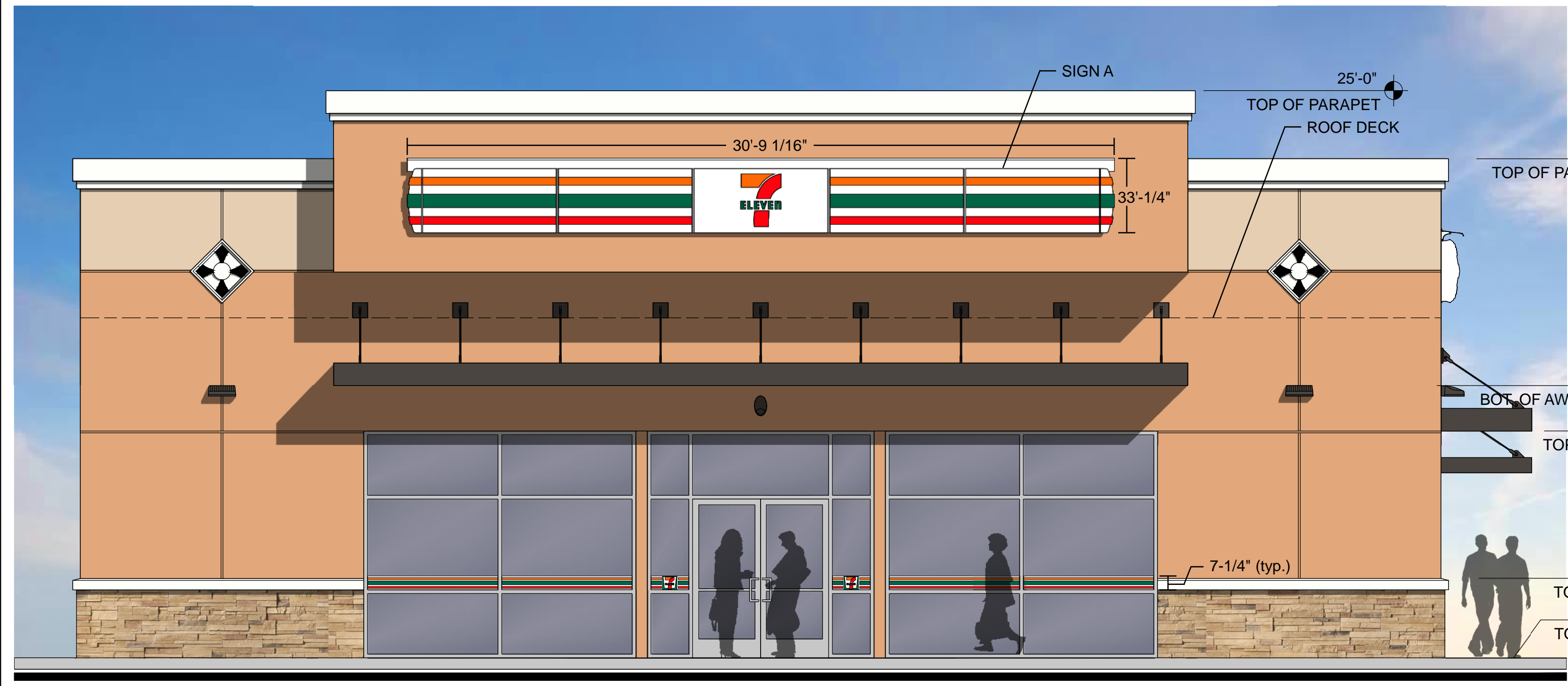
EAST ELEVATION: 84 sf allowable
SIGN B: 52.5 sf

WINDOW DECAL COVERAGE

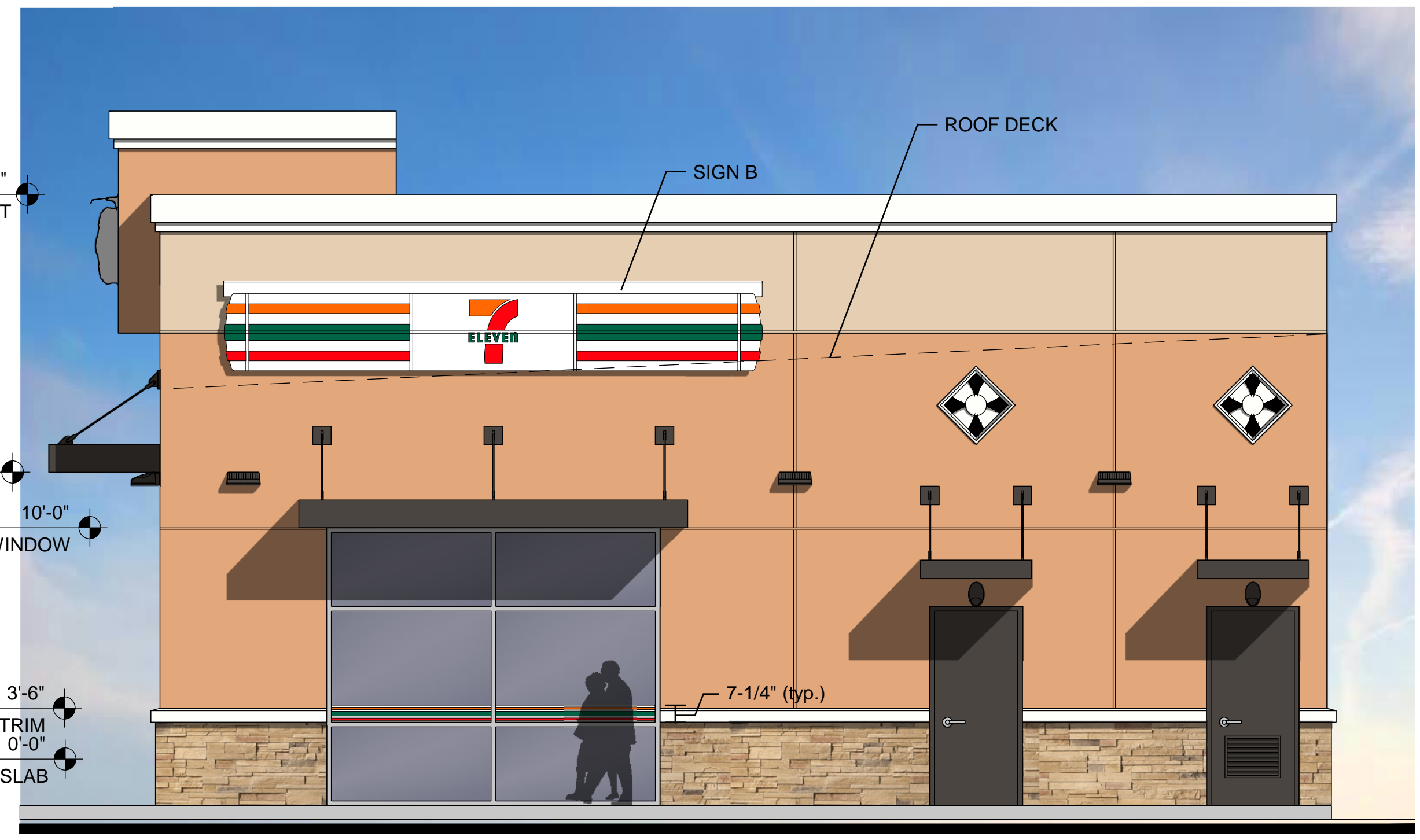
MAXIMUM PERMISSIBLE COVERAGE:
25% OF THE WINDOW AREA

SOUTH ELEVATION:
TOTAL WINDOW AREA: 290.50 sf
TOTAL ALLOWABLE COVERAGE: 72.63 sf
TOTAL DECAL: 8.96 sf = 3.08%

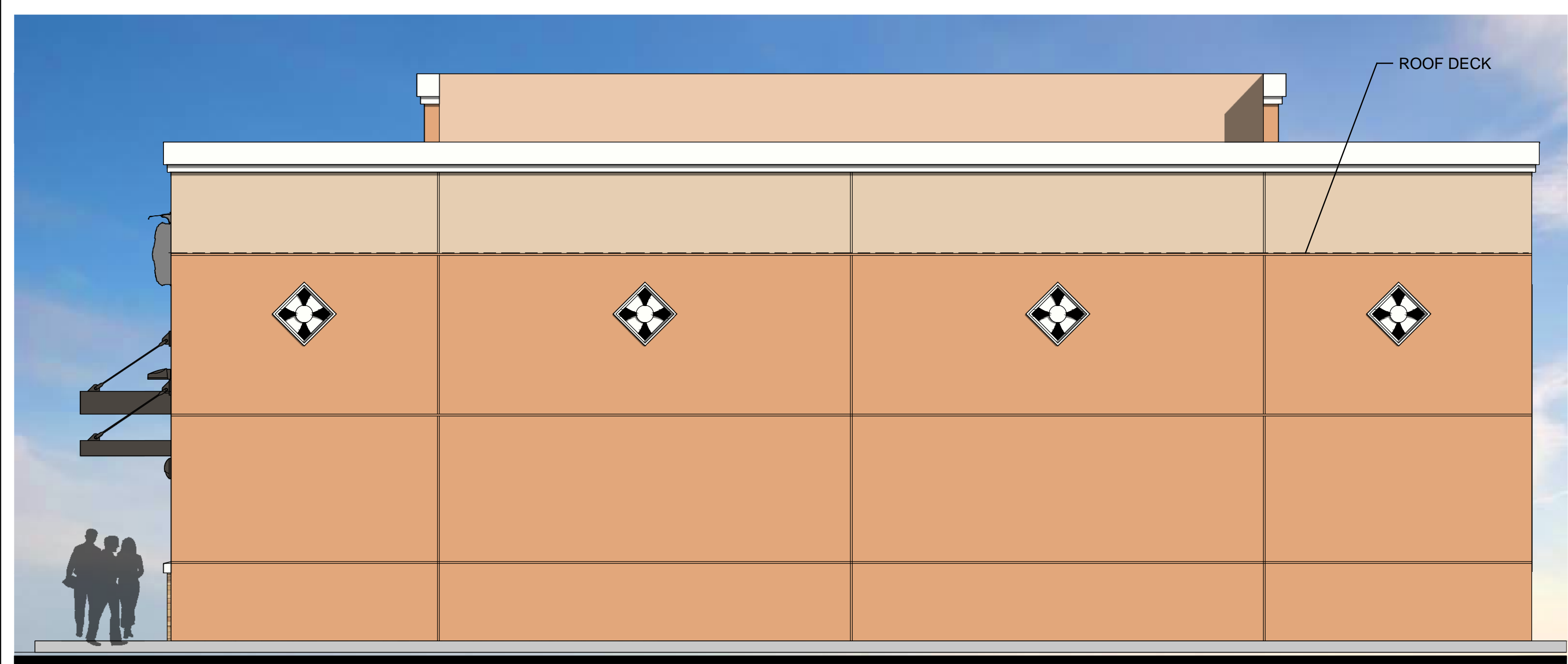
EAST ELEVATION:
TOTAL WINDOW AREA: 107.32 sf
TOTAL ALLOWABLE COVERAGE: 26.83 sf
TOTAL DECAL: 6.94 sf = 6.47%



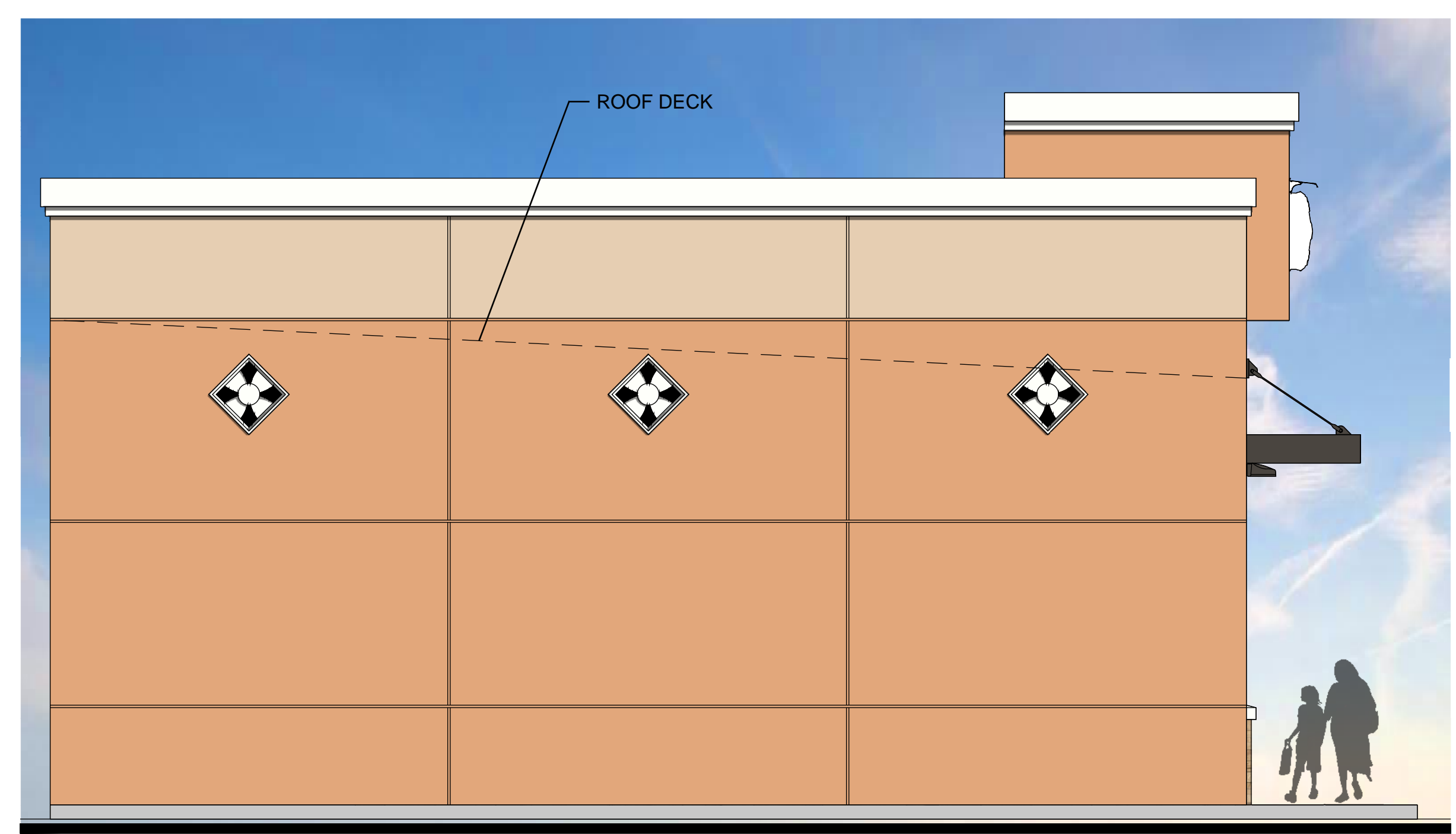
1 PROPOSED SOUTH ELEVATION
Scale: 1/4"=1'-0"



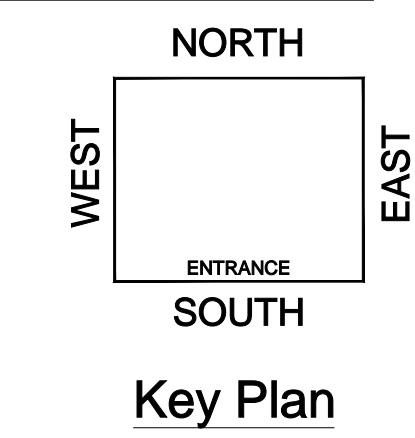
2 PROPOSED EAST ELEVATION
Scale: 1/4"=1'-0"



3 PROPOSED NORTH ELEVATION
Scale: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION
Scale: 1/4"=1'-0"



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Stamp: _____

5/6/18



Project Location:
**2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717**
New Building 2,520 S.F.

No.	Date	Revision

Project No.: **1043735**
Scale: As-Noted
Drawn / Checked by: TV/KP
Date: May 6, 2018

Drawing Title:
Proposed Elevation

Sheet:
A2.0

Location: I:\ASI\7-11\1043735-Lomita, CA 90717-2301 Pacific Coast Hwy @ Cypress St\01-Cad files\03-CUP Exhibits\1043735-A2.0-Proposed Elevation-CUP.dwg - Plot Date: 5/6/2018 11:28:56 PM



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Stamp:

5/6/18



Project Location:

2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717
New Building 2,520 S.F.

No.	Date	Revision

Project No.: 1043735
Scale: As-Noted
Drawn / Checked by: TV/KP
Date: May 6, 2018

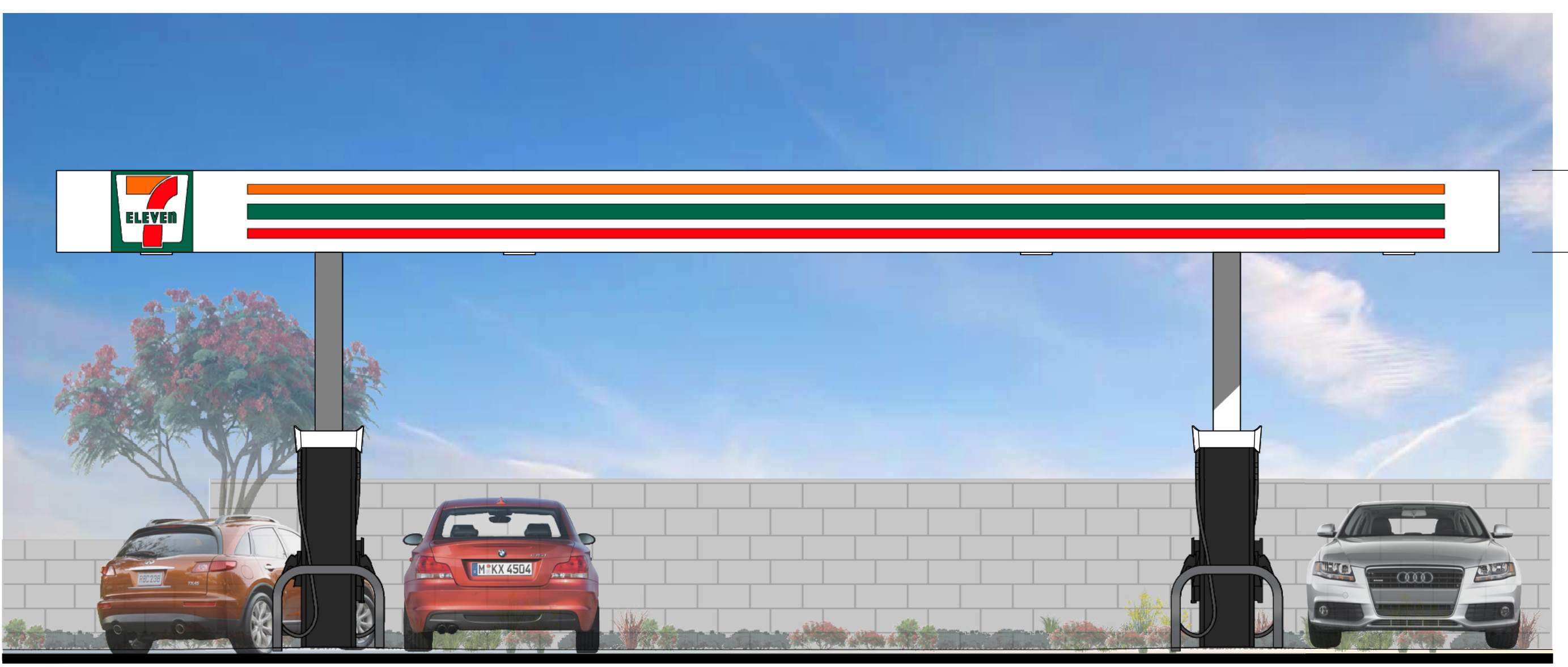
Drawing Title:

Canopy Elevation

Sheet:

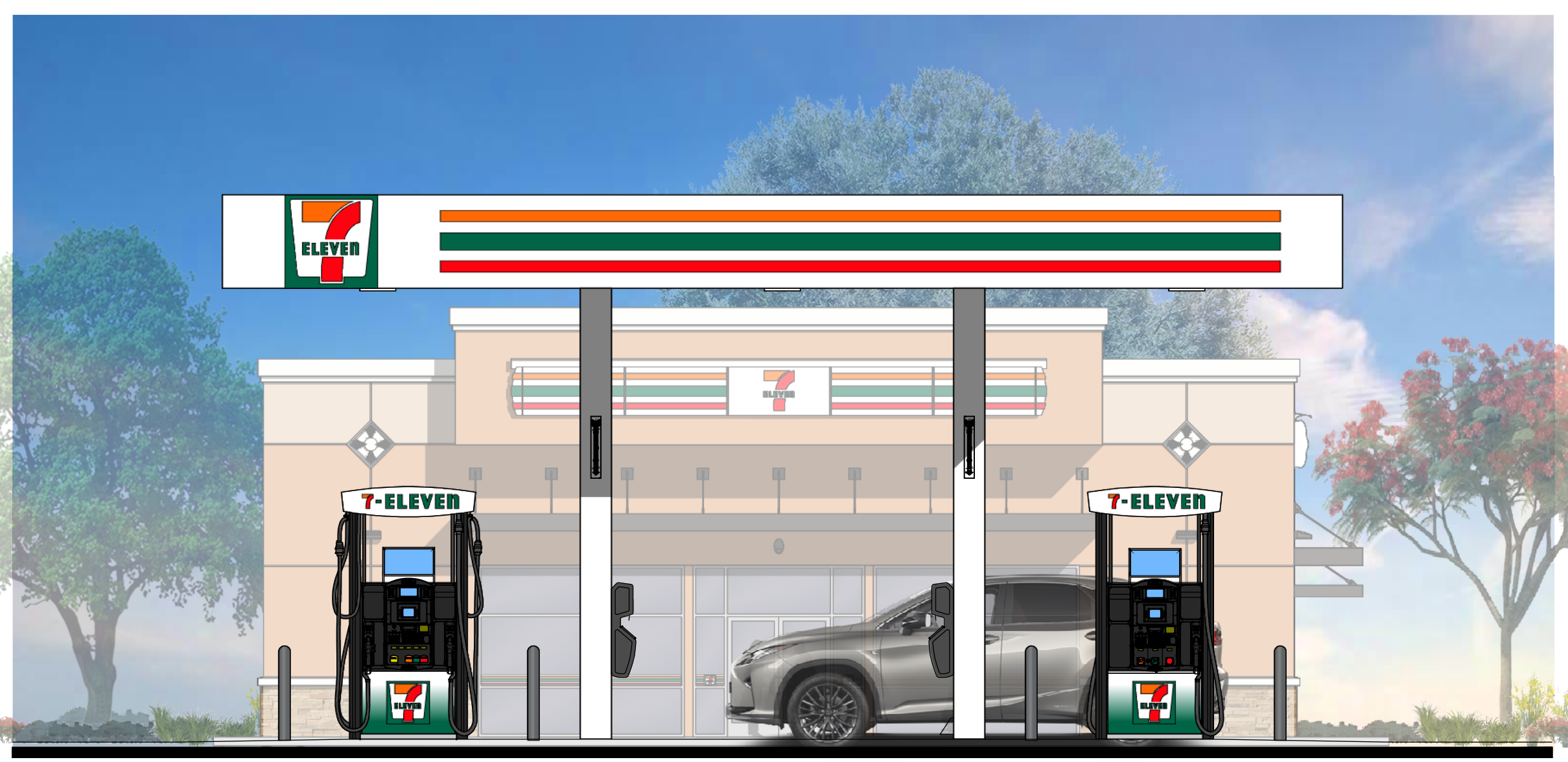
A2.1

CUP EXHIBITS



17'-6" TOP OF CANOPY
14'-6" BOT. OF CANOPY

1 PROPOSED EAST ELEVATION
A2.1 Scale: 1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION
A2.1 Scale: 1/4"=1'-0"

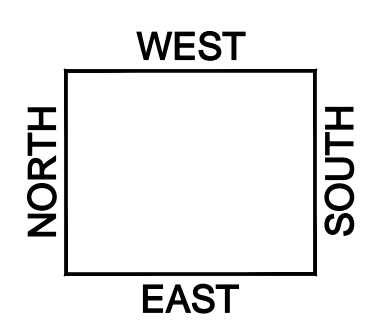


17'-6" TOP OF CANOPY
14'-6" BOT. OF CANOPY

3 PROPOSED WEST ELEVATION
A2.1 Scale: 1/4"=1'-0"



4 PROPOSED NORTH ELEVATION
A2.1 Scale: 1/4"=1'-0"



Location: I:\ASI\7-11\1043735-Lomita, CA 90717-2301 Pacific Coast Hwy @ Cypress St\01-Cod files\03-CUP Exhibits\1043735-A2.1-Canopy Elevation-CUP.dwg - Plot Date: 5/6/2018 11:32:24 PM



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Stamp:

9/19/18



Project Location:

2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717
New Building 2,940 S.F.

