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Attachment 3 (Exhibit A)



CITY OF LOMITA GENERAL PLAN

Circulation Element

Introduction to the Circulation Element

The Circulation Element of the Lomita General Plan is one of seven State mandated elements and is intended to guide the development of the City's circulation system in a manner that is compatible with the Land Use Element. Future development in the City and new development in the surrounding communities will result in increased demands on the City's roadways. To help meet these demands, the City has adopted specific policies to serve as this Element's policy framework.

Relationship to the General Plan

The purpose of the Circulation Element is to provide a safe and efficient circulation system for Lomita and to promote the safe and efficient movement of goods and traffic within the City. According to California Government Code Section 65302(b), this Element must identify "the general location and extent of existing and proposed major thoroughfares, transportation routes, terminals and other public utilities and facilities, all correlated with the Land Use Element of the Plan."

The Circulation Element of the Lomita General Plan portrays the roadway system needed to serve traffic generated by uses permitted under the Land Use Element. Traffic forecasts in the Circulation Element are also used to determine future traffic noise levels within the Noise Element. The Safety Element indicates emergency evacuation routes and minimum road widths to accommodate emergency vehicles. Finally, the Circulation Element is responsive to regional transportation plans, such as the Congestion Management Plan which focuses on the development of a regional transportation system to accommodate the projected traffic demands within the greater metropolitan area. This Circulation Element is organized around the following sections:

- The Introduction to the Circulation Element provides an overview of the Element and its statutory requirements.
- The Circulation Element Policies contains policies related to transportation issues and circulation related infrastructure.

- The Circulation Plan establishes policies and indicated programs designed to improve traffic and circulation within the City. Typical standards for each category of roadway are also indicated.
- The Background for Planning section includes information related to current traffic and circulation conditions. Public transportation and alternative forms of transportation are also addressed.

Circulation Element Policies

The City of Lomita seeks to accomplish the following goals through implementation of the policies and programs contained in this Circulation Element:

- To promote the maintenance and improvement of roadway systems in the City which will accommodate future traffic
- To promote the use of innovative circulation strategies designed to create a transportation system that is sensitive to the City's aims for economic development;
- To support the development of a roadway and circulation network that promotes pedestrian activity in selected districts within the City
- To promote a more efficient use of alternative forms of transportation that serve the City; and
- To ensure that roadway improvements are sensitive to the community's long-range goals for a livable and sustainable community.

To accomplish the aforementioned goals, the City of Lomita has adopted the following policies to guide future transportation planning and design in the City.

Circulation Policy 1

The City will encourage the development of an increasingly safe and efficient regional transportation system in the area and discourage the use of local streets in the City for non-local and regional through traffic except in emergency situations.

Circulation Policy 2

The City will strive to provide a system of signalization which will augment and assist in the safe and efficient movement of traffic through the City. The City will investigate the feasibility of participating in a regional signalization program (such as the ATSAC program) with neighboring jurisdictions.

Circulation Policy 3

The City will develop and maintain a logical local circulation system based on a hierarchy of streets

which serve the existing and future needs of the City. The City will evaluate the need to "reopen" roads now closed to through traffic.

Circulation Policy 4

The City will be proactive in assessing the impact of future land uses and development on the local circulation system.

Circulation Policy 5

The City will continue to promote the use of public transit and other alternative forms of transit to reduce travel expense, energy use, environmental impact, and congestion.

Circulation Policy 6

The City will encourage the development, maintenance, and improvement of pedestrian oriented facilities, where appropriate, to ensure the safety and use of pedestrian movement throughout the City and as a means to reduce traffic. The City will also encourage the maintenance and improvement of bicycle oriented facilities, where appropriate, to ensure the safety and use of bicycle movement throughout the City.

Circulation Policy 7

The City will evaluate parking restrictions/regulations to increase the availability of parking whenever possible without jeopardizing safety.'

Circulation Policy 8

The City will strive to establish a beautification program for major roadways in Lomita.

Circulation Policy 9

The use of alternative fueled vehicles for local and ways to more efficiently use the existing Dial-A-Ride services will be investigated.

Circulation Plan

The Circulation Plan for the City of Lomita supports the land use and development objectives outlined in the Land Use Element. The Circulation Plan is shown in Exhibit 3-1 and is discussed in this section.