No.	Date	Revision

Project No.: **38548**
Scale: As-Noted
Drawn / Checked by: TV/KP
Date: September 19, 2018

Drawing Title:
3-D Rendering
Sheet:
A2.2

CUP EXHIBITS



Location: P:\7E-11\38548-Lomita, CA 90717-2301 Pacific Coast Hwy @ Cypress St\01-Cor files\03-CUP Exhibits\38548-A1.3-Rendering-CUP.dwg - E:\Data 9/19/2018 2:48:31 PM

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Stamp:
 9/20/18



Project Location:

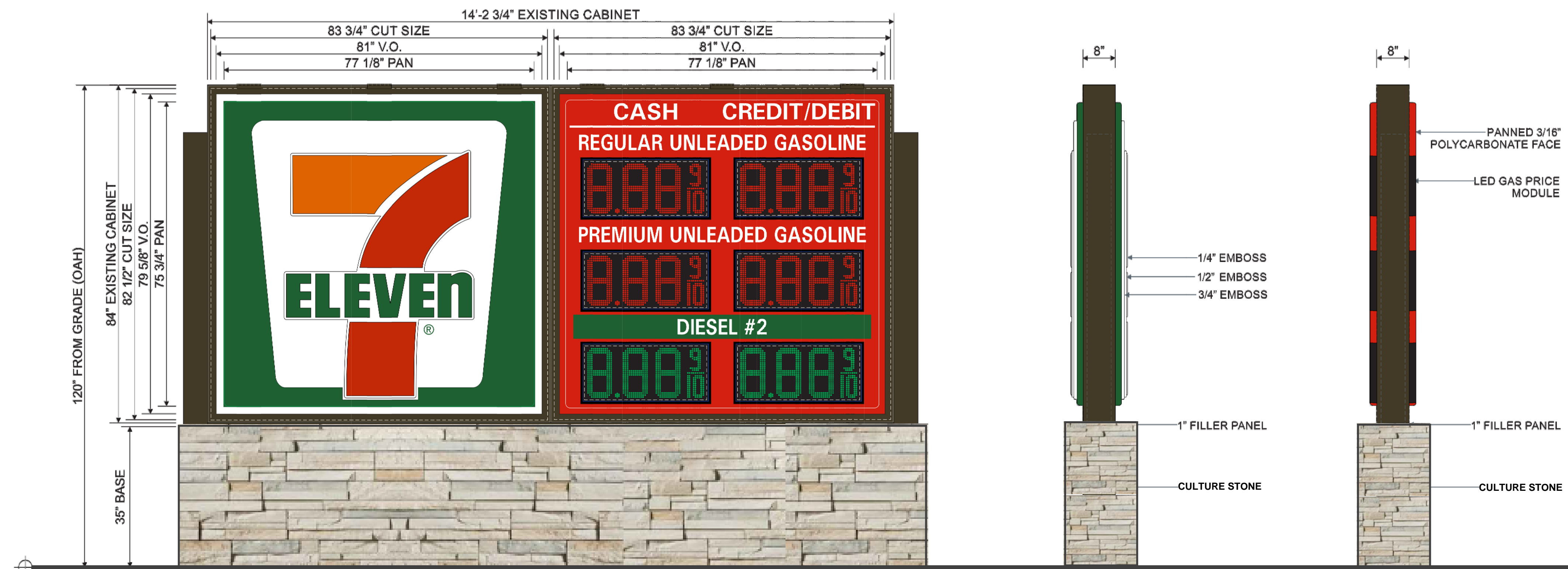
2301 Pacific Coast Hwy
 @ Cypress St
 Lomita, CA 90717
 New Building 2,940 S.F.

No.	Date	Revision

Project No.: **38548**
 Scale: As-Noted
 Drawn / Checked by: TV/KP
 Date: September 20, 2018

Drawing Title:
Monument Sign

Sheet:
A2.4



Code Information:	
Formula: .5 sf per lineal foot of the longest lot frontage. Must be 100 ft from others. Monument Style only in a planter are encouraged.	
Allowed:	101.5 sqft
Proposed:	99.6 sqft
Height Information:	
Allowed:	10'- 0"
Proposed:	10'- 0"
Set Back Information:	
Must be on the property and out of ROW	

ONE (1) CUSTOM D/F INTERNALLY ILLUMINATED MAIN ID/GAS PRICE MONUMENT SIGN.

MAIN ID (M50) FACES W/ RETAINERS: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLY. FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. 2" INSET RETAINERS TO BE HINGED ON BOTH SIDES OF CABINET.

GAS PRICE (L50G6D-CA) FACES W/ RETAINERS: 3/16" THICK PAN FORMED CLEAR POLY. FACES BACK SPRAYED PMS 485 RED THEN PMS WHITE W/ 3M 3630-26 GREEN TRANSLUCENT VINYL & 3M 7725-12 BLACK VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE. 2" INSET RETAINERS TO BE HINGED ON BOTH SIDES OF CABINET.

8" DEEP EXTRUDED ALUM. CABINET W/ 2" INSET HINGED RETAINERS TO BE PAINTED DURANODIC BRONZE. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

PROVIDE CUSTOMER W/ PRICE VISION 6" DIGIT RED & GREEN LED MODULES.
 PROVIDE CUSTOMER ALUM. SKIN & FRAME BASE, PAINTED DURANODIC BRONZE.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN, 3M 7725-12 BLACK
 7-ELEVEN PAINT SPECS: PMS 485 RED & PMS WHITE

NOTE: VERTICAL STEEL SUPPORT & FOOTING TO BE SPECIFIED BY ENGINEERING & PROVIDED BY INSTALLER
NOTE: MONUMENT SIGN CABINET TO HAVE AT LEAST 1" OF SPACE BELOW CABINET FOR VENTILATION.
NOTE: PER CODE, MONUMENT SIGN IS REQUIRE TO BE IN A LANDSCAPE PLANTER AREA TO BE PROVIDED BY CUSTOMER

SEP PRICE VISION LED UNITS:	
LED UNIT SIZE:	14.284" X 31.3"
LED CHARACTER SIZE:	12.340"

7-ELEVEN LOGO DIMENSIONS:	
OAH:	69 1/2"
OAL:	63 1/2"

Front View & Side Detail - Custom Mobil Dual-Brand Monument Sign - Sign E
 3/8" = 1'-0"

Display Square Footage(Total): **99.6**



7-Eleven #1043735
 CYPRESS ST & PACIFIC COAST HWY
 LOMITA, CA 90717

SVE7002-00
 F:\Customers\7 Eleven\Art\SVE7002-00 #1043735.cdr

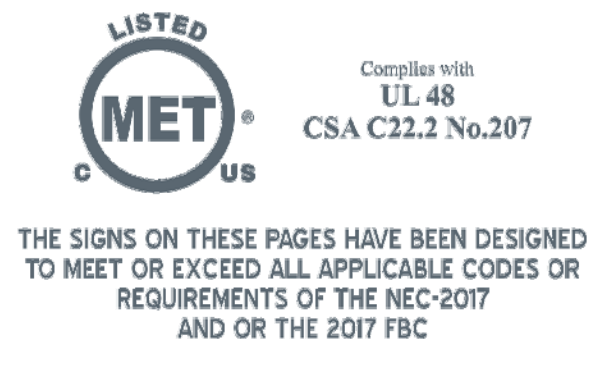
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 Designer: bw

DPM: Peter Gonzalez
 RCC: uk
 RER: uk

Page: 5

customer approval _____ date: _____



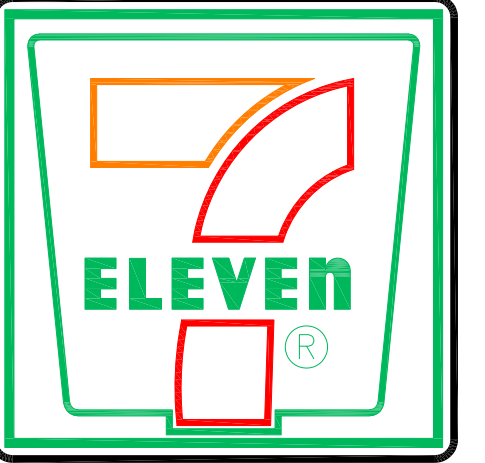
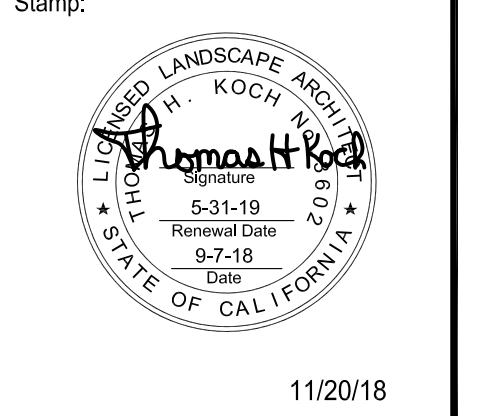
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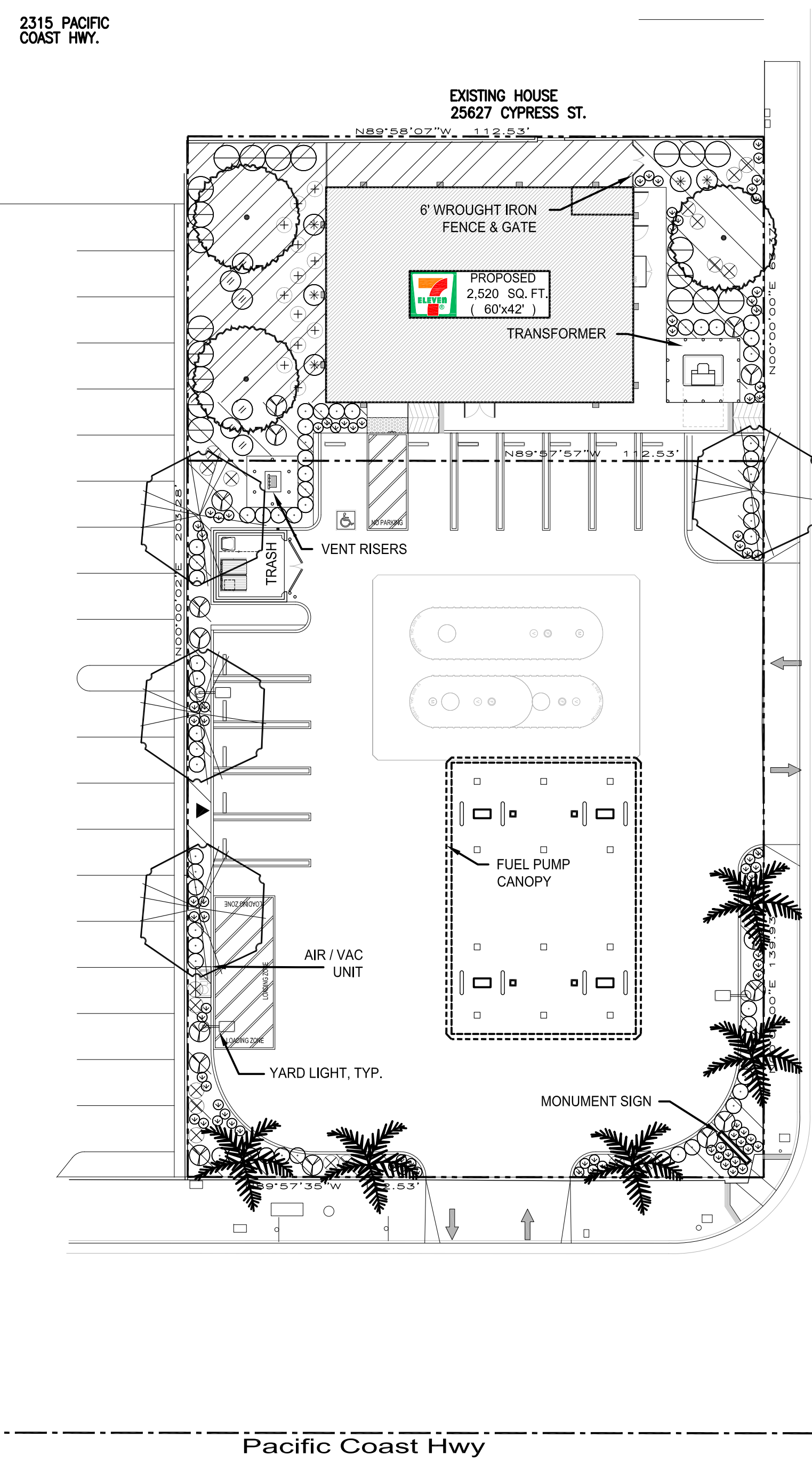


Project Location:
**2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717**
New Building 2,940 S.F.

No.	Date	Revision

Project No.: **38548**
Scale: **1" = 20'**
Drawn / Checked by:
Date: **November 20, 2018**

Drawing Title:
Conceptual Landscape Plan
Sheet:
L1.0



PROPOSED PLANT LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MATURE H X W	WATER USE COMMENTS
	TREES: ARBUTUS 'MARINA' NCN	3	36" BOX 25' x 20'	LOW
	CASSIA LEPTOPHYLLA GOLD MEDALLION TREE	4	24" BOX 25' x 25'	MODERATE
	SYAGRUS ROMANZOFFIANUM QUEEN PALM	5	16" BTH 50' x 20'	MODERATE
	SHRUBS: BOUGAINVILLEA 'TORCH GLOW' BOUGAINVILLEA	5	5 GALLON 5' x 4'	LOW
	DIETES GRANDIFLORA FORTNIGHT LILY	20	5 GALLON 4' x 3'	MODERATE
	DODONAEA V. 'PURPUREA' PURPLE HOPSEED BUSH	20	5 GALLON 8' x 5'	LOW
	HEMEROCALLIS 'STELLA D'ORO' YELLOW DAYLILY	84	1 GALLON 2' x 2'	MODERATE
	MUHLENBERGIA RIGENS DEER GRASS	12	5 GALLON 3' x 3'	LOW
	PHORMIUM T. 'MAORI QUEEN' NEW ZEALAND FLAX	15	5 GALLON 4' x 4'	MODERATE
	RHAPHIOLEPIS I. 'CLARA' WHITE INDIA HAWTHORN	54	5 GALLON 3' x 3'	MODERATE
	WESTRINGIA F. 'SMOKEY' COAST ROSEMARY	6	5 GALLON 4' x 4'	LOW
	VINES: PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	1	5 GALLON	MODERATE
	GROUNDCOVERS: CARISSA M. 'GREEN CARPET' PROSTRATE NATAL PLUM	1	1 GALLON @ 30" O.C.	MODERATE
	PYRACANTHA C. 'LOW BOY' PROSTRATE FIRETHORN	1	1 GALLON @ 5' O.C.	LOW

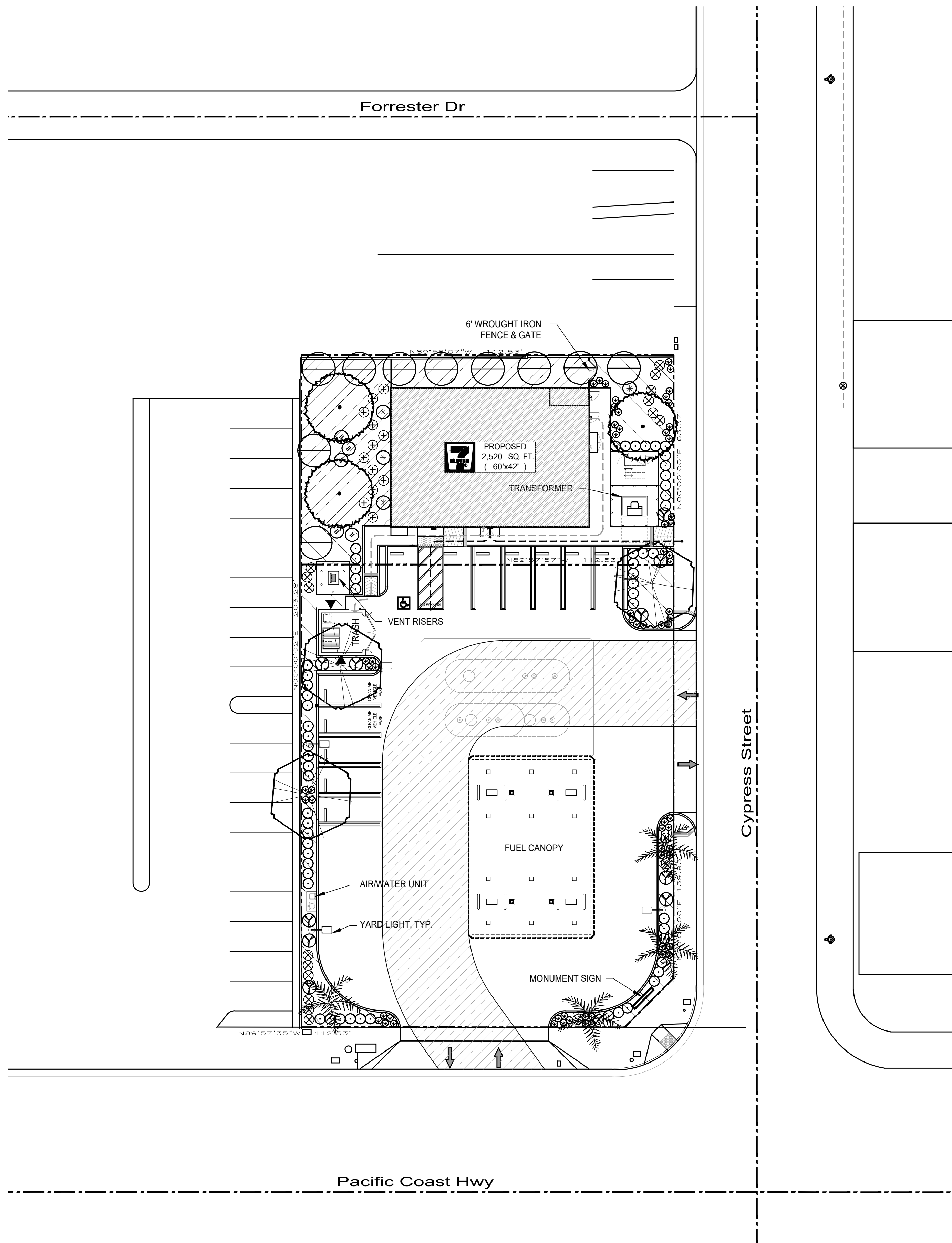
NOTES:
PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH.
AREAS OF GROUNDCOVER PLANTED FROM FLATS SHALL BE MULCHED WITH A ONE AND ONE HALF INCH (1 1/2") MINIMUM LAYER OF ORGANIC WOOD MULCH.
LINEAL 'DEEP ROOT' BARRIERS, 24" DEEP ARE REQUIRED WHEN TREE IS WITHIN 5' OF PAVING/CURB/HARDSCAPE.
REDUCE VISIBILITY OF WATER METERS, BACKFLOW PREVENTORS AND UTILITY CABINETS WITH LANDSCAPING.
IRRIGATION WILL BE BY DRIPLINE WITH A WEATHER BASED AUTOMATIC CONTROLLER.

MAXIMUM APPLIED WATER ALLOWANCE:
(46.0)(0.62)(0.45 x 3,870) = 49,667.6 G.P.Y.
TOTAL LANDSCAPE AREA = 3,870 SQ. FT.

1
L1.0
CONCEPTUAL LANDSCAPE PLAN
Scale: 1" = 20'

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Location: C:\Users\Tom\Documents\The Clients\ASI Development\17-11 PCH & Cypress St., Lomita\1043735 - L1.0 Planting.dwg - E:\at_data: 12/20/2019 10:28:19 AM



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L1.0

PLANTING PLAN

Scale: 1" = 20'



"I HAVE COMPLIED WITH THE CRITERIA OF THE CITY OF LOMITA'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

Thomas H Koch
LANDSCAPE ARCHITECT

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MATURE H X W	WATER USE COMMENTS
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	CASSIA LEPTOPHYLLA GOLD MEDALLION TREE	3	24" BOX 25' x 25'	MODERATE
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	SHRUBS: BOUGAINVILLEA TORCH GLOW BOUGAINVILLEA	4	5 GALLON 5' x 4'	LOW
	DIETES GRANDIFLORA FORTNIGHT LILY	18	5 GALLON 4' x 3'	MODERATE
	DODONAEA V. 'PURPUREA' PURPLE HOPSEED BUSH	10	15 GALLON 10' x 10'	LOW
	HEMEROCALLIS 'STELLA D'ORO' YELLOW DAYLILY	63	1 GALLON 2x 2"	MODERATE
	MUHLENBERGIA RIGENS DEER GRASS	12	5 GALLON 3' x 3'	LOW
	PHORMIUM T. 'MAORI QUEEN' NEW ZEALAND FLAX	10	5 GALLON 4' x 4'	MODERATE
	RHAPHIOLEPIS I. 'CLARA' WHITE INDIA HAWTHORN	62	5 GALLON 3' x 3'	MODERATE
	WESTRINGIA F. 'SMOKEY' COAST ROSEMARY	5	5 GALLON 4' x 4'	LOW
	VINES: PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	2	5 GALLON	MODERATE
	GROUNDCOVERS: CARISSA M. 'GREEN CARPET' PROSTRATE NATAL PLUM	1	1 GALLON @ 30" O.C.	MODERATE
	PYRACANTHA C. 'LOW BOY' PROSTRATE FIRETHORN	1	1 GALLON @ 5' O.C.	LOW

PLANT LEGEND

NOTES:
 PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH. AREAS OF GROUND COVER PLANTED FROM FLATS SHALL BE MULCHED WITH A ONE AND ONE HALF INCH (1 1/2") MINIMUM LAYER OF ORGANIC WOOD MULCH.
 LINEAL 'DEEP ROOT' BARRIERS, 24" DEEP ARE REQUIRED WHEN TREE IS WITHIN 5' OF PAVING/CURB/HARDSCAPE.
 REDUCE VISIBILITY OF WATER METERS, BACKFLOW PREVENTORS AND UTILITY CABINETS WITH LANDSCAPING.

PLANTING NOTES

CONTRACTOR TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS TO HAVE WRITTEN APPROVAL.

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY UNDERGROUND DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE FOR FAILURE TO DO SO.

CONTRACTOR TO VERIFY WITH A SOILS ANALYSIS THE PROPER SOIL AMENDMENTS. CONTACT LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENDMENTS.

SEE PLANTING DETAILS FOR ALL PLANTING AND STAKING / GUYING REQUIREMENTS. ALL SHRUB AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REDUCE MAJOR SETTLING OF PLANT MATERIAL.