Roadway Classifications & Standards

The roadway classification system described herein is used to identify the function of each

roadway in the City. The classification system provides a logical framework for the design and operation of roadways serving Lomita. The functional classification system allows the residents and elected officials to identify preferred characteristics of each street.

If the observed characteristics of a street changes from the functional classification, then actions may be taken to return the street to its originally intended use or to change the roadway classification in response to new development. In the latter instance, certain, additional roadway improvements may be required to accommodate the roadway's new functional classification and the corresponding standards.

The primary circulation system in the City of Lomita serves two distinct and equally important functions the City's roadways provide access to individual properties, and enable persons and goods to be transported into and through the City. The design and operation of each roadway depends on the importance placed on each of these functions. For example, some roadways are

designed to carry larger traffic volumes and generally have more lanes, higher speed limits and fewer driveways. In contrast, other streets have fewer lanes, lower speed limits, and more driveways to provide access to individual properties.

The roadway system in Lomita has been defined using a classification system which describes a hierarchy of roadway types. The categories of roadways included in this classification system differentiate the size, function, and capacity of each type of roadway. The various roadway classifications are described below.

Major Highways

This roadway classification provides for through traffic movement between and across the City. The designated curb-to-curb width for a typical major highway is 80 to 86 feet within a 100-foot right-of-way. This roadway classification typically provides four through travel lanes and may or may not include a raised or painted median. Designated major highways in Lomita include Pacific Coast

Highway, Lomita Boulevard, Crenshaw Boulevard, Western Avenue, and Palos Verdes Drive North.

Secondary Highways

Secondary highways provide for traffic movement across the City, as well as shorter distance local intra-city traffic movement. This classification of roadway generally provides greater access to abutting land uses compared to major highways. This classification of roadway generally carries lower traffic volumes. Secondary highways typically have a curb-to-curb width of 64 feet in an 80 foot right-of-way. Narbonne Avenue is the only designated secondary highway in Lomita.

Collector Streets

Collector streets are designed solely to collect traffic from residential streets and channel it to the arterial highway system. Collector streets typically have 40-foot curb-to-curb widths and 60 foot rights-of-way. Designated collector streets in Lomita include 250th, 255th, and 262nd Streets (east-west collectors) and ~~Pennsylvania Avenue~~, Eshelman Avenue, Walnut Avenue, and Ebony Street (north-south collectors). Narbonne Avenue, north of

Lomita Boulevard, is designated as a collector street.

Local Streets

Local streets are subordinate to the basic circulation network described above, yet constitute the majority of the roads in Lomita. These streets provide access to individual parcels and only provide circulation within a neighborhood block. Local streets in Lomita are generally 40 to 50 feet wide, with a pavement width of between 24 to 30 feet. Most streets have been improved with curbs, gutters, and sidewalks. The City standard for local streets is 60 feet (with 36 feet curb to curb pavement width and two lanes and on street parking on both sides). This standard has not been achieved for a number of local streets in the City and is not likely to be achieved considering the developed character of the City.

Private Streets

Private streets refer to those roadways which provide access to individual lots within a planned unit development, condominium project or residential tract. These streets are typically 60 feet

wide and provide one travel lane in each direction. Most of the private streets in the City are cul-de-sacs which have not been dedicated to the City and are maintained by developers or homeowner associations.

Table 3-1 summarizes the standards generally applicable to each roadway classification. Exhibit 3-1 illustrates Circulation Plan in the City of Lomita and Exhibit 3-2 illustrates the typical cross section for each roadway classification.

**Table 3-1
Roadway Classification Standards**

	Major Hwys	Secondary Hwys	Collector Roads	Local Streets
Travel Lanes	4 lanes	2-4 lanes	2 lanes	2 lanes
Parking Lanes	0-2 lanes	0-2 lanes	0-2 lanes	0-2 lanes
Volumes ADT	20,000-greater	10,000 or greater	Up to 10,000	2,000 or less
ROW width	100 ft.	80 ft.	60 ft.	40-50 ft.
Pavement Width	80-86 ft.	64 ft.	40 ft.	24-30 ft.

Notes: ADT refers to average daily traffic volumes.

Performance Standards

Evaluating the ability of the circulation system to serve existing and projected traffic demands requires the establishment of suitable "performance criteria". These performance criteria serves as a means by which traffic volumes are compared to circulation infrastructure (roadway segments and intersections) and the adequacy of that infrastructure to accommodate existing or projected traffic volumes. Performance criteria have a policy component, which establishes a desired level of service (LOS), and a technical component, which provides a more quantified measure.