CONTRACTOR TO RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.

FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE. FERTILIZING, APPLICATION OF SPRAYS THAT MAY BE NECESSARY TO KEEP THE PLANTING'S FREE FROM INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RE-SEEDING, EDGING AND / OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE ENTIRE PROJECT TO BE MAINTAINED FOR A PERIOD OF (30) DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

ALL TURF AND SHRUB AREAS SHALL BE SEPARATED BY A TRIPLE PLY REDWOOD BENDER BOARD, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL INSTALL JUTE MESH NETTING ON ALL SLOPES THAT EXCEED A 2:1 GRADIENT.

CONTRACTOR SHALL MULCH ALL SHRUB AND GROUND COVER AREAS AFTER INSTALLATION OF PLANT MATERIAL WITH A MINIMUM 3" DEEP LAYER OF COMPOSTED AMENDMENT OR TOP DRESS MATERIAL.

ALL FINISH GRADES IN SHRUB AREAS SHALL BE 3" BELOW PAVEMENT OR CURBS. ALL FINISH GRADES IN TURF AREAS SHALL BE 1" BELOW PAVEMENTS OR CURBS.

ALL SPECIMEN TREES SHALL RECEIVE DEEP ROOT BARRIERS WHEN LOCATED WITHIN 5' OF HARDSCAPE. FICUS SPECIES SHALL RECEIVE DEEP ROOT BARRIERS IN ALL CASES. INSTALL DEEP ROOT BARRIERS PER MANUFACTURERS SPECIFICATIONS, OR AS NOTED.

REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.

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 12/20/19



Project Location:
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 @ Cypress St
 Lomita, CA 90717
 New Building 2,940 S.F.

No.	Date	Revision

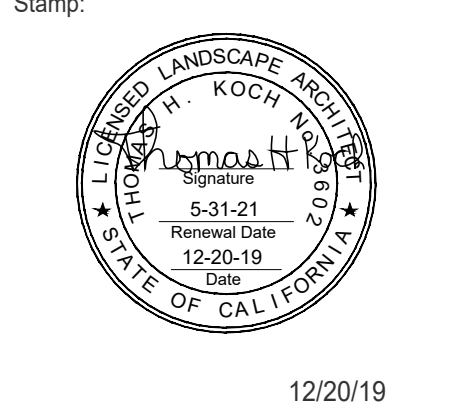
Project No.: **1043735**
 Scale: **1" = 20'**
 Drawn / Checked by:
 Date: December 20, 2019

Drawing Title:
Planting Plan
 Sheet:
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IRRIGATION LEGEND

- SYMBOL DESCRIPTION**
- TORO DL2000 *PC DRILINE RGP-12", 0.5 GPH EMITTERS @ 12" O.C. FOR TREES.
 - TORO DL2000 *PC DRILINE RGP-12", 1.0 GPH @ 12" O.C. FOR SHRUB AREAS. INSTALL 4-6" BELOW GRADE IN ROWS 12"-18" O.C. START 2"-4" AWAY FROM HARDSCAPE. INSTALL WITH ALL TORO COMPONENTS AND FITTINGS. INSTALL FLUSH VALVES AT ENDS OF EACH SYSTEM. INSTALL AIR RELIEF VALVE IF GRADE CHANGE/ELEVATION OCCURS. USE TORO T-SS6-50 STEEL SOIL STAPLES AT 4' ON CENTER TO HOLD TUBING IN PLACE.
 - TORO P220-27-0-1, 1" PRESSURE REGULATED MASTER VALVE. IN RECTANGULAR VALVE BOX.
 - IRRITROL DZK-700 DRIP ZONE VALVE KIT. IN RECTANGULAR VALVE BOX.
 - TORO 100-SLVC, 1" QUICK COUPLING VALVE W/ VINYL COVER. IN ROUND VALVE BOX.
 - NIBCO T-580 BRASS BALL VALVE OR APPROVED EQUAL, LINE SIZE. IN ROUND VALVE BOX.
 - FEBCO 825YA BACK FLOW DEVICE, 1".
 - TORO TMC-424E-OD-4F-8F, 8 STATION CONTROLLER W/ FLOW SENSOR & TWSR TORO WIRELESS RAIN SENSOR, WALL MOUNT.
 - MAINLINE, 2" OR UNDER, SCH 40 PVC, 18" MINIMUM COVER.
 - NON-PRESSURE LATERAL LINE PIPING, PVC SCH 40, 12" MINIMUM COVER.
 - INDICATES PVC SCH 40 LATERAL CONNECTING AREAS OF SAME HYDROZONE TO VALVE.
 - PIPE SLEEVING SCH 40 PVC, BURY MINIMUM 36" DEPTH. EXTEND 12" PAST EDGE OF PAVING. (TWO TIMES DIAMETER OF PIPE BEING SLEEVED).
 - WIRE SLEEVING PVC SCH 40, BURY MINIMUM 36" DEPTH. EXTEND 12" PAST EDGE OF PAVING. (OF SUFFICIENT SIZE FOR WIRES BEING SLEEVED).
 - VALVE SEQUENCE NUMBER
 - FLOW IN GALLONS PER MINUTE
 - VALVE SIZE
 - HYDROZONE # (SEE HZ LEGEND)

MAXIMUM APPLIED WATER ALLOWANCE:
(46.0)(0.62)(0.45 x 4,539) = 58,253.5 G.P.Y.
TOTAL LANDSCAPE AREA = 4,539 SQ. FT.

ESTIMATED TOTAL WATER USE
MOD (46.0)(0.62)(4,81 x 2,619) = 36,600.0 G.P.Y.
LOW (46.0)(0.62)(2,81 x 1,920) = 13,689.6 G.P.Y.
TOTAL = 50,289.6 G.P.Y.

HYDRAULIC CALCULATION:

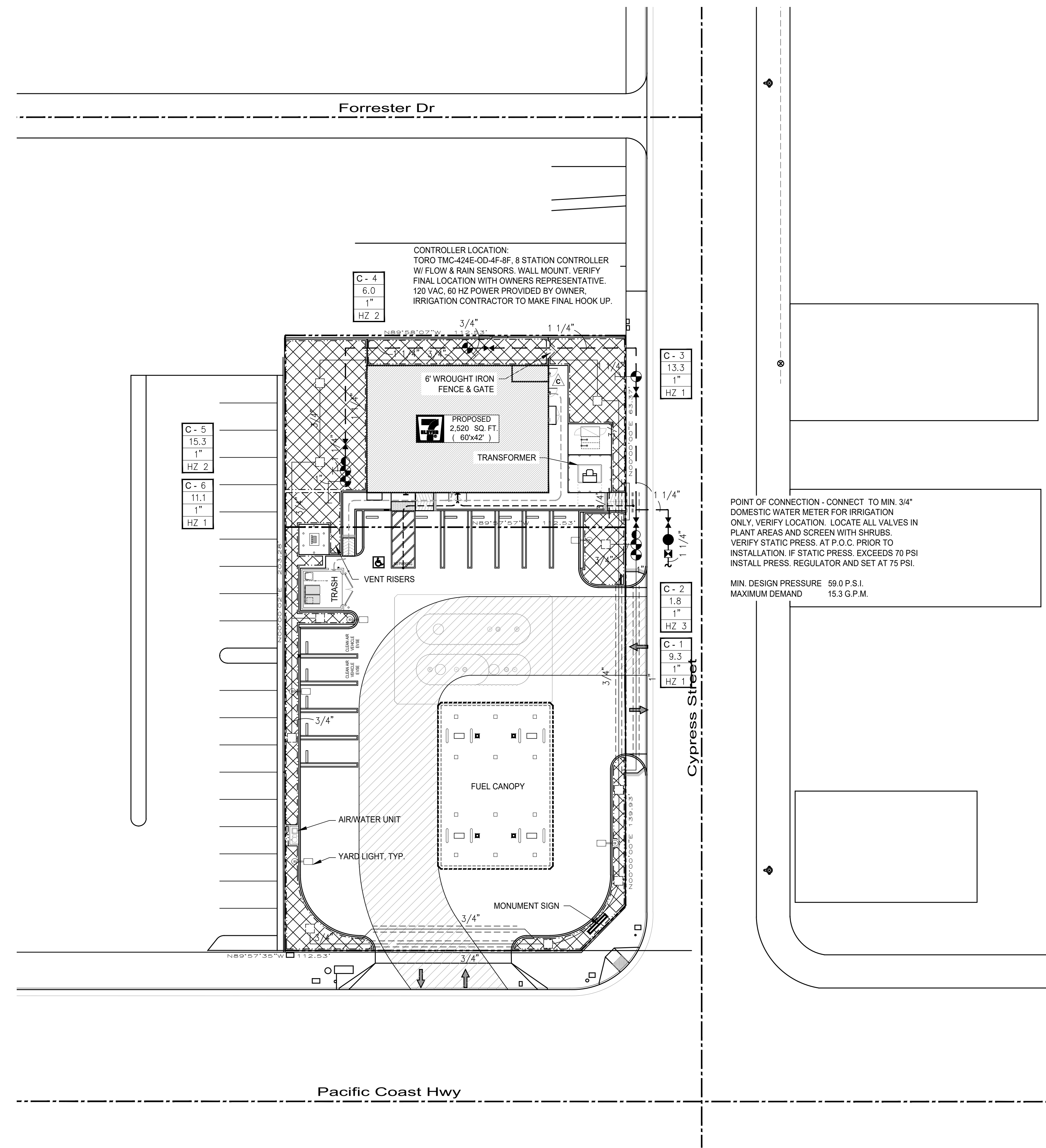
PRESSURE LOSS FOR VALVE C-5 3.7 PSI
MIN. 3/4" WATER METER @ 15.3 GPM 12.0 PSI
1 1/4" BACKFLOW DEVICE 12.0 PSI
250' OF 1 1/4" PVC SCH 40 MAIN 3.8 PSI
1" CONTROL VALVE 3.5 PSI
LATERAL LINE FRICTION LOSS (FIXED) 5.0 PSI
FITTINGS FRICTION LOSS 1.0 PSI
OPERATING PRESSURE 25.0 PSI
MISCELLANEOUS 5.0 PSI
ELEVATION -
PRESSURE REQUIRED FOR PROPER OPERATION @ P.O.C. 59.0 PSI

HYDROZONE LEGEND

ZONE NO./DESCRIPTION	WUCOLS
HYDROZONE #1 SHRUBS/DRIP LINE	MODERATE
HYDROZONE #2 SHRUBS/DRIP LINE	LOW
HYDROZONE #3 TREES/DRIP LINE	MODERATE

IRRIGATION NOTES

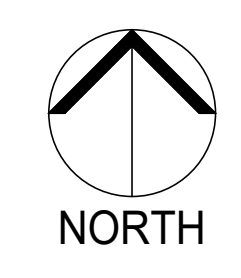
- ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVES SHALL BE A MINIMUM OF TWICE THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL PIPING UNDER PAVING SHALL BE PVC SCH 40 OR BETTER. INSTALL PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWING. NO SUBSTITUTION OF SMALLER SIZES WILL BE PERMITTED. LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- PROVIDE A MINIMUM 24" COVER OVER ALL MAIN LINE PIPING AND 18" COVER OVER ALL LATERAL LINE PIPING.
- ALL SPRINKLER OR EMITTER HEADS SHALL BE PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.
- 110V AC ELECTRICAL POWER SOURCE AT THE CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- ALL WIRES FROM CONTROLLER(S) TO ELECTRICAL VALVES SHALL BE COPPER #14 UF DIRECT BURIAL CABLE. USE BLACK FOR PILOT, WHITE FOR COMMON. INSTALL IN TRENCH WITH MAIN LINE WHENEVER POSSIBLE. PROVIDE A MINIMUM OF 24" COVER.
- THIS IRRIGATION DRAWING IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR GRAPHIC CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE NEAREST PLANTING AREA WHENEVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST ALL HEADS FOR BEST PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, DRIVES AND BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS, PAVING, ETC..
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER THE MANUFACTURER SPECIFICATIONS.
- ADV (ANTI-DRAIN VALVES) UNITS AS SHOWN IN THE DETAILS ARE FOR TYPICAL INSTALLATIONS ONLY AND MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION THE CONTRACTOR SHALL VERIFY THE ON SITE GRADES. IF THERE IS A DIFFERENCE IN ELEVATION OF OVER 24" OR MORE BETWEEN THE HIGHEST HEAD AND THE LOWEST HEAD ON A CIRCUIT, THE ADV'S SHALL BE INSTALLED AS PER THE DETAIL.
- SYSTEM DESIGN IS BASED ON PRESSURE AND FLOW RATES AT POINTS OF CONNECTION.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIAL AND WORKMANSHIP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RODENT CONTROL OF ANY DRIP SYSTEM DURING INSTALLATION AND MAINTENANCE PERIOD.



1
L2.0

IRRIGATION PLAN

Scale: 1" = 20'



"I HAVE COMPLIED WITH THE CRITERIA OF THE CITY OF LOMITA'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN".

Thomas H Koch
LANDSCAPE ARCHITECT

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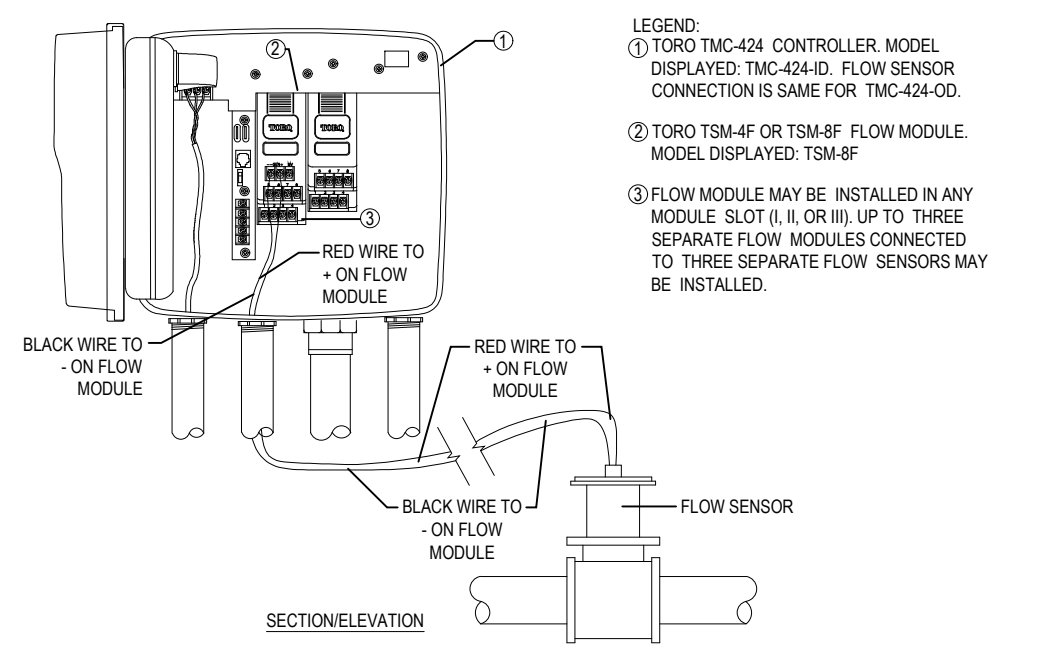
No.	Date	Revision

Project No.: **1043735**
Scale: **1" = 20'**
Drawn / Checked by:
Date: December 20, 2019

Drawing Title:
IRRIGATION PLAN

Sheet:
L2.0

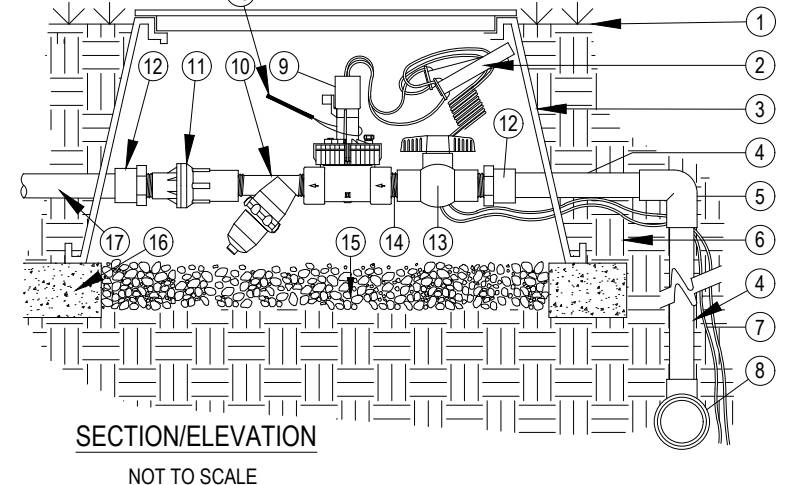
NOTE: CONTROLLER SHALL BE GROUNDED PER LOCAL CODES AND HAVE AN ON/OFF SWITCH OR BE ON A DEDICATED BREAKER.



- LEGEND: 1. TORO TMC-424 CONTROLLER MODEL DISPLAYED... 2. TORO TSM-4F OR TSM-4F FLOW SENSOR... 3. FLOW MODULE MAY BE INSTALLED IN ANY MODULE SLOT...

- NOTES: 1. SEE ADDITIONAL DETAIL DRAWINGS FOR MOUNTING AND INSTALLATION OF TMC-424 CONTROLLER AND FLOW SENSOR... 2. SEE PLANS, LEGEND AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION NOTES...

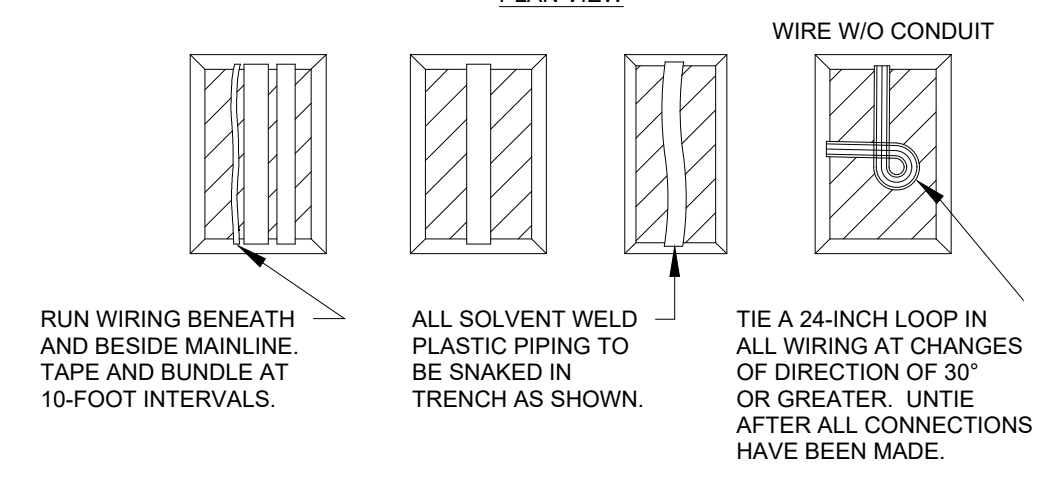
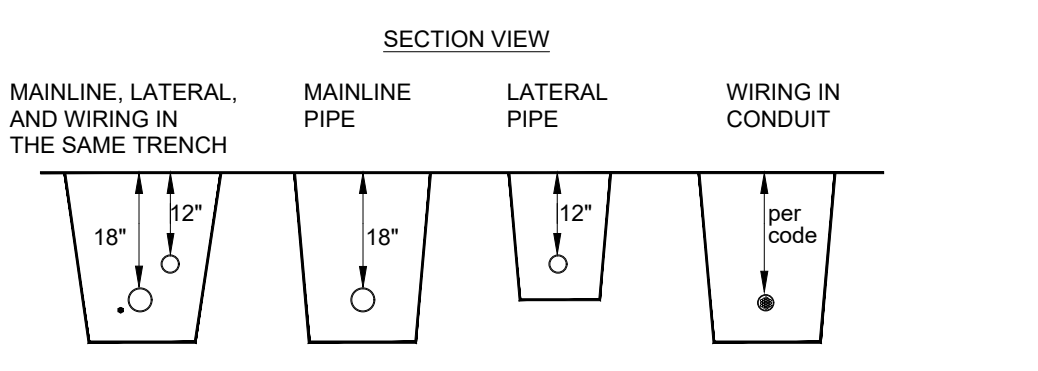
TMC-424 SERIES CONTROLLER



- LEGEND: 1. FINISH GRADE... 2. CONTROL WIRES WITH 36" SERVICE COIL AND WATER PROOF WIRE CONNECTIONS... 3. RECTANGULAR PLASTIC VALVE BOX...

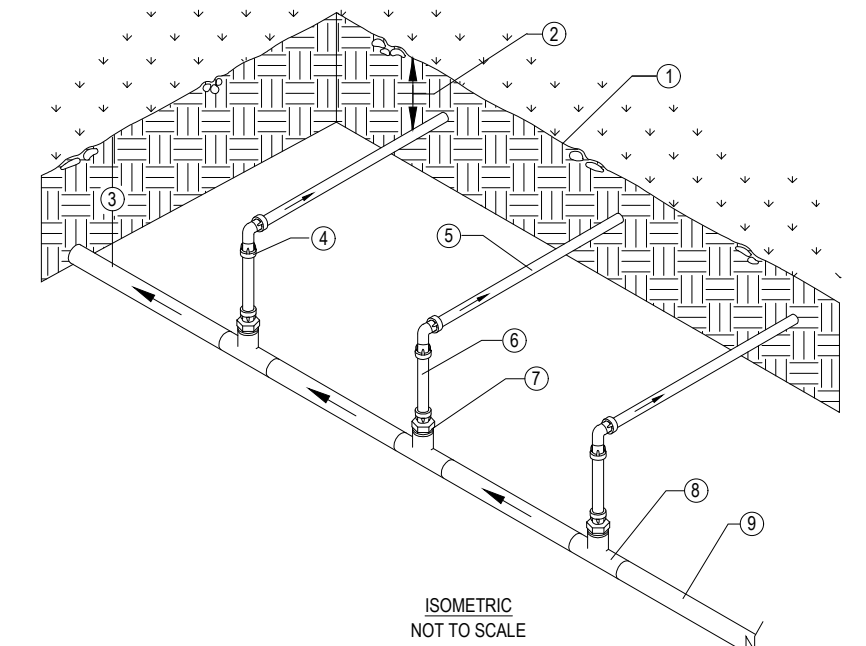
- NOTES: 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS... 2. DO NOT SCALE DRAWINGS.

DRIP CONTROL ZONE KIT



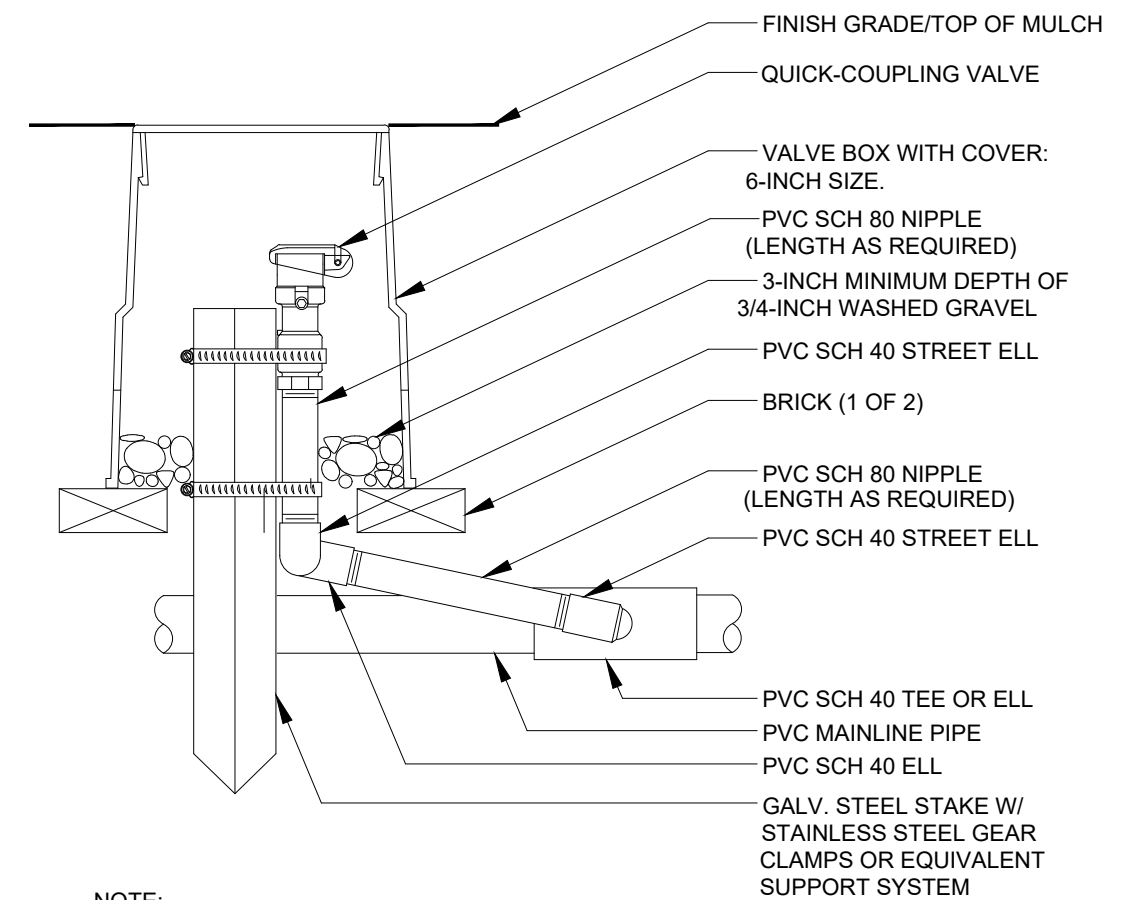
- LEGEND: 1. TORO WIRELESS RAIN SENSOR MODEL NO. TWRS... 2. ADJUSTABLE MOUNTING BRACKET... 3. THUMB SCREW... 4. RAIN GUTTER (CROSS SECTION)... 5. ANTENNA...

TRENCH & SLEEVE



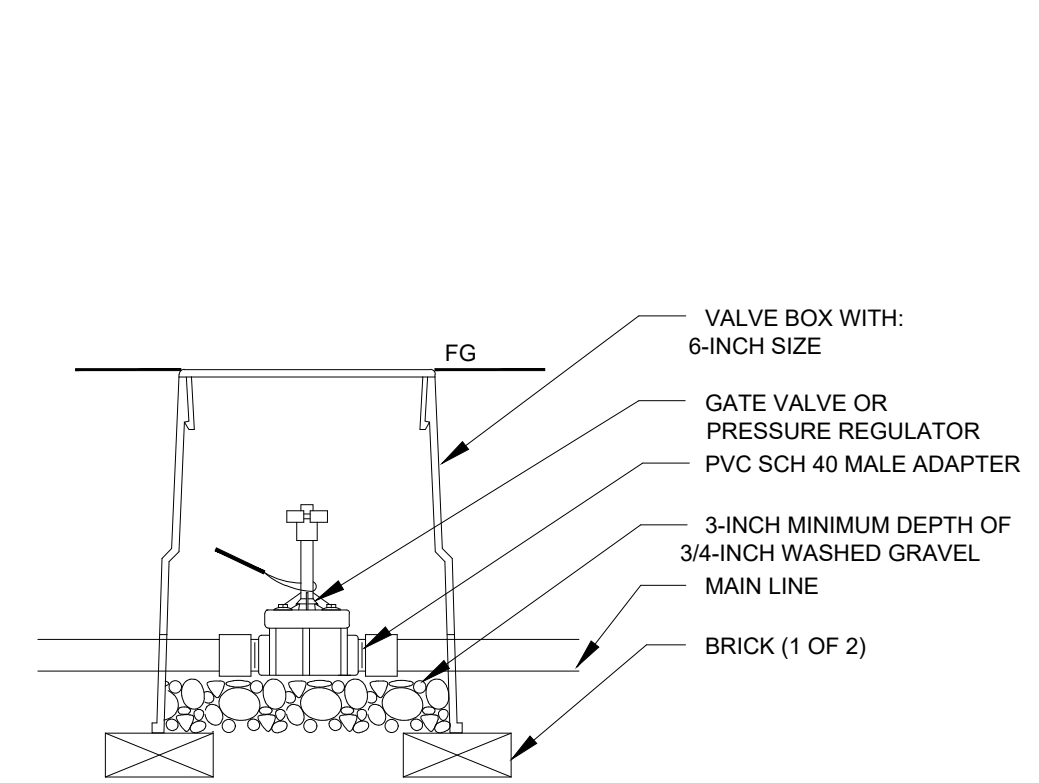
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MANIFOLD END FEED

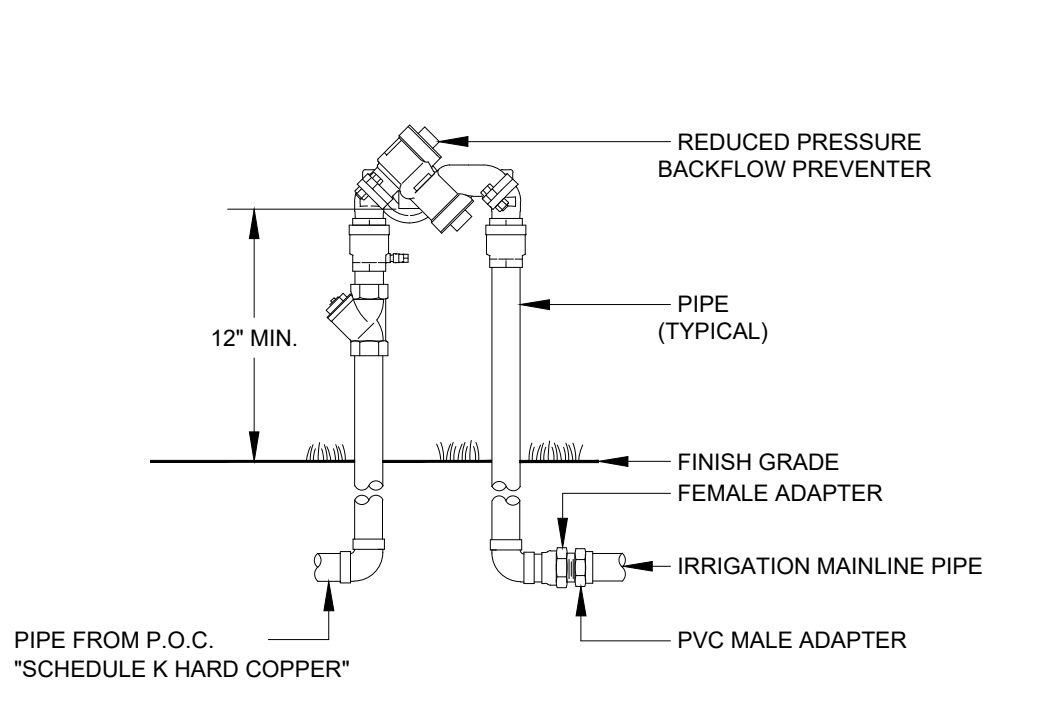


- NOTES: 1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE... 2. INSTALL MINIMUM 12" FROM HARDSCAPE.

QUICK-COUPLING VALVE

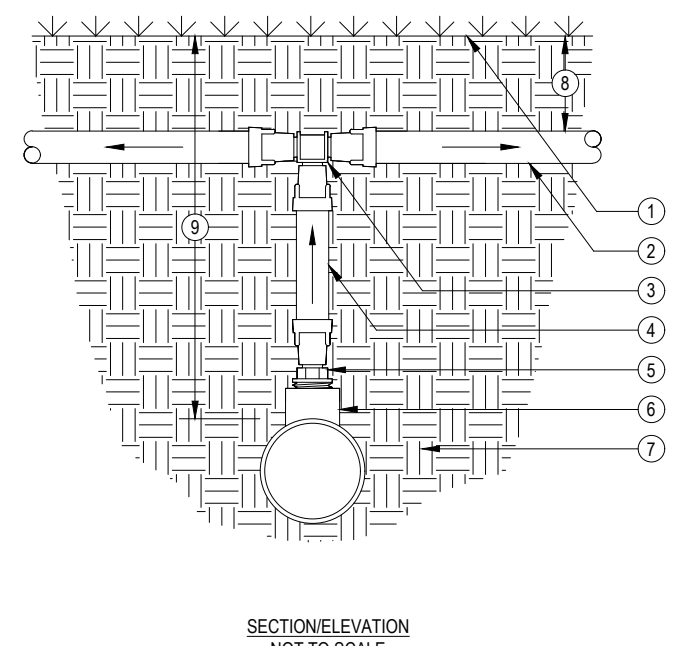


GATE VALVE OR REGULATOR



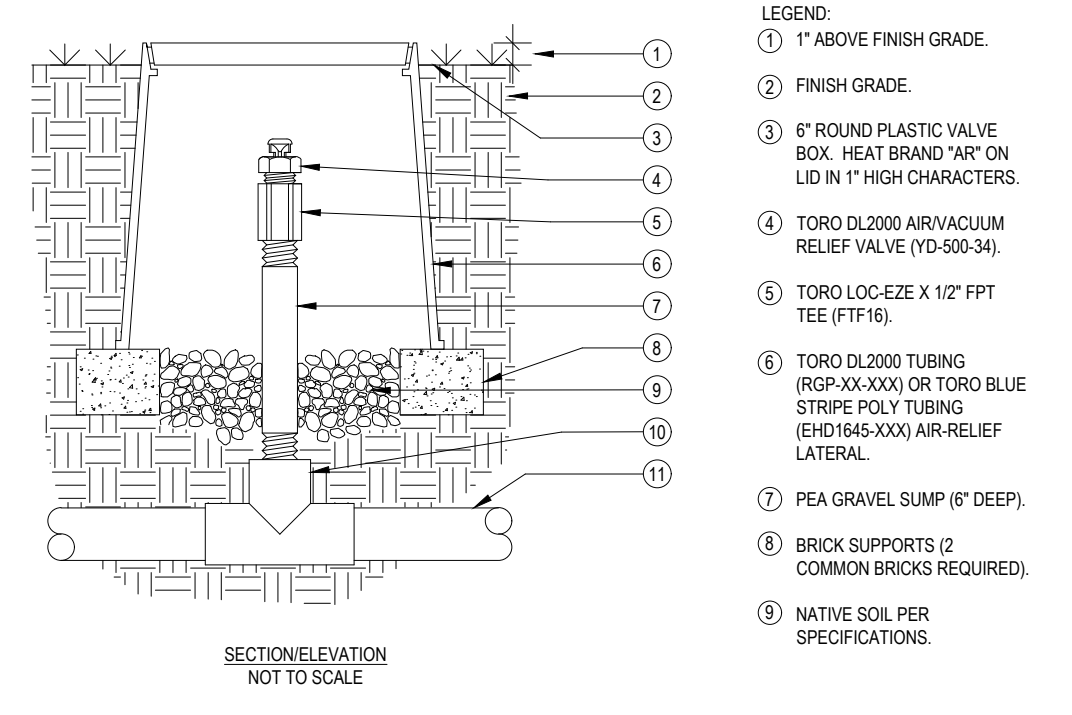
- NOTE: 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT... 2. INSTALL IN SHRUB AREA ONLY... 3. ALL PIPE & FITTINGS TO BE 'SCHEDULE K HARD COPPER'.

BACKFLOW PREVENTER



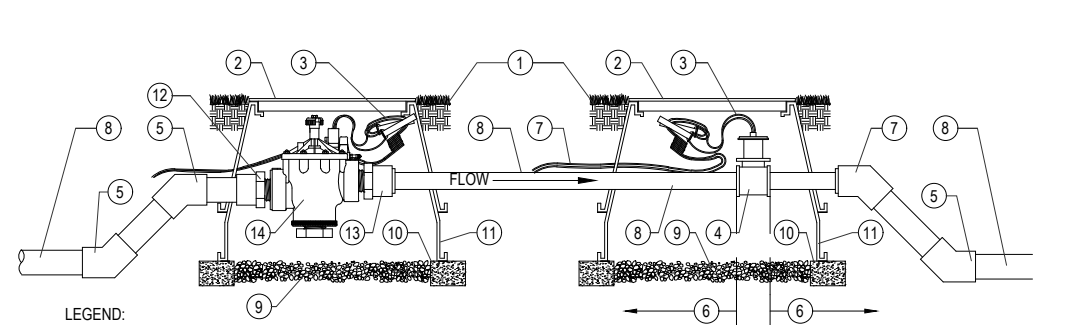
- NOTES: 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS... 2. DO NOT SCALE DRAWING...

MANIFOLD-TEE CONNECTION



- NOTES: 1. USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE... 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...

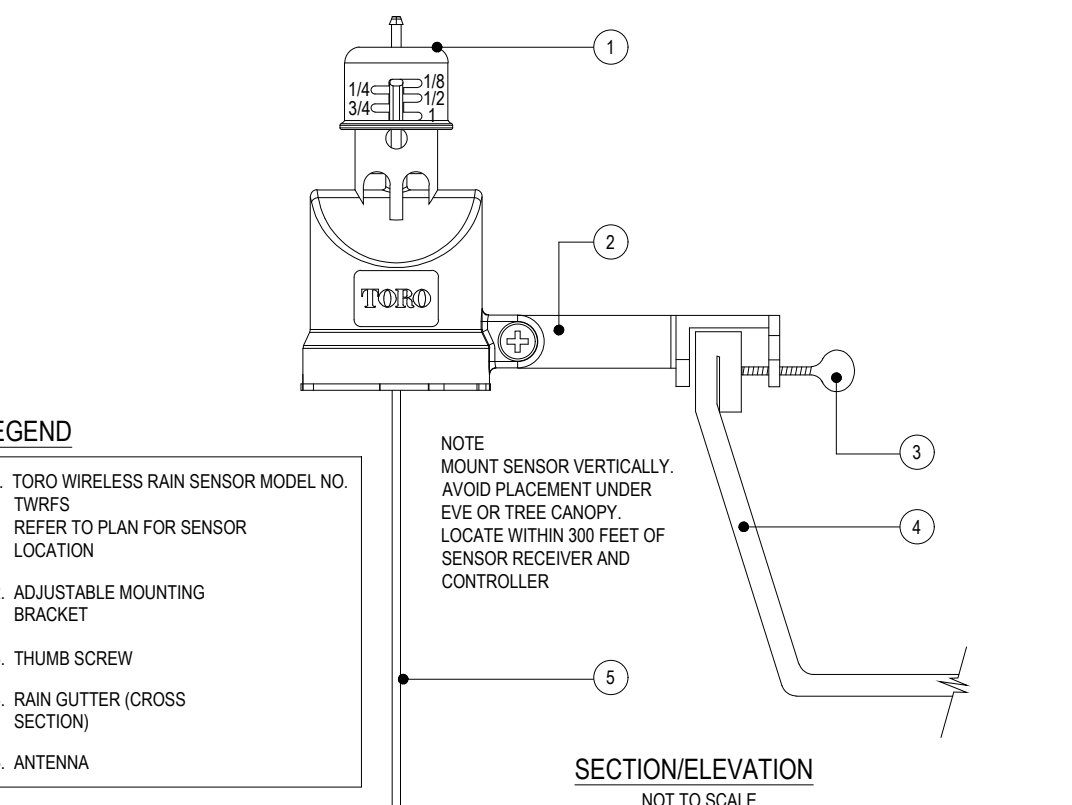
AIR/VACUUM RELIEF VALVE ON PVC TEE



- LEGEND: 1. FINISH GRADE... 2. CONTROL WIRES WITH 12" MIN. SERVICE COIL AND WATERPROOF WIRE SPIKE CONNECTORS... 3. FLOW SENSOR PER SPECIFICATIONS... 4. FLOW SENSOR PER SPECIFICATIONS... 5. PVC 45 DEGREE ELL (1 FT)...

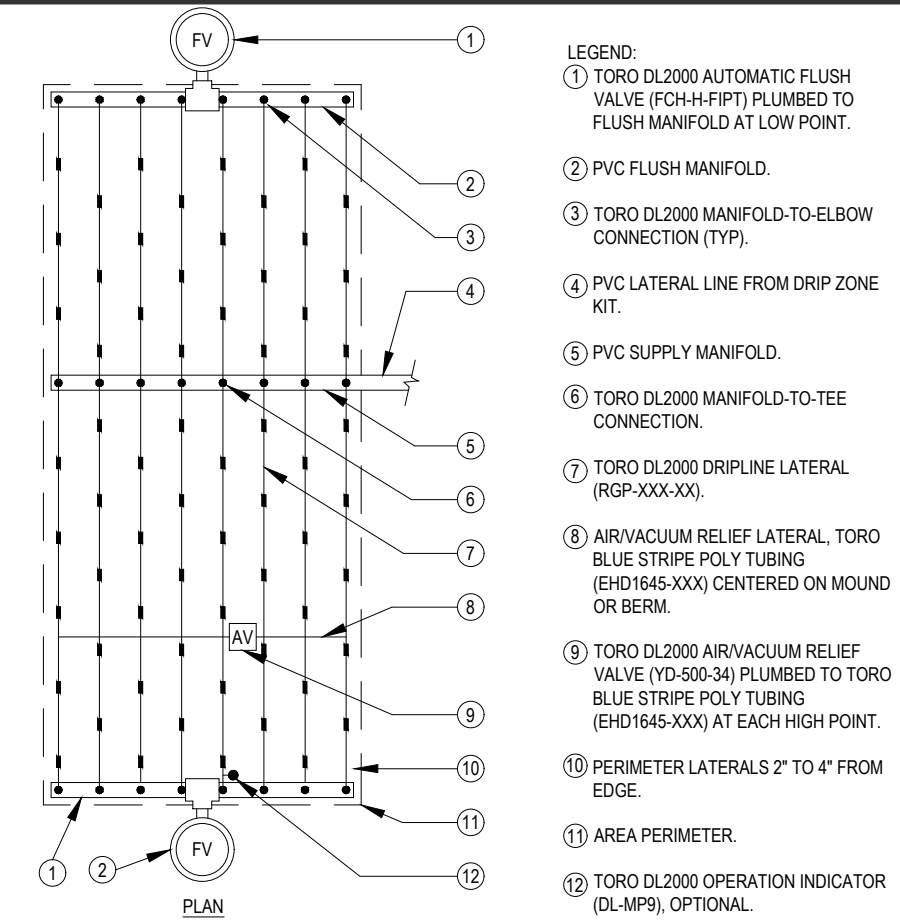
- NOTES: 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS... 2. DO NOT SCALE DRAWING...

FLOW SENSOR / MASTER VALVE



- NOTES: 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS... 2. DO NOT SCALE DRAWINGS... 3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER 065-188a.

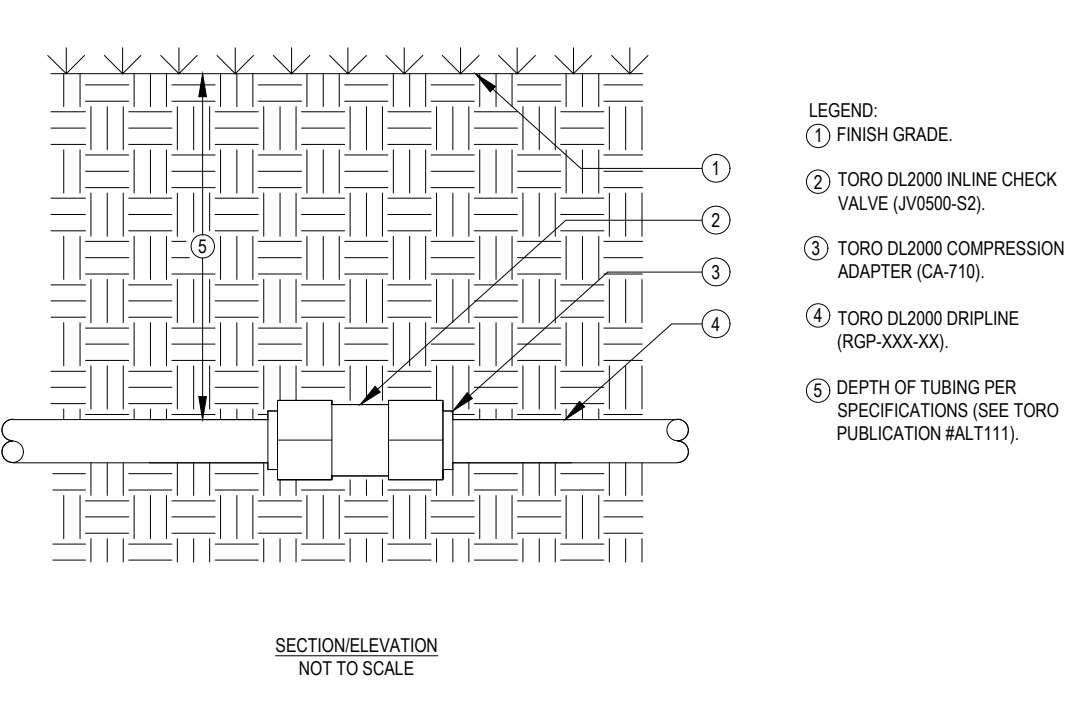
RAIN SENSOR



- LEGEND: 1. FINISH GRADE... 2. TORO DL2000 DRIPLINE LATERAL (RGP-XXXXXX)... 3. TORO LOC-EZE TEE (FTF16)... 4. TORO BLUE STRIPE POLY TUBING (EH1645-XXX)... 5. TORO LOC-EZE X 1/2" MPT ADAPTER (FAM16)... 6. PVC TEE (S&M) WITH 1/2" PFT OUTLET... 7. NATIVE SOIL BACKFILL PER SPECIFICATIONS... 8. DEPTH OF TUBING PER SPECIFICATIONS (SEE TORO PUBLICATION #ALT111)... 9. DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS...

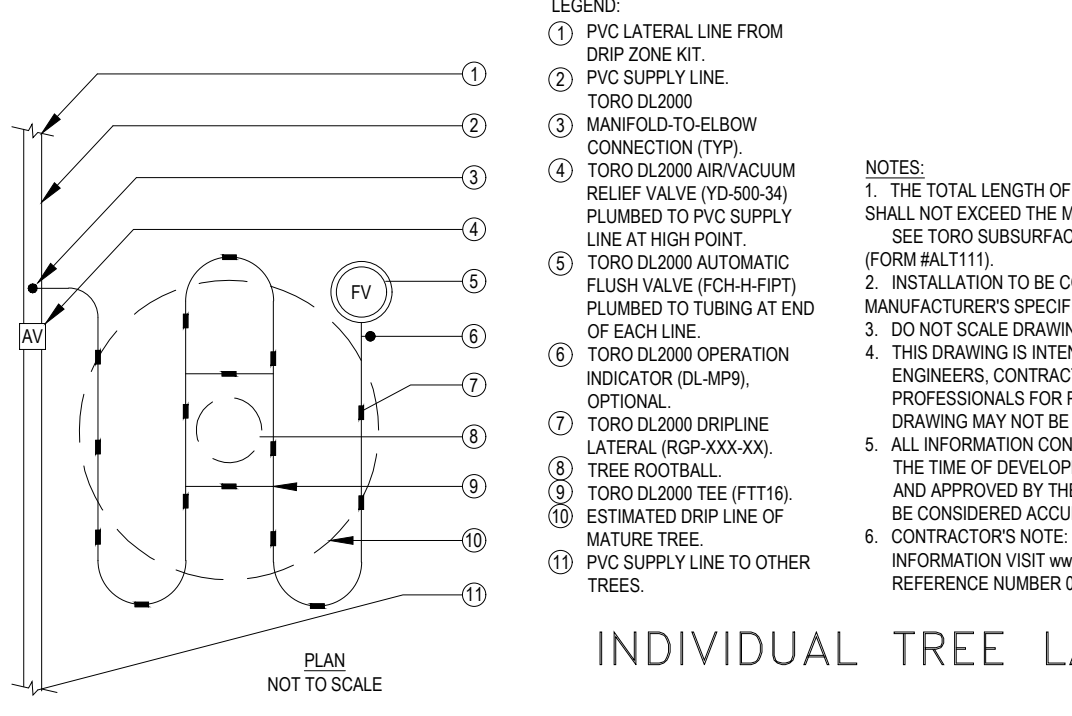
- NOTES: 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH... 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...

CENTER-FEED LAYOUT



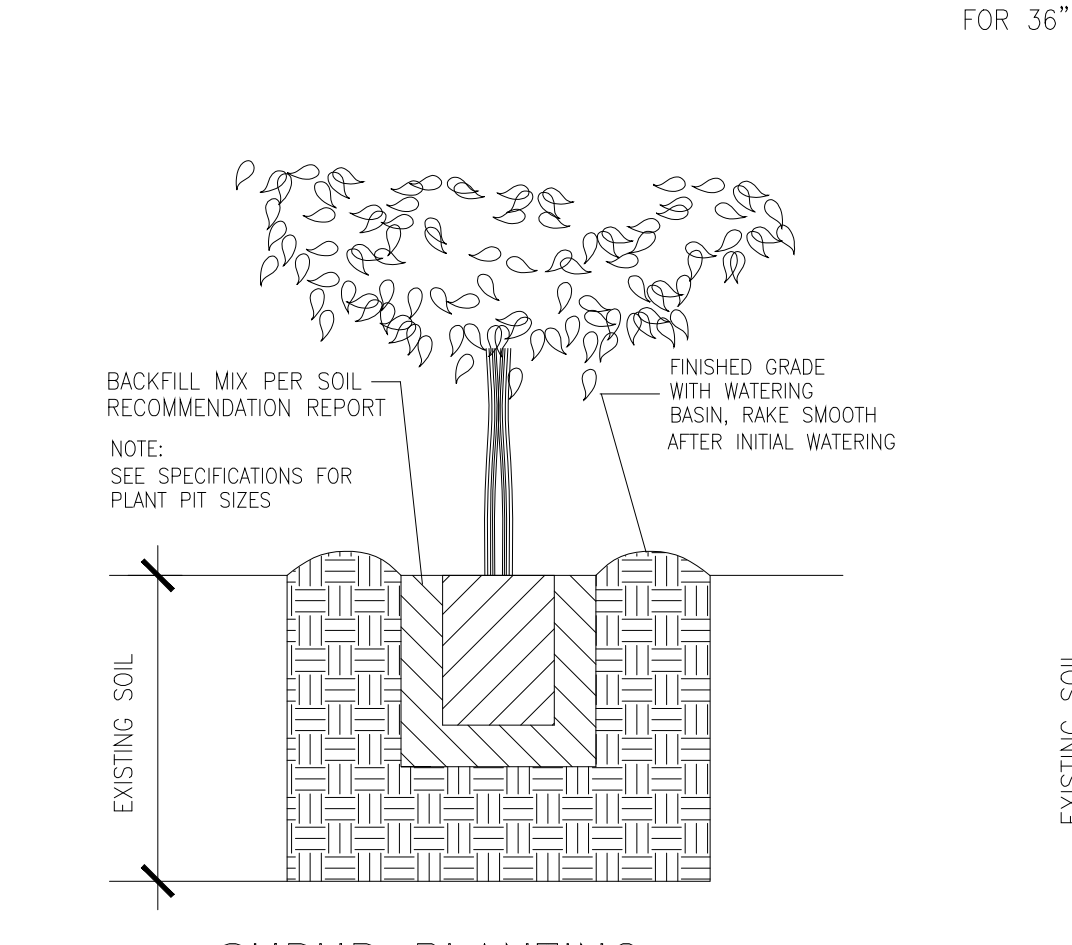
- LEGEND: 1. FINISH GRADE... 2. TORO DL2000 IN-LINE CHECK VALVE (A10500-S2)... 3. TORO DL2000 COMPRESSION ADAPTER (CA-710)... 4. TORO DL2000 DRIPLINE (RGP-XXXXXX)... 5. DEPTH OF TUBING PER SPECIFICATIONS (SEE TORO PUBLICATION #ALT111)... 6. TORO DL2000 OPERATION INDICATOR (DL-IMP) OPTIONAL...

IN-LINE CHECK VALVE

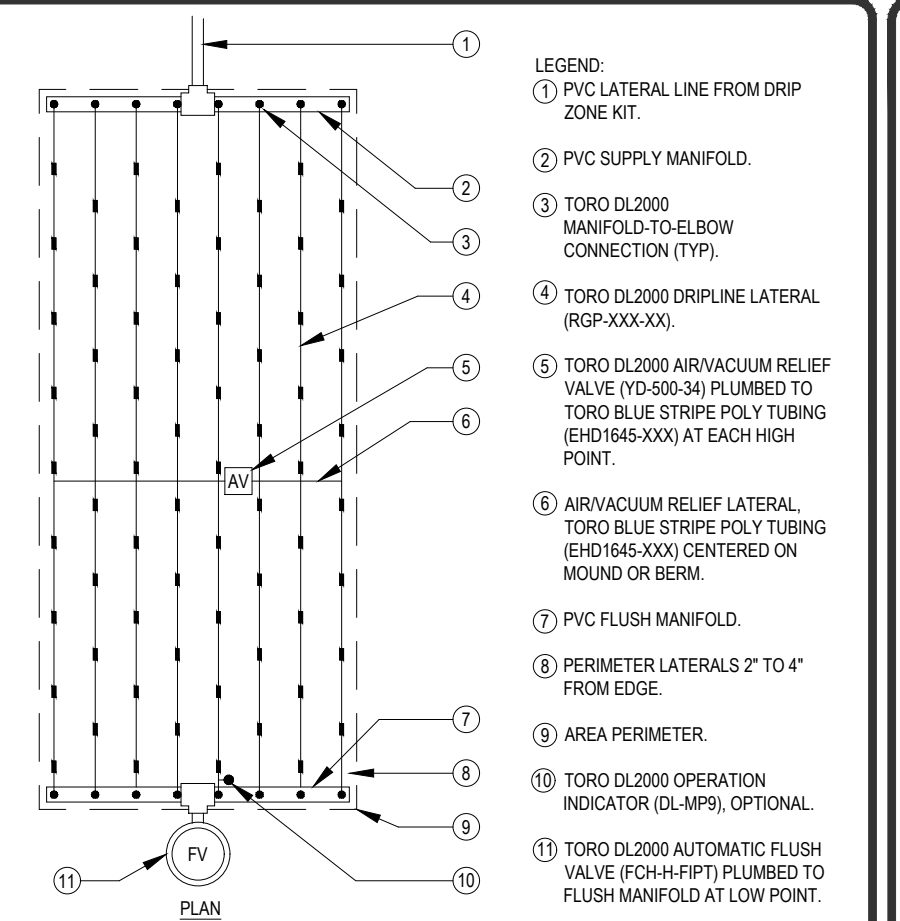


- LEGEND: 1. PVC LATERAL LINE FROM DRIP ZONE KIT... 2. PVC SUPPLY LINE TORO DL2000... 3. MANIFOLD-TO-ELBOW CONNECTION (TYP)... 4. TORO DL2000 AR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO PVC SUPPLY LINE AT HIGH POINT... 5. TORO DL2000 AUTOMATIC FLUSH VALVE (FCH-H-FPT) PLUMBED TO TUBING AT END OF EACH LINE... 6. TORO DL2000 OPERATION INDICATOR (DL-IMP) OPTIONAL... 7. TORO DL2000 DRIPLINE LATERAL (RGP-XXXXXX)... 8. TREE ROOTBALL... 9. TORO DL2000 TEE (FTF16)... 10. ESTIMATED DRIP LINE OF MATURE TREE... 11. PVC SUPPLY LINE TO OTHER TREES...

INDIVIDUAL TREE LAYOUT



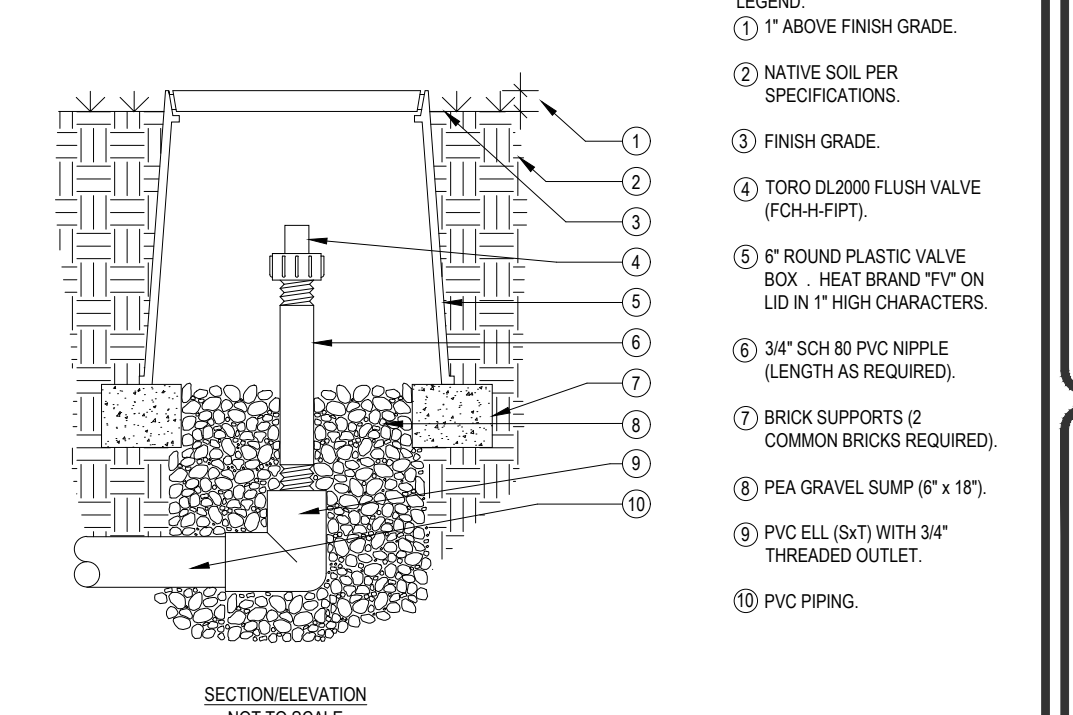
SHRUB PLANTING



- LEGEND: 1. PVC LATERAL LINE FROM DRIP ZONE KIT... 2. PVC SUPPLY MANIFOLD... 3. TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP)... 4. TORO DL2000 DRIPLINE LATERAL (RGP-XXXXXX)... 5. TORO DL2000 AUTOMATIC FLUSH VALVE (FCH-H-FPT) PLUMBED TO FLUSH MANIFOLD AT LOW POINT... 6. TORO DL2000 AR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (EH1645-XXX) AT EACH HIGH POINT... 7. TORO DL2000 AR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (EH1645-XXX) CENTERED ON MOUND OR BERM... 8. TORO DL2000 AR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (EH1645-XXX) AT EACH HIGH POINT... 9. TORO DL2000 AR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (EH1645-XXX) CENTERED ON MOUND OR BERM... 10. PERIMETER LATERALS 2" TO 4" FROM EDGE... 11. PERIMETER LATERALS 2" TO 4" FROM EDGE... 12. TORO DL2000 OPERATION INDICATOR (DL-IMP) OPTIONAL... 13. TORO DL2000 AUTOMATIC FLUSH VALVE (FCH-H-FPT) PLUMBED TO FLUSH MANIFOLD AT LOW POINT...

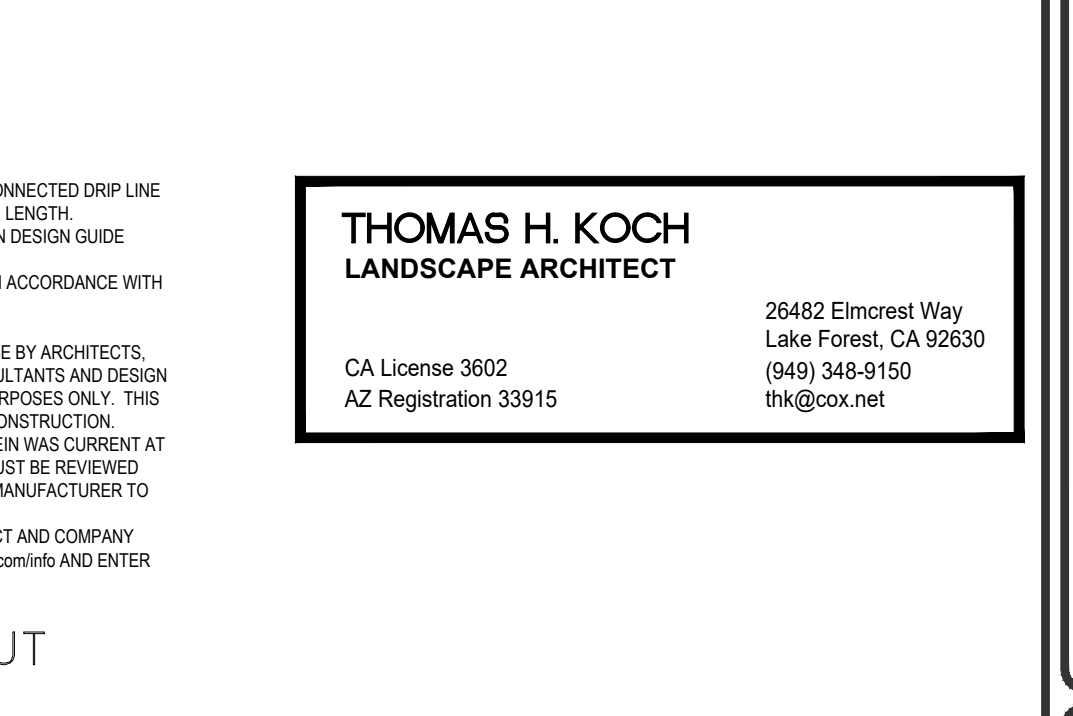
- NOTES: 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH... 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...

END-FEED LAYOUT



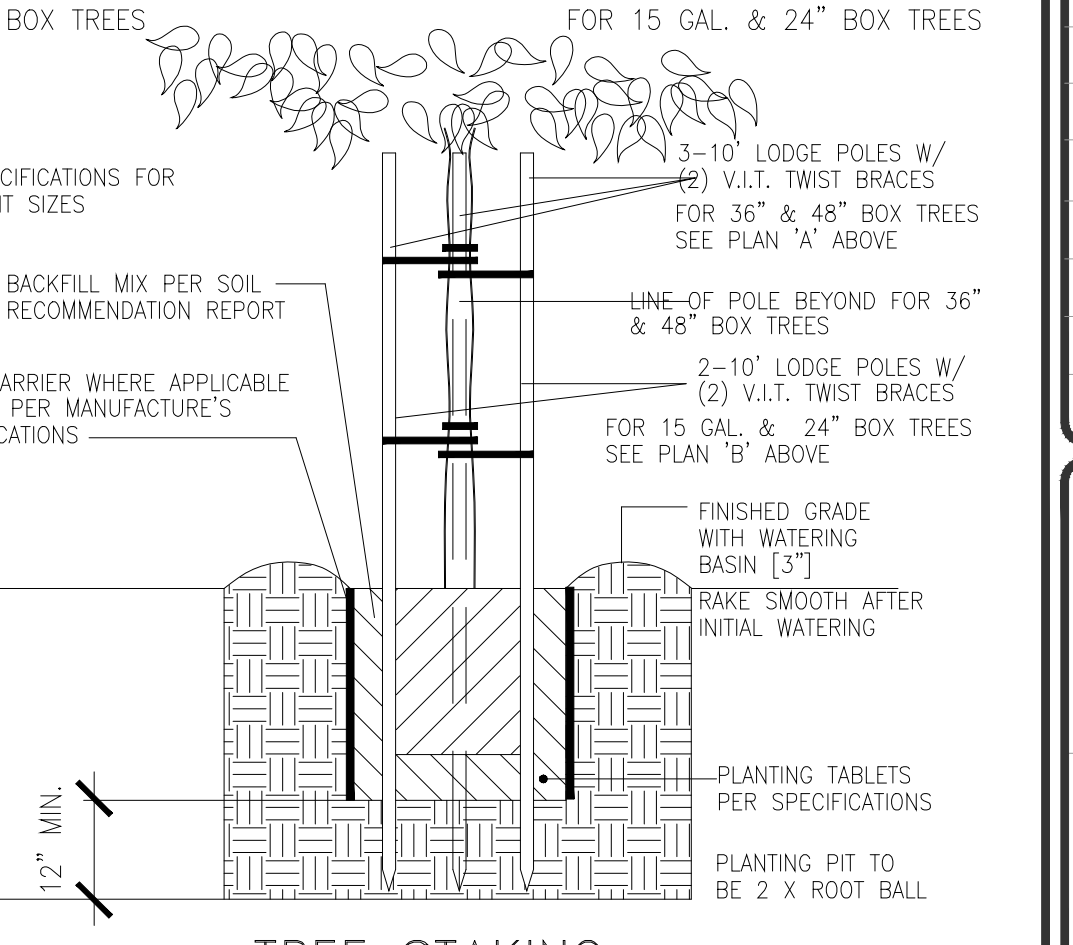
- LEGEND: 1. FINISH GRADE... 2. NATIVE SOIL PER SPECIFICATIONS... 3. FINISH GRADE... 4. TORO DL2000 FLUSH VALVE (FCH-H-FPT)... 5. 6" ROUND PLASTIC VALVE BOX - HEAT BRAND TYP ON LID IN 1" HIGH CHARACTERS... 6. 3/4" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED)... 7. BRICK SUPPORTS (2 COMMON BRICKS REQUIRED)... 8. PEA GRAVEL SUMP (6" x 18")... 9. PVC ELL (S&M) WITH 3/4" THREADED OUTLET... 10. PVC PIPING...

FLUSH VALVE ON PVC-ELI



- NOTE: 1. USE ONE FLUSH VALVE FOR EVERY 7 GPM PER ZONE... 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...

TREE STAKING



TREE STAKING

ASi DEVELOPMENT logo and contact information: 5932 Bolsa Avenue, Ste. #107 Huntington Beach, CA 92649. Phone: 714-892-8810, 714-892-8812. Fax: 800-342-0507.

Professional seal for Thomas H. Koch, Landscape Architect, State of California, License No. 5-31-21, expires 12-26-19. Date: 12/20/19.

ELEVEN logo.

Project Location:

2301 Pacific Coast Hwy @ Cypress St Lomita, CA 90717 New Building 2,940 S.F.

THOMAS H. KOCH LANDSCAPE ARCHITECT. CA License 3602, AZ Registration 33915. 26482 Elmcrest Way Lake Forest, CA 92630 (949) 948-9150 thk@cox.net

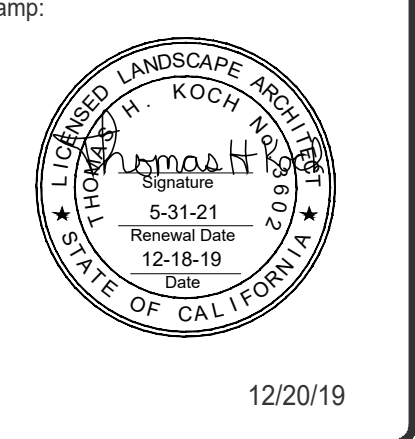
Table with 3 columns: No., Date, Revision. Includes Project No. 1043735, Scale: N.T.S., Date: December 20, 2019.

Details L3.0



5932 Bolsa Avenue, Ste. #107
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Project Location:

2301 Pacific Coast Hwy
@ Cypress St
Lomita, CA 90717
New Building 2,940 S.F.

Table with 3 columns: No., Date, Revision

Project No.: 1043735
Scale: NONE
Drawn / Checked by:
Date: December 20, 2019

Drawing Title:
Details
Sheet:
L4.0

PLANTING SPECIFICATIONS

GENERAL REQUIREMENTS

A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS SECTION AS FULLY AS IF REPEATED HERE.

B. SCOPE: FURNISH AND INSTALL ALL LANDSCAPE PLANTING COMPLETE AS INDICATED ON THE DRAWINGS AS SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- PERFORM ALL FINISHED GRADING AND REMOVAL OF EXISTING WEEDS.
- PROVIDE AND PLACE ALL SOIL ADDITIVES.
- FURNISH AND PLACE ALL SOIL MIXES.
- FURNISH AND INSTALL PLANT MATERIALS.
- FURNISH AND INSTALL ALL STAKING AND GUYING.
- PROVIDE SIXTY (60) DAY MAINTENANCE OF PLANTING.
- GUARANTEES.
- CLEANUP.

C. QUALITY CONTROL

- SAMPLES AND DELIVERY OF MATERIALS:
 - SAMPLES OF PREPARED PLANTING MIXTURE AND SOIL ADDITIVES, SHALL BE SUBMITTED TO OWNER FOR ACCEPTANCE.
 - SUBSTITUTIONS WILL NOT BE PERMITTED, EXCEPT IF PROOF IS SUBMITTED THAT ANY MATERIAL SPECIFIED IS NOT OBTAINABLE, THEN A PROPOSAL WILL BE CONSIDERED FOR THE USE OF THE NEAREST EQUIVALENT, WITH AN EQUITABLE ADJUSTMENT OF CONTRACT PRICE. ALL SUBSTITUTIONS ARE SUBJECT TO APPROVAL OF THE OWNER OR HIS AGENT.
- GUARANTEE: ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AND ALL OTHER PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF SIX (6) MONTHS, UPON FINAL ACCEPTANCE OF PLANTING BY THE OWNER OR HIS AGENT.
- MAINTENANCE PERIOD: CONTRACTOR SHALL MAINTAIN ALL PLANTING AND PLANT MATERIAL FOR A PERIOD OF SIXTY (60) DAYS, AFTER COMPLETION AND FINAL ACCEPTANCE OF WORK BY OWNER.
- INSPECTIONS: ALL INSPECTIONS HEREIN SPECIFIED SHALL BE MADE BY THE OWNER OR HIS AGENT. THE CONTRACTOR SHALL REQUEST INSPECTIONS AT LEAST THREE WORKING DAYS IN ADVANCE OF THE TIME INSPECTIONS IS REQUIRED. INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK:
 - WHEN FINE GRADING AND SOIL PREPARATION ARE COMPLETED.
 - PLANT MATERIAL AFTER DELIVERY TO SITE, FOR FIELD SPOTTING BY OWNER OR HIS AGENT.
 - SPECIMEN TREES AT SOURCE, FOR TAGGING BY OWNER OR HIS AGENT.
 - FINAL INSPECTION OF COMPLETED PLANTING BY OWNER OR HIS AGENT.

MATERIALS

A. SOIL AMENDMENTS:

COMMERCIAL FERTILIZER SHALL CONSIST OF THE FOLLOWING GUARANTEED PERCENTAGES DELIVERED IN SACKS WITH MANUFACTURER'S LABEL SHOWING WEIGHT AND ANALYSIS ON EACH SACK: 60-20-40-20(R). ORGANIC AMENDMENTS SHALL BE DERIVED FROM NITROGEN STABILIZED ORGANIC RESIDUES AND SHALL BE AERATED, FREE OF OBJECTIONABLE ODOR AND OF VIABLE WEED SEED.

SOIL SULFUR OF STANDARD COMMERCIAL GRADE.

GYPSUM OF STANDARD AGRICULTURAL GRADE.

B. PLANT MATERIALS:

PLANTS SHALL BE NURSERY GROWN AND TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL BE OF NORMAL GROWTH HABITS. PLANTS SHALL BE HEALTHY, VIGOROUS AND WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.

PLANTS SHALL CONFORM IN AT LEAST THE MINIMUM REQUIREMENTS NOTED ON THE PLAN, LEGEND OR PALETTE. THE ROOT BALL SHALL BE INTACT AND SHOW EVIDENCE OF A WELL DEVELOPED ROOT WITHOUT BEING ROOT BOUND. PLANTS SHALL HAVE GROWN IN THE DELIVERED CONTAINER SYSTEM FOR AT LEAST ONE YEAR.

PLANTS SHALL BE FREE OF DISEASES, INSECTS, PESTS, EGGS OR LARVAE.

PLANTS SHALL NOT BE PRUNED, EXCEPT AT THE DIRECTION OF THE OWNER OR OWNER'S AGENT.

TREES SHALL HAVE STURDY TRUNKS AND NORMAL BRANCHING, WHICH ARE INTACT AND WITHOUT CUTS OR ABRASIONS.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO YEARS.

QUANTITIES NECESSARY TO COMPLETE THE WORK SHOWN ON PLANS SHALL BE FURNISHED BY THE CONTRACTOR. ANY DISCREPANCY IN THE QUANTITIES GIVEN ON PLAN OR LEGEND SHALL BE BROUGHT TO THE OWNER, BEFORE SUBMITTING BID.

QUANTITIES GIVEN IN THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. QUANTITIES SHOWN ON PLAN ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE SUBMITTING BID.

EXECUTION

A. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITY LINES, IRRIGATION LINES, ETC. SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. IN THE EVENT OF CONFLICT BETWEEN UTILITIES, ETC. AND PLANT LOCATIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER, WHO SHALL ARRANGE FOR THE RELOCATION OF PLANT MATERIAL. FAILING TO FOLLOW THIS PROCEDURE, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, MAKE ANY AND ALL REPAIRS FOR DAMAGE RESULTING FROM HIS WORK.

REMOVE ROCK AND/OR OTHER OBSTRUCTIONS, TO PERMIT PROPER INSTALLATION OF PLANTING MATERIAL.

B. GRADING AND SOIL PREPARATION:

FINISHED GRADES: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO ±.10 PERCENT IN LANDSCAPE AREAS.

SCARIFY ALL SOIL WITH THE EXCEPTION OF SLOPES OVER 3:1, TO A MINIMUM DEPTH OF 4".

SOIL CONDITIONING: APPLY SOIL CONDITIONERS IN THE FOLLOWING AMOUNTS TO ALL AREAS UNLESS NOTED OTHERWISE BY LANDSCAPE SOILS REPORT:

- 8 CUBIC YARDS OF NITROGEN STABILIZED MULCH PER 1000 SQUARE FEET.
- 30 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER, PER 1000 SQUARE FEET.
- 100 POUNDS OF AGRICULTURAL GYPSUM PER 1000 SQUARE FEET.
- REMOVAL OF ALL ROCKS AND FOREIGN MATTER OVER 1" IN DIAMETER, FROM TILLED AREAS.

C. TURF AND PLANTINGS

FIELD SPOT PLANTS PER PLAN AND SECURE APPROVAL FROM OWNER OR OWNER'S AGENT BEFORE DIGGING PITS. MAKE NECESSARY ADJUSTMENTS IN LOCATIONS AND EXCAVATE PITS AS FOLLOWS:

PLANT SIZE	PIT WIDTH	PIT DEPTH
24" BOX	4.0'	22"
36" BOX	5.5'	32"
48" BOX	7.5'	36"
1 GALLON	1.5'	10.5"
5 GALLON	2.5'	20.5"
15 GALLON	4.1'	30.5"

THE BOTTOMS OF ALL PLANT PITS SHALL BE LOOSEEN AN ADDITIONAL 5" BELOW DEPTHS NOTED AND DUSTED WITH GYPSUM AT THE RATE OF ONE CUP PER 5 GALLON PLANT, WITH A EQUAL RATIO MORE FOR LARGER SIZED PLANT MATERIAL. CANS AND BOXES SHALL BE REMOVED CAREFULLY TO AVOID BREAKING AT THE ROOTBALL. REMOVE CANS OR BOXES AFTER PLACEMENT, INCLUDING BOTTOMS OF BOXED SPECIMENS.

ALL BACKFILL FOR TREES, SHRUBS AND VINES SHALL BE AS PER FOLLOWS PER 10 CUBIC YARDS:
7 CUBIC YARDS OF NATIVE TOP SOIL.
3 CUBIC YARDS OF NITROGEN STABILIZED MULCH.
20 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER.
100 POUNDS OF AGRICULTURAL GYPSUM.
10 POUNDS OF FERRIC SULFATE.

ADJUST DEPTH OF PLANT SO ITS CROWN SHALL STAND AT FINISHED GRADE. ALL PLANTS SHALL BE SET IN A WATERING BASIN.

ALL TREES AND SHRUBS SHALL INCLUDE 21 GRAM AGRIFORM FERTILIZER TABLETS AS FOLLOWS:
6 TABLETS FOR 24" BOX OR LARGER
4 TABLETS FOR 15 GALLON PLANT.
3 TABLETS FOR 5 GALLON PLANT.
1 TABLET PER 1 GALLON PLANT.

D. GROUND COVER PLANTING:

PLANTING PITS FOR GROUND COVER SHALL BE 4" MINIMUM IN DEPTH. PLANTS SHALL BE SPACED AS INDICATED ON DRAWINGS AND LEGENDS. SOIL SHALL BE FIRMLY PRESSED AROUND EACH PLANT AND EXCESS SOIL REMOVED FROM CROWN.

EACH SECTION OF GROUND COVER SHALL BE THOROUGHLY WATERED, IMMEDIATELY UPON COMPLETION OF PLANTING.

E. STAKING:

STAKE TREES AT TIME OF PLANTING. ALL 15 GALLON TREES SHALL BE STAKED USING LODGE POLE STAKES PER DETAIL AND/OR LOCAL REQUIREMENTS. LOCAL REQUIREMENTS TAKE PRECEDENCE.

F. CLEAN UP:

DURING THE COURSE OF THE WORK, REMOVE SURPLUS MATERIALS FROM THE SITE AND LEAVE PREMISES, SIDEWALKS AND ROADS IN A NEAT AND CLEAN CONDITION. EXCESS TOP SOIL IS TO BE REMOVED FROM SITE.

CLEAN UP AND REMOVE ALL DEBRIS AND SURPLUS MATERIALS UPON COMPLETION OF WORK. LEAVING THE PREMISES IN A NEAT AND CLEAN CONDITION, SATISFACTORY TO THE OWNER. REMOVE ALL TAGS, LABELS, TIES AND NURSERY STAKES FROM ALL PLANTS, UNLESS DIRECTED OTHERWISE.

G. GUARANTEE AND REPLACEMENT:

ALL BOXED AND CONTAINER SPECIMEN PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD HEALTHY AND FLOURISHING CONDITION, OF ACTIVE GROWTH, AT THE END OF ONE YEAR, FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GALLON CONTAINERS SHALL BE GUARANTEED FOR 6 MONTHS FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GUARANTEES SHALL BE IN WRITING AND A PART OF THE CONTRACT DOCUMENTS.

H. MAINTENANCE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR MAINTAINING MOISTURE REQUIREMENTS. HAND WATERING OF NEWLY PLANTED TREES AND SHRUBS SHALL BE REQUIRED ONCE A WEEK, FOR THREE WEEKS. CULTIVATE, WEED AND WATER AS REQUIRED DURING MAINTENANCE PERIOD. ALL PLANTING AREAS SHALL BE FREE OF WEEDS AT CONCLUSION OF MAINTENANCE PERIOD.

I. FINAL INSPECTION:

FINAL INSPECTION OF LAWNS AND PLANTING AREAS WILL BE MADE ONE WEEK PRIOR TO THE CONCLUSION OF THE MAINTENANCE PERIOD. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S AGENT, 3 WORKING DAYS PRIOR TO INSPECTION.

IRRIGATION SPECIFICATIONS

GENERAL REQUIREMENTS

A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS SECTION, AS IF FULLY REPEATED HERE.

B. SCOPE

- WORK SPECIFIED IN THIS SECTION: FURNISH ALL LABOR, TOOLS, MATERIALS, APPLIANCES, TEXTS, PERMITS, TAXES, ETC., NECESSARY FOR THE INSTALLATION OF A COMPLETE IRRIGATION SYSTEM AS SPECIFIED AND SHOWN ON THE DRAWINGS, LEGENDS AND DETAILS. REMOVAL OF DEBRIS, ROCKS, SOIL, ETC., AS A RESULT OF CONTRACTOR'S WORK, FROM THE SITE.
- THE SYSTEM SHALL EFFICIENTLY AND EVENLY IRRIGATE ALL PLANTED AREAS WITH A MINIMUM OF OVER-SPRAY, COMPLETE IN EVERY RESPECT AND SHALL BE LEFT READY FOR OPERATION, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.
- ALL WORK SHALL BE PER LOCAL, COUNTY AND STATE CODES AND, PERFORMED IN A WORKMANSHIP LIKE MANNER, STANDARD TO THE INDUSTRY, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.

C. QUALITY CONTROL

- MATERIAL LIST: A COMPLETE MATERIAL LIST SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO PERFORMING WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBERS AND DESCRIPTION OF ALL MATERIAL, AND EQUIPMENT TO BE USED ON PROJECT.
- AS BUILT DRAWINGS: AFTER COMPLETION OF IRRIGATION SYSTEM, THE CONTRACTOR SHALL SUBMIT TO THE OWNER, ON REPRODUCIBLE MEDIA OR DISK THE FOLLOWING DIMENSIONED FROM TWO PERMANENT POINTS OF REFERENCE:
 - POINT OF CONNECTION.
 - CONNECTION TO EXISTING ELECTRICAL POWER.
 - ROUTING OF MAIN LINES.
 - GATE VALVES.
 - ROUTING OF CONTROL WIRING.
 - QUICK COUPLING VALVES.
 - CONTROLLER AND WATER SENSORS.
 - BACKFLOW PREVENTER.

3. OPERATION AND MAINTENANCE MANUALS:

A. PREPARE AND DELIVER TO THE OWNER WITHIN 10 CALENDAR DAYS PRIOR TO THE COMPLETION OF CONSTRUCTION, TWO HARD COVER BINDERS CONTAINING THE FOLLOWING INFORMATION:

- INDEX SHEET, STATING CONTRACTOR'S PHONE NUMBER, ADDRESS, LIST OF EQUIPMENT MANUFACTURERS AND THEIR ADDRESSES, AND THEIR PHONE NUMBERS.
- GUARANTEE STATEMENTS.
- COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT.

MATERIALS

A. GENERAL: USE ONLY NEW MATERIAL AS NOTED ON DRAWINGS, LEGENDS AND SPECIFIED HEREIN.

B. PVC PRESSURE MAINLINE PIPE AND FITTINGS:

- PIPE SHALL BE MADE FROM AN NSF APPROVED TYPE I, GRADE I, PVC, CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN FEDERAL SPECIFICATION PS-22-70.
- ALL FITTINGS SHALL BE SCH. 40, UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELDED PIPE AND FITTINGS SHALL BE OF TYPE PRESCRIBED BY MANUFACTURER.
- ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:
 - MANUFACTURER'S NAME.
 - NOMINAL PIPE SIZE.
 - SIZE, CLASS AND PRESSURE RATING.

C. PVC NON-PRESSURE LATERAL LINE PIPING:

- NON-PRESSURE LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT WELDED JOINTS UNLESS NOTED OTHERWISE ON PLANS OR LEGENDS.
- PIPE SHALL BE MADE FROM NSF APPROVED TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS SET FORTH IN FEDERAL SPECIFICATIONS PS-22-70.

D. QUICK COUPLING VALVES:

- QUICK COUPLING VALVE SHALL HAVE A BRASS BODY DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI.

E. GATE VALVES:

- GATE VALVES SHALL BE BRONZE BODY PER IRRIGATION LEGEND.

F. BACKFLOW PREVENTION UNIT:

- THE BACKFLOW PREVENTER SHALL OPERATE ON A REDUCED PRESSURE PRINCIPAL AS PER IRRIGATION LEGEND.

G. CONTROL WIRING

- CONNECTION BETWEEN THE AUTOMATIC CONTROLLERS AND THE ELECTRIC CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL COPPER WIRE. CONTROL WIRE SHALL BE WHITE WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC VALVE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FIELD SPLICES BETWEEN VALVE AND CONTROLLER WILL NOT BE ALLOWED UNLESS WRITTEN PERMISSION IS OBTAINED FROM OWNER. ALL WIRING SHALL BE #14 UNLESS SPECIFIED OTHERWISE.
- WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME ROUTE AS THE PRESSURE SUPPLY LINE WHENEVER POSSIBLE.
- WIRING SHALL BE TAPED TOGETHER AT INTERVALS OF TEN FEET.
- EXPANSION COILS SHALL BE PROVIDED EVERY 100' OF WIRING.
- ALL SPLICES SHALL BE MADE WITH 3M WATERPROOF SPLICES OR EQUAL.

H. AUTOMATIC CONTROLLER:

- THE AUTOMATIC CONTROLLER SHALL BE AS NOTED IN IRRIGATION LEGEND.

I. ELECTRIC CONTROL VALVE:

- THE ELECTRIC CONTROL VALVE SHALL BE A NORMALLY CLOSED, 24 VOLT, 60 CYCLE VALVE AS NOTED IN IRRIGATION LEGEND.
- ALL VALVES TO BE AS NOTED IN IRRIGATION LEGEND.

J. CONTROL VALVE BOXES :

- ALL VALVES TO BE IN BROOKS PLASTIC BOXES WITH COVERS, OR EQUAL.

K. DRIPLINE

- ALL DRIPLINE SHALL BE AS NOTED IN IRRIGATION LEGEND.
DL2000® SERIES MICROLINE WITH ROOTGUARD®
The drip tubing have two opposing discharge ports on each side of the tubing at each emitter. The drip tubing shall be black in color, and consist of nominal-sized, 1/4" polyethylene with an outside diameter (O.D.) of approximately .250" (6.35mm) and an inside diameter (I.D.) of approximately .170" (4.32mm).
The tubing shall have the emitters spaced every _____ (6" or 12") inches and with nominal flow rates of 0.53 gallons per hour (GPH). The emitters shall be continuously self-flushing and non-pressure-compensating.
The drip tubing shall be model number _____ and shall be manufactured by The Toro Company, Irrigation Division, based in Riverside, California, USA.
Performance Specifications
Maximum length of run
- T-MCRG-206 19' @ 15 psi (5m @ 1.03 Bar)
- T-MCRG-212 33' @ 15 psi (10m @ 1.03 Bar)

L. EQUIPMENT TO BE FURNISHED:

- SUPPLY AS A PART OF THE CONTRACT THE FOLLOWING:
 - TWO VALVES KEYS FOR GATE VALVES.
 - TWO KEYS FOR EACH AUTOMATIC CONTROLLER.
 - TWO QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS, FOR EACH TYPE OF QUICK COUPLING VALVE INSTALLED.

EXECUTION

A. PRODUCT DELIVERY, STORAGE AND HANDLING:

- ALL PVC PIPE SHALL BE TRANSPORTED IN A VEHICLE WHICH ALLOWS THE LENGTHS OF PIPE TO LAY FLAT SO AS NOT TO SUBJECT THE PIPE TO BINDING, BENDING, OR CONCENTRATED EXTERNAL LOADS AT ANY POINT.
- ANY SECTION OF PIPE THAT HAS BEEN DENTED OR DAMAGED WILL BE DISCARDED AND IF INSTALLED, SHALL BE REPLACED WITH NEW PIPING AT NO ADDITIONAL COST TO THE OWNER.

B. LAYOUT:

- IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE WORK TO BE INSTALLED. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. ALL SCALED DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE SUBMITTING BID TO OWNER AND PRIOR TO STARTING ANY WORK.
- EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS WORK OR NEGLECT. CHECK EXISTING UTILITIES DRAWINGS, CIVIL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR NEW AND EXISTING UTILITY LOCATIONS BEFORE ANY START OF WORK.
- PRIOR TO INSTALLATION, THE CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LOCATIONS, VALVES, HEADS AND CONTROLLERS.

C. INSTALLATION:

- WATER SUPPLY:
 - CONNECT IRRIGATION SYSTEM TO GATE VALVE OR METER, AS SUPPLIED BY OWNER. CONFIRM WATER SUPPLY BEFORE SUBMITTING BID AND START OF WORK.

- ELECTRICAL SUPPLY:
 - CONNECT ELECTRICAL CONNECTIONS FOR AUTOMATIC CONTROLLER TO NEAREST 120 VOLT SOURCE, AS SUPPLIED BY OWNER. CONFIRM LOCATION BEFORE SUBMITTING BID.

- TRENCHING:
 - DIG TRENCHES STRAIGHT AND TRUE. SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN EVEN GRADE. TRENCHING EXCAVATION SHALL FOLLOW APPROXIMATE LAYOUT AS INDICATED ON PLAN.
 - PROVIDE MINIMUM COVER OF 18" FOR ALL PRESSURE BEARING LINES.
 - PROVIDE MINIMUM COVER OF 12" FOR ALL LATERAL LINES.
 - PROVIDE MINIMUM COVER OF 18" FOR ALL CONTROL WIRING.
- BACK FILLING:
 - TRENCHES SHALL NOT BE BACK FILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACK FILLED WITH THE EXCAVATED MATERIAL, FREE FROM LARGE CLODS OF EARTH OR STONES EXCEEDING 1/2" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO EQUAL A DRY DENSITY EQUAL TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.
 - FLOODING OF TRENCHES SHALL NOT BE PERMITTED.
 - IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENT IN PIPE, VALVE, SPRINKLER HEADS, LAWNS, PLANTING, ETC., ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS, AT ON COST TO THE OWNER.

- TRENCHING AND BACK FILLING UNDER PAVING:
 - TRENCHES LOCATED UNDER AREAS OF PAVING, ASPHALT, CONCRETE OR FOUNDATIONS SHALL BE BACK FILLED WITH SAND, 6" MINIMUM BELOW PIPE AND 3" MINIMUM ABOVE PIPE. FIELD COMPACT TO 95% COMPACTED. ALL TRENCHES SHALL BE LEFT FLUSH WITH ADJOINING GRADE. CONTRACTOR SHALL SET IN PLACE ALL PIPING AND CAP AS REQUIRED, AND PRESSURE TEST ALL PIPING PRIOR TO PAVING.
 - WHERE ANY CUTTING OR BREAKING OF CONCRETE OR PAVING IS NECESSARY, IT SHALL BE DONE AND REPLACED BY THE CONTRACTOR AS PART OF CONTRACT COST. PERMISSION TO CUT OR BREAK CONCRETE OR PAVING SHALL BE OBTAINED FROM THE OWNER, IN WRITING, PRIOR TO WORK.

- LINE CLEARANCE:
 - ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM LINES OF OTHER TRADES. PARALLEL IRRIGATION LINES SHALL NOT BE INSTALLED DIRECTLY OVER EACH OTHER.
- AUTOMATIC CONTROLLER:
 - INSTALL PER MANUFACTURER'S SPECIFICATIONS. REMOTE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE, AS PER PLAN.

- HIGH VOLTAGE WIRING FOR AUTOMATIC CONTROLLER:
 - 120 VOLT POWER CONNECTION TO AUTOMATIC CONTROLLER SHALL BE PROVIDED BY OWNER.
 - ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL, CITY AND COUNTY CODE.
- REMOTE CONTROL VALVES:
 - INSTALL PER PLAN AND IRRIGATION DETAILS. WHEN VALVES ARE GROUPED TOGETHER ALLOW AT LEAST TWELVE INCHES BETWEEN VALVES. INSTALL EACH CONTROL VALVE IN A SEPARATE VALVE BOX.

- IRRIGATION HEADS:
 - INSTALL IRRIGATION HEADS AS PER PLAN AND IRRIGATION DETAILS. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON DRAWINGS. CONTRACTOR TO PROVIDE FULL COVERAGE IN ALL PLANTED AREAS, WITH A MINIMUM OF OVER SPRAY.
- FLUSHING OF IRRIGATION SYSTEM:
 - AFTER ALL IRRIGATION LINES AND RISERS ARE IN PLACE AND FULLY CONNECTED, PRIOR TO INSTALLATION OF IRRIGATION HEADS, THE CONTROL VALVES SHALL BE OPENED AND SYSTEM FULLY FLUSHED.
 - IRRIGATION HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN COMPLETED AND INSPECTED BY OWNER OR OWNER'S AGENT.

- ADJUSTMENT OF IRRIGATION SYSTEM:
 - THE CONTRACTOR SHALL FLUSH AND ADJUST ALL IRRIGATION HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON WALKS, ROADWAYS AND BUILDINGS.
 - IF IT IS DETERMINED THAT ADJUSTMENTS OF THE IRRIGATION EQUIPMENT WILL PROVIDE MORE ADEQUATE COVERAGE, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS PRIOR TO PLANTING. ADJUSTMENTS MAY ALSO INCLUDE CHANGES IN NOZZLE SIZES AND DEGREES OF ARC AS REQUIRED, AT NO ADDITIONAL COST TO OWNER.
 - ALL IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADES UNLESS OTHERWISE INDICATED ON PLAN.

- TESTING, MAINTENANCE AND GUARANTEES
 - TEST ALL PRESSURE LINES AND ALL PIPING UNDER PAVING WITH HYDROSTATIC PRESSURE OF 150 PSI FOR 24 HOURS. AFTER TESTING, IF LEAKS DEVELOP, REPLACE JOINTS, PIPE, ETC., AS REQUIRED AND RETEST AT NO ADDITIONAL COST TO OWNER.
 - WHEN IRRIGATION SYSTEM IS COMPLETED, PERFORM TEST COVERAGE IN PRESENCE OF OWNER. AREAS THAT ARE NOT FULLY COVERED SHALL BE ADJUSTED AS REQUIRED UNTIL FULL COVERAGE IS OBTAINED, AT NO ADDITIONAL COST TO OWNER.
 - MAINTENANCE PERIOD FOR IRRIGATION SYSTEM SHALL BE 60 DAYS FROM DATE OF ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE IRRIGATION SYSTEM AND EQUIPMENT FOR A PERIOD OF ONE CALENDAR YEAR FROM DATE OF ACCEPTANCE BY OWNER.

THOMAS H. KOCH
LANDSCAPE ARCHITECT

26482 Elmcrest Way
Lake Forest, CA 92650
(949) 348-9150
thk@cox.net

CA License 3602
AZ Registration 33915



PROJECT SITE

City of Lomita



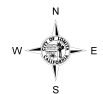
**Conditional Use Permit 310
Amendment**

2301 PCH

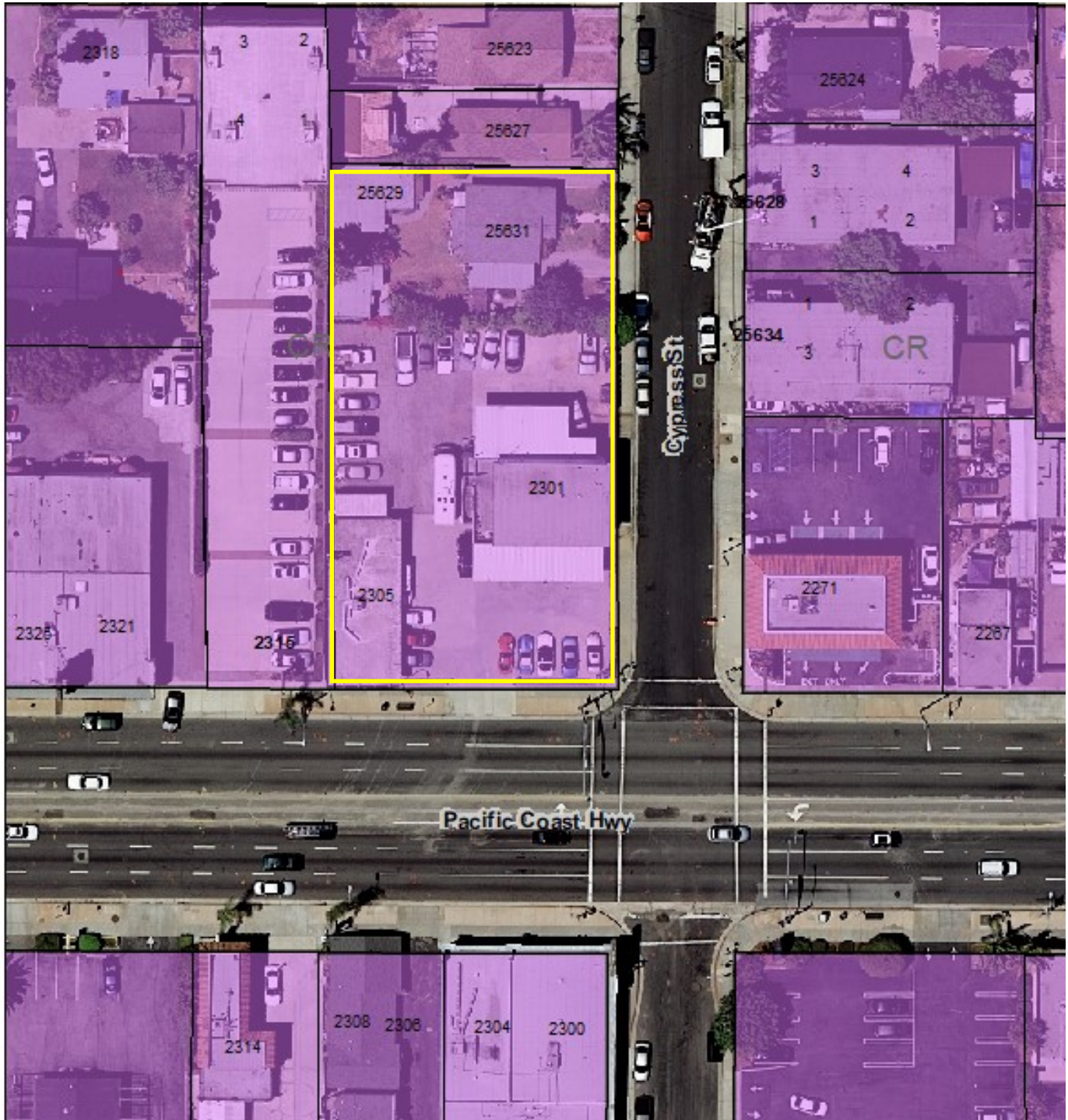
Community & Economic
Development

April 2024

Source: Lomita GIS Data Layers, TIGER Files
GIS/Apps/2244PCH_4vty.mxd



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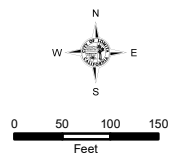
Zoning Designation: Commercial Retail (C-R)

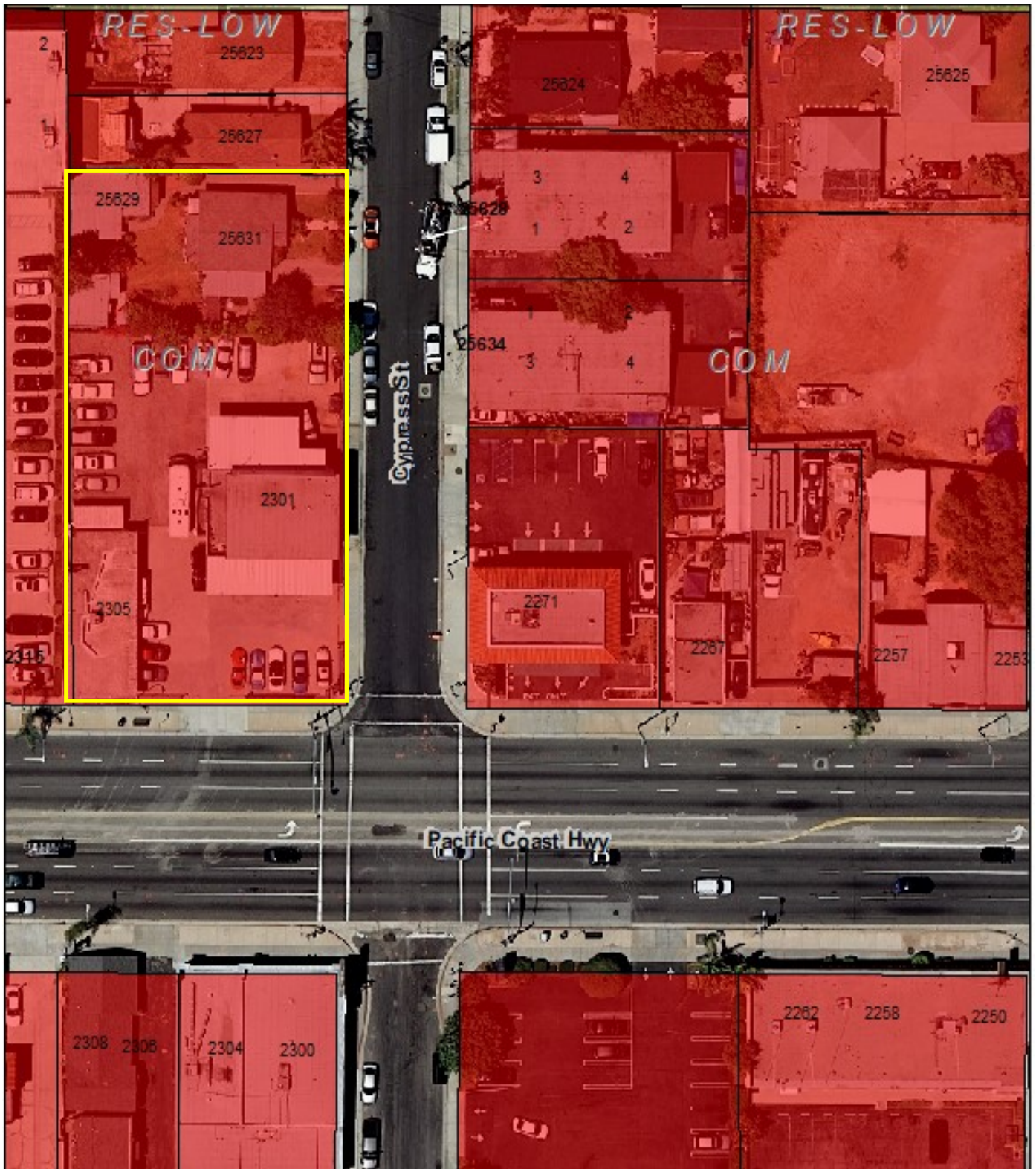


**Conditional Use Permit 310
Amendment
2301 PCH**

Community & Economic
Development
April 2024

Source: GIS ArcReader





General Plan Land Use Designation: Commercial

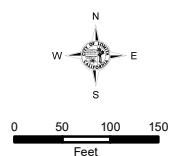


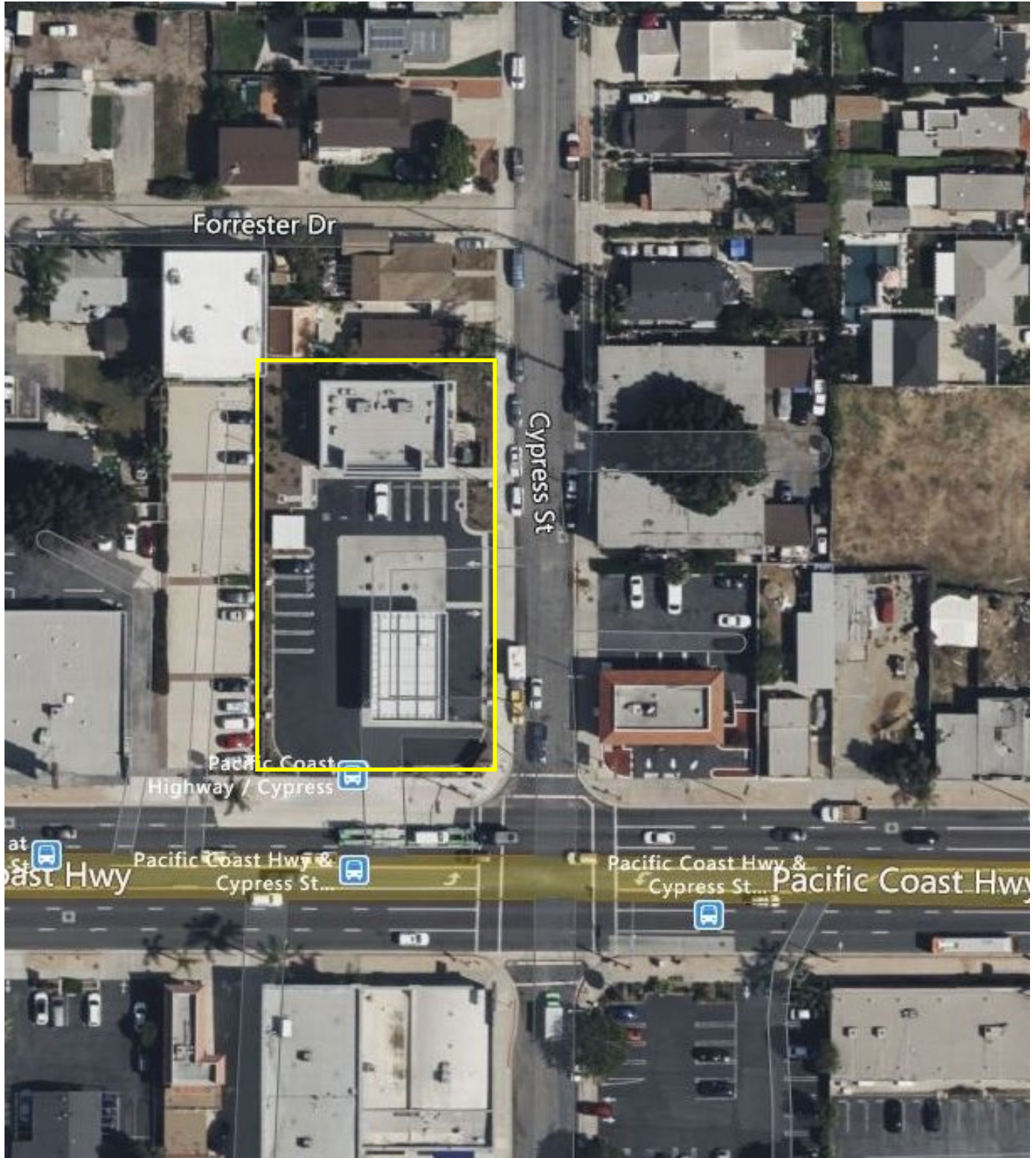
Conditional Use Permit 310
Amendment
2301 PCH

Community & Economic Development

April 2024

Source: GIS ArcReader





2022 Aerial Image



**Conditional Use Permit 310
Amendment
2301 PCH**

Community & Economic
Development

April 2024

Source: GIS ArcReader



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To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk
County of: _____

From: (Public Agency): _____

(Address)

Project Title: _____

Project Applicant: _____

Project Location - Specific:

Project Location - City: _____ Project Location - County: _____

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: _____

Name of Person or Agency Carrying Out Project: _____

Exempt Status: (check one):

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: _____
- Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Lead Agency
Contact Person: _____ Area Code/Telephone/Extension: _____

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Conditional Use Permit Modification Application Findings

(1) The proposed use is allowed within the district with approval of a CUP and complies with all other applicable requirements of this article;

The subject 7-Eleven Store is located in the Commercial Retail Zone (C-R) and is designated Commercial by the City’s General Plan. On January 14, 2019, pursuant to Lomita Municipal Code Sections 11-1.70.09 of the Zoning Code, the Planning Commission approved a Conditional Use Permit (“CUP”) for the sale of beer and wine for “1) a new 2,520 square foot convenience store (7-11) with eight fueling stations, and associated parking and landscaping. 2) to permit the sale of beer and wine for off-site consumption, and 3) to permit the outside display of 20 pound propane tanks for the property located at 2301 Pacific Coast Highway in the C-R, Commercial Retail Zone.” (Resolution No. PC 2019-03)

The Applicant, 7-Eleven, Inc., submits this Conditional Use Permit Modification Application to request the modification of Condition No. 58 of the existing CUP (Resolution No. PC 2019-03) to extend the alcohol sales by one hour. The Applicant requests the following modification:

Condition No. 58: Beer and wine sales can only be made between the hours of 7:00 a.m. and ~~11:00 p.m.~~ 12:00 a.m. Sunday through Thursday and 7:00 a.m. to ~~12:00 a.m.~~ 1:00 a.m. on Fridays and Saturdays. Refrigerators containing beer wine shall be locked during the non-sales hours.

There are no additional changes requested with this Application. Therefore, the proposed use remains in compliance with all applicable requirements of this article, as approved under Resolution No. PC 2019-03, as this current uses are all permitted subject to the already approved Conditional Use Permit.

(2) The proposed use is consistent with the general plan;

Yes, the proposed is a commercial use in a zone designated for commercial uses, which provides for retail sales activities and limited-service establishments, and thus is consistent with the General Plan. Specifically, the subject 7-Eleven Store is in the Commercial Retail Zone (C-R) and is designated Commercial by the City’s General Plan.

The existing 7-Eleven Store was approved for current operations on January 14, 2019, pursuant to Lomita Municipal Code Sections 11-1.70.09 of the Zoning Code. (Resolution No. PC 2019-03) There are no physical changes proposed to the project site and no substantial changes to operations. The only change requested is a one-hour extension of the alcohol sales hours.

As stated in Resolution No. PC 2019-03, “A fueling station, with a convenience market, is consistent with this designation in that it will provide fuel and goods to those traveling along the Pacific Coast Highway corridor. The sale of alcoholic beverages and propane is both a retail sales activity and a service for residents and therefore consistent with the General Plan. Lastly,

all three of the proposed uses are listed within the C-R zone as conditionally permitted uses.” (Page 2) These findings remain true today.

(3) The design, location, size and operating characteristics are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity;

This Conditional Modification Application is for an existing 7-Eleven Store, approved by the City of Lomita Planning Commission, with no requested changes to the design, location, size and operating characteristics (except the requested modification to Condition No. 58), and thus will remain compatible with the existing and future land uses, building and structures in the vicinity. The development is fully located within the City limits, is on less than five acres, is consistent with the applicable General Plan and Zoning designations, is fully served by all required utilities, and the site has not value for sensitive or endangered habitat.

As determined by the Planning Commission and stated in Resolution No. PC 2019-03, “All three of the proposed uses subject to a conditional use permit meet all of the City’s development criteria.” (page 2) These findings remain true today.

The approval of this request to extend alcohol sales hours by one hour will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity. 7-Eleven has and will continue to have a positive impact on the welfare of the community. The Applicant has now operated at this site for a few years without adverse impacts to the surrounding community as a result of the imposed conditions and 7-Eleven’s adherence to its corporate policies regarding responsible retailing of alcoholic beverages. The subject store and the continued sale of alcoholic beverages is part of a well-known national chain of established convenience stores. Its continued business at this location will re-enforce the character of the area. The store and subject sales will serve to strengthen the economic vitality of the area.

(4) The site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood; and

This Application is to modify one condition from the existing Conditional Use Permit authorizing a one hour extension of off-sale of beer and wine sales at an existing 7-Eleven Store approved in 2019 by Case No. PC 2019-03. The location, size, height, and operations were approved in 2019 and remain compatible with the regulations of Land Development Code. There is no construction, alterations, or change in the use proposed as part of this Application and thus no reason to conclude the prior approved location, size, height, and operations would not be in compliance with all applicable code sections. In terms of the site and operations, the Applicant maintains a well-lit and clean store, and take the responsibility as alcohol retailers very seriously

in order to ensure the sale of alcohol does not negatively impact surrounding residents, businesses or sensitive uses.

As stated above, this is simply a request to slightly modify the previously approved Conditional Use Permit. This use has been operating in this location in the exact same manner since the City approved its existing CUP and it will continue to operate in a responsible manner. There is therefore no reason to expect any adverse change.

(5) The site is served by highways and streets adequate to carry the kind and quantity of traffic such use would generate

According to the findings made by the Planning Commission, “the subject site is mainly served by the Pacific Coast Highway which is a designated major highway within the City and a designated truck route. The applicant provided a traffic study prepared by a licensed traffic engineer, and reviewed by the City’s engineer detailing that there will not be a level of service impact to the intersections of Cypress St. and Pacific Coast Highway and Pennsylvania Ave. and Pacific Coast highway. Cypress St. and Pacific Coast Highway are adequate to accommodate the number of vehicles traveling to the project site.” (Page 4) These findings remain true today.

The Applicant’s request to modify Condition No. 58 of the existing CUP will not affect the current rate of traffic generated by patrons coming to and from the 7-Eleven Store. The site will continue to be adequately served by the existing highways and streets.



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission **Item No. PH 4b**

FROM: Laura MacMorran, AICP, Associate Planner

DATE: April 8, 2024

SUBJECT: Discussion and Consideration of General Plan Amendment 2024-01, Zoning Text Amendment No. 2024-02, and Zoning Map Amendment No. 2024-01 for 24925-25007 Walnut Street (APNs: 7375-015-901, 7375-015-902, 7375-015-903, and 7375-015-904)

RECOMMENDATION

Adopt a resolution recommending approval of General Plan Amendment 2024-01, Zoning Text Amendment No. 2024-02, and Zoning Map Amendment No. 2024-01 for 24925-25007 Walnut Street to create a public purpose specific plan for 24925 Walnut St. (Lomita Manor) and 25007 Walnut St. (vacant lot) and recommending an exempt finding from the California Environment Quality Act (CEQA).

BACKGROUND

In the 1980s, the City created the Lomita Housing Authority and developed a 78-unit affordable senior multi-family housing project, known as Lomita Manor. The City of Lomita is initiating this General Plan Amendment, Zoning Text Amendment, and Zoning Map Amendment, because General Plan Land Use's designation, Public Facilities/Open Space, and the current zoning, R-1 (Single-Family Residential), are inconsistent with the high-density residential multifamily use. In addition to the need for order, consistency, and clarity, when Lomita Manor applies for federal programs, this land use and zoning inconsistency could hinder or derail an application.

Existing Conditions

The subject property consists of four interior lots south of Lomita Blvd and west of Walnut Street. The total area is 1.86 acres. Lomita Manor occupies the northerly three lots and consists of two three-story buildings with 78 combined units. The site has a parking lot and drainage easement. One gated driveway connects Lomita Manor to Walnut Street. The fourth lot is vacant and secured by a fence and wall.

Typically, the distance from the property line to the right-of-way's centerline is 25 feet, but the distance from the four parcels to the centerline is only 20 feet. A dedication is not a pressing concern because a sidewalk exists on Housing Authority property, which is an entity of the City and therefore publicly controlled.

ANALYSIS

Environmental Determination

Section 15061(b)(3) states that CEQA applies only to projects that have the potential for causing a significant effect on the environment. The Ordinance will not have a significant effect on the environment because no new in-fill construction is proposed with the project. Also, Section 15301 (Existing Facilities) of the CEQA guidelines finds that a project consisting of permitting, leasing, licensing or no expansion of existing or former use is exempt from CEQA. This is limited to a change in the land use and zoning designations to be consistent with the existing affordable housing development and provide objective development standards where none exist, effectively a retroactive entitlement. The site is almost entirely built and is identified in the Housing Element as an affordable housing site. The nature of the zoning amendments and General Plan Land Use amendment correspond directly to permitting's purpose, which is to allow an activity, use, or structure. Furthermore, no new building is proposed; only the site's use and existing building design standards will be legitimized by approval of the applications.

General Plan Amendment

The General Plan land use designation for the subject property is Public Facilities/Open Space. This designation applies to "the Civic Center, Fire Station, County Offices, Library, Museum and Navy Fuel Storage facility. The designation also applies to schools, churches, parks, and often public and quasi-public uses."

A public facility, such as a library, police station, or park, is almost universally accessible and for the general public's use or intended for a specific demographic, such as a school or senior center.

A High-Density Residential use is a more fitting designation for the site. Even though a public entity owns Lomita Manor and it serves the public good by providing affordable senior housing, the property's use is a different matter than the ownership. Since Lomita Manor was built, the site has been used exclusively for residential use. Each apartment is leased to a tenant for their private use. Only tenants and their guests can access the multifamily site; the general public cannot access Lomita Manor.

The High-Density Residential designation applies to sites with up to 45.3 units/acre or 88 units an acre subject to a specific plan. The three developed lots have a density of 54 units per acre. The vacant lot could have the same density.

Specific Plan

As authorized in Article 8 of Chapter 3 of the State Planning and Zoning Law, a specific plan is an instrument for guiding, coordinating, and regulating the development of property within a given area. The proposed specific plan replaces the existing zoning regulations for a particular area and must be consistent with, and carry out, the provisions and objectives of the General Plan.

The Lomita Manor Specific Plan provides objective development standards for the proposed project on this site. Since neither the R-1 or RVD development standards do

not allow the development of this multifamily residential use, specific site development standards such as building height, intensity, parking requirements, setback requirements, and landscaping regulations have been established for the specific plan area that support and regulate the development of a multifamily residential use within the Specific Plan area.

As proposed, the ordinance will establish the Lomita Manor Specific Plan and establish the site development standards in accordance with existing conditions (see Attachment 2 of Exhibit A - Draft City Council Ordinance).

Zoning Text Amendment

To implement the Specific Plan, a Zoning Text Amendment is necessary. The proposed zoning text amendment will incorporate the new specific plan into the body of the Municipal Code. Staff proposes to place the Specific Plan regulations within Title XI (Planning and Zoning), Chapter 1 (Zoning) Part 2 (Establishment of Zones), creating a new Article 28 titled “Lomita Manor Specific Plan”.

Zoning Map Amendment

Similar to the Zoning Text Amendment, the Zoning Map Amendment is the instrument by which the City changes its official zoning map, in this case from R-1 Single Family Residential to the Lomita Manor Specific Plan.

Together the zoning map amendment and zoning text amendment implement and codify the specific plan into the City’s Municipal Code.

Consistency with the General Plan

The project is consistent with the City’s Land Use Element and Housing Element. The table below explains the relationship between the project and General Plan.

Application Consistency with Land Use Element (LU) and Housing Element (HE)	
Policy	Project’s Consistency Reasoning
Land Use Element Policy 10: The City will promote the improvement of aesthetic and visual qualities of the community by landscaping and beautifying streets and highways and by implementing development standards for private improvements.	The Zoning Code does not contain development standards for Lomita Manor, so creation of such adheres to this Policy. While the property may be owned by the public housing authority, the Authority is akin to a private affordable housing nonprofit and development standards are necessary to further LU Policy 12.
Land Use Element Policy 12: To plan for the orderly future growth and development, the City will maintain the planning studies and surveys of the General Plan undertaken as part of its preparation and review and periodically update the General Plan, and other related plans and ordinances critical to the Land Use Element’s implementation.	Correcting the inconsistency between the land use designation and zoning designation supports the planning of orderly future growth and development. The site contains a residential use with a density of 54 units per acre, which places it in the High-Density Residential category.

<p>Housing Element Policy 1.2: Preserve and rehabilitate housing for lower income households.</p>	<p>Correcting the inconsistency between the land use designation and zoning designation furthers the preservation of Lomita Manor, as well as removes a probable hinderance to future rehabilitation funding applications.</p>
<p>Housing Element Policy 3.1: Prioritize the identification of sites and zones to accommodate Lomita’s fair share of the existing and future housing need.</p>	<p>Updating the designations and establishing standards to match the use makes proper identification and planning for Lomita’s housing fair share more accurate.</p>
<p>Housing Element Program 11: Objective design standards increase transparency and certainty in the development process.</p>	<p>The proposed land use designation provides density maximums, which guide objective development and design standards captured in the specific plan. It also adds clarity as to what can and may be built on the vacant parcel should it be developed in the future.</p>
<p>Housing Element Program 14: Rezone to accommodate the shortfall for the lower-income RHNA.</p>	<p>This property’s rezoning in advance of the General Plan’s update is consistent with the rezoning program to accommodate for lower income housing unit shortfall because it includes the undeveloped fourth lot.</p>

FISCAL IMPACT

These legislative amendments will not create additional revenue or additional expenses.

OPTIONS

1. Recommend approval to the City Council.
2. Do not recommend approval to the City Council.
3. Recommend approval to City Council with amendments.
4. Provide staff with further direction.

PUBLIC NOTICE

Notices of this hearing dated March 28, 2024, were published in the Daily Breeze and mailed to property owners within 300 feet of the subject property and posted on the Lomita City webpage and at Lomita City Hall and Lomita Park.

ATTACHMENTS


1. General Plan Amendment Resolution
2. Zoning Text Amendment and Zoning Map Amendment Resolution with Exhibit A Draft Ordinance

Reviewed by:



Brianna Rindge, AICP
Community & Economic Development Director

Prepared by:



Laura MacMorran, AICP
Associate Planner

**PLANNING COMMISSION
RESOLUTION NO. PC 2024-06**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF GENERAL PLAN AMENDMENT 2024-01 AMENDING THE CITY OF LOMITA GENERAL PLAN LAND USE MAP AND LAND USE DESIGNATION FROM PUBLIC/OPEN SPACE TO HIGH-DENSITY RESIDENTIAL FOR THE PROPERTY LOCATED AT 24925-25007 WALNUT STREET (APNs 7375-015-901, 7375-015-902, 7375-015-903, AND 7375-015-904) AND RECOMMENDING THAT THE PROJECT BE FOUND EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA). INITIATED BY THE CITY OF LOMITA.

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER AND RESOLVE AS FOLLOWS:

Section 1. Recitals

A. The proposed General Plan Land Use Map and Land Use Designation change has been assessed and found exempt from the California Environmental Quality Act (CEQA). Section 15061(b)(3) of the state CEQA guidelines states that CEQA applies only to projects that have the potential for causing a significant effect on the environment. The proposed change will not have a significant effect on the environment because the site is already developed with a high-density residential use, an affordable multifamily apartment complex, and such a land use designation change is merely a reconciliation of the existing use with the appropriate designation. Section 15301 (Existing Facilities) of the CEQA guidelines finds that a project consisting of permitting, leasing, licensing or no expansion of existing or former use is exempt from CEQA. This project is limited to a change in the land use and zoning designations to be consistent with the existing affordable housing development and provide objective development standards where none exist, effectively a retroactive entitlement. The site is almost entirely built and is identified in the Housing Element as an affordable housing site. The nature of the zoning amendments and General Plan Land Use amendment correspond directly to permitting's purpose, which is to allow an activity, use, or structure. No physical construction is proposed as part of this application.

B. On April 8, 2024, the Planning Commission held a duly noticed public hearing on General Plan Amendment No. 2024-01 (initiated by the City of Lomita), where public testimony was accepted on the item and after deliberations the Planning Commission recommended that the City Council approve the General Plan Amendment.

C. After review and consideration of all evidence and testimony presented in connection with this hearing, the Planning Commission recommends that the City Council approves the General Plan Amendment changing the Land Use Map and Land Use Designation from Public/Open Space to High Density Residential on the subject properties.

Section 2. The Planning Commission finds that the proposed General Plan Amendment is consistent with the General Plan's goals, objectives, and policies, specifically, Land Use Element Policy 12 requiring the City to plan for the orderly future growth and development. The amendment corrects an inconsistency between the existing and future high-density residential use and the designation.

Section 3. Based on the foregoing, the Planning Commission of the City of Lomita hereby recommends City Council approve the General Plan Land Use Map and Land Use Designation change.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 8th day of April 2024, by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Brenda Stephens, Chair

ATTEST: _____
Brianna Rindge, AICP
Community and Economic Development Director

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

**PLANNING COMMISSION
RESOLUTION NO. PC 2024-07**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF ZONING TEXT AMENDMENT 2024-02 AND ZONING MAP AMENDMENT 2024-01 ADOPTING AN ORDINANCE TITLED “LOMITA MANOR SPECIFIC PLAN”, CHANGING THE ZONING DESIGNATION FROM R-1 SINGLE-FAMILY RESIDENTIAL TO THE LOMITA MANOR SPECIFIC PLAN FOR 24925-25007 WALNUT STREET (APNs 7375-015-901, 7375-015-902, 7375-015-903, AND 7375-015-904), AND RECOMMENDING THAT THE PROJECT BE FOUND EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA). INITIATED BY THE CITY OF LOMITA.

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER AND RESOLVE AS FOLLOWS:

Section 1. Recitals

A. The proposed code amendment and zoning map amendment have been assessed in accordance with the California Environmental Quality Act (CEQA) Section 15061(b)(3) states that CEQA applies only to projects that have the potential for causing a significant effect on the environment. The proposed text amendment and zoning map change will not have a significant effect on the environment because the proposed amendments would provide for preservation of existing standards consistent with State Law and no physical construction is proposed as part of this application. Section 15301 (Existing Facilities) of the CEQA guidelines finds that a project consisting of permitting, leasing, licensing or no expansion of existing or former use is exempt from CEQA. This action is limited to a change in the land use and zoning designations to be consistent with the existing affordable housing development and provide objective development standards where none exist, effectively a retroactive entitlement. The site is almost entirely built and is identified in the Housing Element as an affordable housing site.

B. On April 8, 2024, the Planning Commission held a duly noticed public hearing on Zoning Text Amendment No. 2024-02 and Zoning Map Amendment No. 2024-01 (initiated by the City of Lomita), where public testimony was accepted on the item and after deliberations the Planning Commission recommended that the City Council approve the Zoning Text Amendment., in accordance with Lomita Municipal Code Sections 11-1.70.04 and 11-1.70.05(C).

C. After review and consideration of all evidence and testimony presented in connection with this hearing, the Planning Commission recommends that the City Council approves the Zoning Text Amendment and Zoning Map Amendment.

Section 2. In accordance with Municipal Code section 11-1.70.05, the Planning Commission finds that the proposed Zoning Text Amendment and Zoning Map Amendment are consistent with the General Plan as described in Exhibit A.

Section 3. Based on the foregoing, the Planning Commission of the City of Lomita hereby recommends City Council approve the amendments to the Lomita Municipal Code shown in the draft Ordinance (Exhibit A).

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 8th day of April 2024, by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Brenda Stephens, Chair

ATTEST: _____
Brianna Rindge, AICP
Community and Economic Development Director

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

ORDINANCE NO. XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LOMITA, CALIFORNIA, APPROVING: (1) ZONING TEXT AMENDMENT 2024-02 AMENDING LOMITA MUNICIPAL CODE TITLE XI (PLANNING AND ZONING), CHAPTER 1 (ZONING), PART 2 (ESTABLISHMENT OF ZONES) TO CREATE THE “LOMITA MANOR SPECIFIC PLAN” AND (2) ZONING MAP AMENDMENT 2024-01 CHANGING THE ZONING DESIGNATION OF 24925-25007 WALNUT STREET (APNs 7375-015-901, 7375-015-902, 7375-015-903, AND 7375-015-904) FROM R-1 SINGLE-FAMILY RESIDENTIAL TO THE LOMITA MANOR SPECIFIC PLAN; AND (3) A DETERMINATION THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

Section 1. Recitals.

- A. Chapter 1 of Title XI of the Lomita Municipal Code establishes allowable uses and development standards of properties within all zoning districts in the city.
- B. The City desires to amend Title XI of the Lomita Municipal Code to create consistency between the present single-family zoning designation and the existing multifamily use.
- C. On April 8, 2024, the Planning Commission held a duly noticed public hearing on Zoning Text Amendment No. 2024-02 and Zoning Map Amendment 2024-01 where public testimony was accepted on the item and recommended City Council _____.
- D. On _____, 2024, City Council held a duly noticed public hearing to consider the proposed text and map amendments regarding the establishment of the Lomita Manor Specific Plan and objective development standards for the site.

Section 2. General Plan Consistency

This Ordinance’s amendments to Title XI of the Lomita Municipal Code are consistent with, and in furtherance of, the City’s adopted General Plan as they effectuate the following Policies of the General Plan.

- A. Land Use Element Policy 10 promotes improvement of the community’s aesthetic and visual qualities by implementing development standards for private improvements. The proposed amendment establishes standards for the proposed specific plan area in accordance with existing development.
- B. Housing Element Policy 1.2 seeks to preserve and rehabilitate housing for lower income households. By correcting the inconsistency between the R-1 Single-

Family zoning designation and the properties' multifamily use, the nonconforming status, which can hinder reinvestment, will be removed.

- C. Housing Element Policy 3.1 commits the City to prioritize the identification of sites and zones to accommodate Lomita's fair share of the existing and future housing need. As this amendment pertains to affordable multifamily residential use, it demonstrates the City's prioritization of accommodating Lomita's fair share of housing.
- D. Housing Element Program 14 directs the City to increase transparency and certainty in the development process by creating objective design standards. The proposed specific plan establishes objective development standards and thereby achieves transparency.

Section 3. Environmental Review

The City Council finds and determines that the adoption of this Ordinance regarding changing the zoning text and map and creating a specific plan is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the CEQA Guidelines, which states that CEQA applies only to projects that have the potential for causing a significant effect on the environment. The Ordinance will not have a significant effect on the environment because no new construction is proposed with the project, and it can be seen with certainty that any new project under the same development standards of the proposed specific plan would be relatively small in comparison to and proportional to the existing development and not have a significant effect on the environment.

In addition, pursuant to Section 15301 (Existing Facilities) of the CEQA guidelines, a project that consists of permitting, leasing, licensing, or no expansion of existing or former use is exempt from CEQA. This project is limited to a change in the land use and zoning designations to be consistent with the existing affordable housing development and provide objective development standards where none exist. The site, identified in the Housing Element as an affordable housing site, is almost entirely built-out. The nature of the zoning amendments and General Plan Land Use designation change correspond directly to permitting's purpose, which is to allow an activity, use, or structure to match existing conditions. Furthermore, no new building is proposed; only the site's use and existing building design standards are being legitimized.

THE CITY COUNCIL OF THE CITY OF LOMITA HEREBY ORDAINS AS FOLLOWS:

Section 4. Zoning Text Amendment

Based on the foregoing, the City Council hereby approves the following amendment to the Lomita Municipal Code:

A. Section 11-1.28. of Title XI of the Lomita Municipal Code is amended to read as follows:

“Sec. 11-1.28.01. Lomita Manor Specific Plan location.

The Lomita Manor Specific Plan applies to the property located at 24925-25007 Walnut Street (APNs 7375-015-901, 7375-015-902, 7375-015-903, and 7375-015-904), on the west side of Walnut Street, and is generally bound by Metropolitan Water District property to the north and by private property south and west. The precise boundaries of the Lomita Manor Specific Plan are depicted in Figure 1.

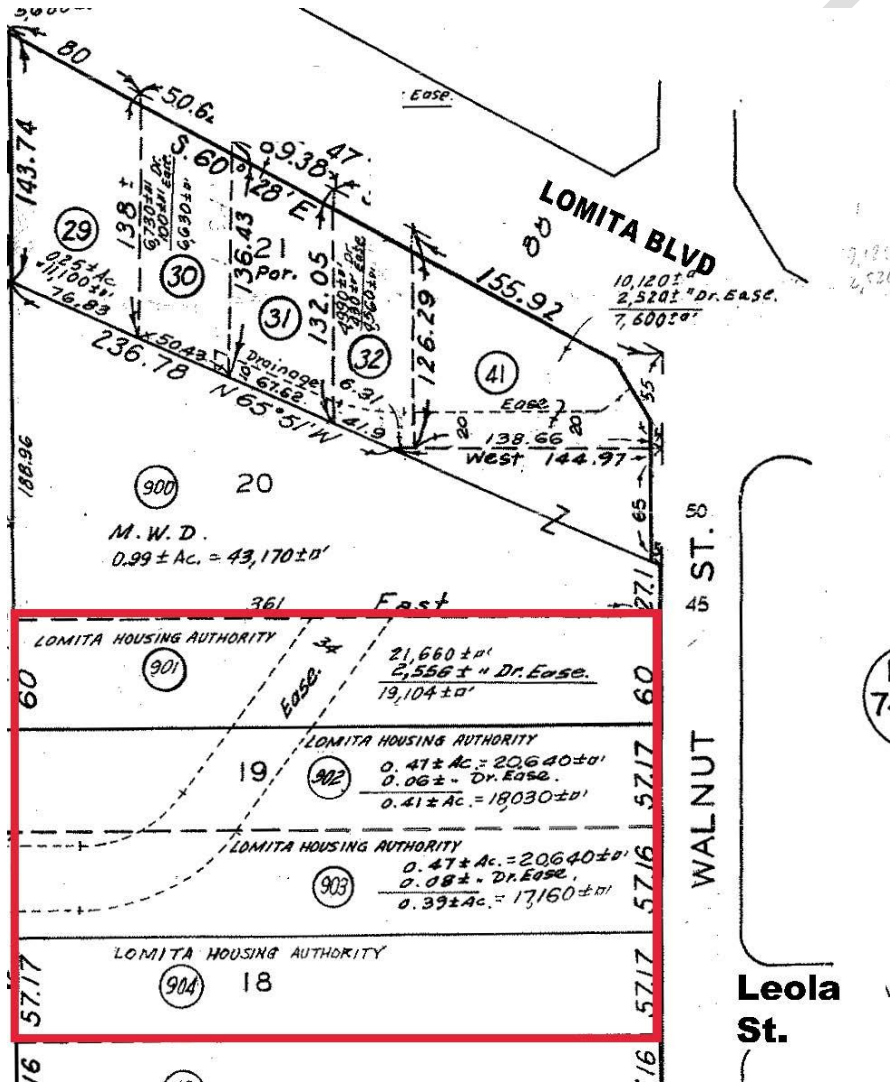


Figure 1

Sec. 11-1.28.02. Permitted uses.

The following uses shall be permitted in the development area subject to the provisions of this chapter:

(A) Multiple-family dwellings and amenities commonly associated with multifamily dwellings including, without limitation, leasing office, pool, gazebos, parking facilities, community room, fitness center, and other complimentary ancillary uses.

Sec. 11-1.28.03. Density.

Dwelling unit density shall not exceed fifty-four (54) units per acre.

Sec. 11-1.28.04 Floor Area Ratio.

Maximum floor area ratio shall be 1.5.

Sec. 11-1.28.05. Maximum building height.

The maximum building height of all structures shall not exceed thirty-seven (37) feet. Staircases, elevator shafts, and other minor accessory structures may exceed maximum height to the minimum extent necessary for compliance with the building code of the City of Lomita.

Sec. 11-1.28.06. Minimum Setbacks.

(A) Front (Walnut Street.): Ten (10) feet.

(B) Rear (West): Ten (10) feet.

(C) Side (North): None.

(D) Side (South): Five (5) feet.

Sec. 11-1.28.07. Open space.

(A) Common useable open space, including active recreation open space and passive open space (including landscaping), shall be provided and shall occupy at least five (5) percent of the total unbuilt land area.

Sec. 11-1.28.08. Dwelling unit area.

The gross area per dwelling unit, not including patios or balconies, shall average no more than five hundred fifty (550) square feet for studio units, shall average no more than seven hundred fifty (750) square feet for one-bedroom units, and shall average no more than nine hundred fifty (950) square feet for two-bedroom units. There is no minimum or maximum size per unit.

Sec. 11-1.28.09. Loading.

No off-street loading spaces shall be required.

Sec. 11-1.28.10. Parking and drive aisles.

(A) Standard parking stalls shall be nine (9) feet by nineteen (19) feet. Compact stalls shall be nine (9) feet by fifteen (15) feet. No more than thirty percent (30%) of minimum required parking shall be compact stalls.

(B) Drive aisles shall be a minimum twenty-four (24) feet in width for two-way traffic.

(C) Parking Spaces:

Use	Ratio
Multifamily Residential	0.3 space per unit

Sec. 11-1.28.11. Exterior Lighting.

(A) Lighting fixtures shall be aimed directly downward or shielded.

(B) Light produce a maximum initial illuminance of no greater than the moon’s potential ambient illumination of 0.10 horizontal and vertical footcandles at the site boundary and beyond, and no greater than 0.01 footcandles 10 feet beyond the site boundary.

Sec. 11-1.28.12. Perimeter Improvements.

(A) Fences, hedges, and walls:

- (1) Shall not exceed forty-two (42) inches in height within the minimum required front yard setback, except vacant property may be secured with a fence or wall up to six (6) feet in height;
- (2) Shall not exceed eight (8) feet in height along rear and interior side property lines; and
- (3) Shall be erected to not create visual obstruction of vehicular and pedestrian traffic.
- (4) The height of the fence, wall, or hedge shall be measured from natural grade.

(B) Driveway gates:

- (1) Shall be setback at least 20 feet from the property line over which the driveway provides access;

- (2) Shall be at least fifty percent (50%) transparent;
- (3) Shall operate electronically; and
- (4) The design, color, material, and location shall be subject to the approval of the community development director or designee.

Sec. 11-1.28.13. Signs.

(A) *Intent and purpose.* The intent and purpose of this section is to establish a framework for a comprehensive system of sign controls governing the display, design, construction, installation, and maintenance of signs that will discourage indiscriminate and unregulated erection and maintenance of signs and other visual media which tend to create a garish, gaudy, and unsafe atmosphere and which tend to be out of harmony with the goals and objectives of the community.

(B) *Definitions.*

- (1) *Area of Sign;* Refer to section 11-1.67.02.
- (2) *Directional sign* shall mean a sign that is intended to provide directions for motorists entering a site from a public right-of-way.
- (3) *Monument sign* is a freestanding sign where the base of the structure connects to the ground and is supported primarily by an internal structural framework or integrated into landscaping or other solid structural features other than support poles.
- (5) *Private regulatory sign* shall mean a sign that provides information on regarding conduct on private property. Examples include, no trespassing, no dumping, guest parking, no parking, towing, and other similar signs.
- (6) *Real estate sign;* Refer to section 11-1.67.02.
- (7) *Sign;* Refer to section 11-1.67.02.
- (9) *Wall sign;* Refer to section 11-1.67.02.

(C) Permanent signs.

- (1) Monument sign.
 - a. One fifteen (15) square-foot or less sign shall be allowed to identify a building, but it may not obstruct the visibility of pedestrians and vehicular traffic. Area is calculated per sign face.
 - b. The maximum height shall be four (4) feet from the lowest finished grade.

- c. The sign shall be set back at least two (2) feet from any property line.
- d. The sign may be externally illuminated.

(2) Wall sign.

- a. Only one (1) flush-mounted wall sign shall be allowed per building.
- b. A wall sign shall not exceed one hundred (100) square feet or thirty (30) square feet for nonresidential buildings.

(D) Exempt signs.

(1) Directional signs less than two (2) square feet in area.

(2) Private regulatory signs.

- a. The sign shall not exceed twelve (12) square feet in surface area per face and shall be no more than one-inch thick.
- b. A lot may have up to two (2) signs visible from the frontage and an unlimited quantity of signs not visible from the public rights-of-way.

(3) Real estate signs less than four (4) square feet.

(E) Sign Illumination.

- (1) A wall or monument sign may only be illuminated with one single color. No other signs shall be illuminated.
- (2) The brightness level shall not pose a nuisance or danger, to the satisfaction of the director of community development.

Sec. 11-1.28.14 Location of other structures and projections into yards.

Shall be in accordance with Section 11-1.30.04.

Sec. 11-1.28.15. Mechanical equipment.

Mechanical equipment, devices, or facilities that are ancillary to residential dwelling units including, but not limited to, antennas, air conditioning systems, and filtration systems, are permitted in accordance with the following:

- (A) The mechanical equipment shall comply with the city's noise ordinance.
- (B) The air conditioning and filtration system units shall be screened by parapet walls or roof-mounted enclosure that matches the existing building's colors, style, and finishes.

Sec. 11-1.28.16. Trash facilities.

Trash facilities, including trash chutes, trash receptacles, or bins, shall be hidden from public view.

Sec. 11-1.28.17. Infrastructure.

Due to the urbanized nature of the surrounding area and the limited project size, the Lomita Manor Specific Plan site, as of the date of the adoption of this ordinance, is provided with adequate facilities and services for sewage, water, drainage, solid waste disposal, and energy. In addition, all utility construction, connections, and maintenance shall conform to the provisions of the City of Lomita Municipal Code.”

Section 5. Zoning Map Amendment

Based on the foregoing, the City Council hereby approves the following amendment to the Lomita Zoning Map:

Designate the 24925-25007 Walnut Street (APNs 7375-015-901, 7375-015-902, 7375-015-903, and 7375-015-904) with legal descriptions as TR 241 S 60 FT OF LOT 20; TR 241 N 57.17 FT OF LOT 19, TR 241 S 57.16 FT OF LOT 19 and TR 241 N 57.17 FT OF LOT 18 as the “Lomita Manor Specific Plan” on the City’s Zoning Map.

Section 6. Severability

If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this ordinance or any part hereof is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining portions of this ordinance or any part thereof. The City Council of the City of Lomita hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase hereof, irrespective of the fact that any one or more sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared invalid.

Section 7. Effective Date.

This ordinance shall take effect thirty (30) days after the date of its passage; and prior to fifteen (15) days after its passage, the City Clerk shall cause a copy of this ordinance to be published in accordance with the provisions of the law. The City Clerk shall certify the adoption of this ordinance.

PASSED, APPROVED AND ADOPTED, this ____ day of _____, 2024.

Bill Uphoff, Mayor

ATTEST:

Kathleen Horn Gregory, MMC, City Clerk

APPROVED AS TO FORM:

Trevor Rusin, City Attorney

DRAFT



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission **Item No. PH 4c**

FROM: Erika Barbero, Assistant Planner

MEETING DATE: April 8, 2024

SUBJECT: Discussion and Consideration of a Request for a Zone Text Amendment to amend to Section 11-1.48.02 (Principal Uses Permitted) of Article 48 (C-R (Commercial-Retail)) of Chapter 1 (Zoning) of Title XI (Planning and Zoning) of the Lomita Municipal Code Regarding the Restriction of Service-Based Uses on the Ground Floor of Commercial Shopping Centers Over 5,000 Square Feet

RECOMMENDATION

Continue the item to the May 13, 2024 Planning Commission meeting per request of the applicant.

PUBLIC NOTICE

Notice of this hearing was published in the Daily Breeze Newspaper on March 28, 2024, and posted at City Hall and Lomita Park.

Recommended by:

Brianna Rindge

Brianna Rindge, AICP
Community & Economic Development Director

Prepared by:

Erika Barbero

Erika Barbero
Assistant Planner