LOS may be defined in a number of ways. A qualitative measure often used (and illustrated in Exhibit 33) defines LOS according to a sliding scale (A through F) where LOS "A" represents optimal traffic conditions and LOS "F" equates to significant congestion and is generally considered to represent an unacceptable condition.

A more quantitative measure used to define an intersection's level of service employs a ratio between an intersection's design capacity (as measured in traffic volumes) and the existing and/or projected traffic volumes. This method, referred to as the Intersection Capacity Utilization (ICU) is compared to LOS standards in Table 3-2.

**Table 3-2
Level of Service Definitions**

LOS	ICU Ratio	Definition
A	0.00 – 0.60	Free flow traffic conditions
B	0.61 – 0.70	Stable flow, some restrictions
C	0.71 – 0.80	Satisfactory operating speeds
D	0.81 – 0.90	Unstable conditions beginning
E	0.91 – 1.00	Significant delays
F	1.01 -	Severe congestion

Source: Blodgett/Baylosis Associate, 1997

The performance criteria used for evaluating volumes and capacities of the City street and highway system include both average daily traffic (ADT) volumes for individual roadway segments and peak hour intersection volume criteria (CL).

Average daily traffic (ADT) capacities represent the general level of daily traffic that each roadway type can carry and should be used as a general design guideline only. Level of service for intersections is more precisely determined by examining peak hour intersection volumes. Therefore, the Circulation Element uses peak hour volumes as a basis for determining appropriate capacity needs.

The City of Lomita has established level of service (LOS) "D" as a target level of service (LOS) standard and LOS "E" as a threshold standard. The City recognizes that not all intersections within the City can meet the target LOS "D". In these instances, the City Council must find that the improvements necessary to meet the target LOS "D" are not feasible because of one or more of the following reasons: 1. the cost of the necessary improvements exceeds available funding sources; 2. the design of the necessary improvements is not compatible with the surrounding land uses; or, 3. the design of the necessary improvements is contrary to other established City policies. For

Individual roadway segments, a level of service "C" standard is used to monitor capacity needs.

The functional designation of a roadway does not necessarily indicate the existing conditions (i.e., traffic volume, width and available right-of-way). Instead, it indicates the intended use and ultimate design of the roadway to accommodate the anticipated travel demand. In addition, the typical cross section of the roadway does not necessarily mean that the roadway should be redesigned or widened to meet its typical cross section. Rather, the typical cross section serves as a benchmark in planning future roadway improvements.

Regional Transportation Plans

The City of Lomita is a part of the Los Angeles County Congestion Management Plan (CMP) which is a state-mandated program with the passage of Assembly Bill 471.

The requirements of the CMP became effective with the voter approval of Proposition 111 in June, 1990. The CMP was created for the following purposes:

- To link land use, transportation and air quality decisions;
- To develop a partnership among transportation decision makers in devising appropriate transportation solutions that include all modes of travel; and
- To propose transportation projects which are eligible to compete for State gas tax funds.

Pacific Coast Highway and Western Avenue are both CMP-designated arterial roadways in Lomita. The Pacific Coast Highway/Western Avenue intersection is currently operating at LOSD, during both the morning (AM) and evening (PM) peak hour. Other intersections with Pacific Coast Highway are operating at LOS F during the AM and PM peak hours.

Implications of Future Development on the Circulation Plan

As discussed in the previous section, the desirable goal for every classified street is that it carry the designated volume of traffic at the desired level of service. The arterial roadways in the City's

circulation system are classified according to their facility-type designation and sized to provide sufficient capacity for projected volumes.

Based on future growth and development in the City, the future daily, two-way street and highway traffic volumes have been estimated to reflect new trips from future development. The traffic volumes reflected in Table 3-3 present the daily, two-way traffic volumes at year 2010 based on a cumulative growth of 0.77 percent per year or a 14-year growth of 11.34 percent.

**Table 3-3
Future Traffic Volumes from Major Roadways**

Roadway	Classification	ADT
Ebony Lane	Collector	3,340
Lomita Blvd	Major Highway	40,083
Eshelman Ave	Collector	6,124 – 6,903
Palos Verdes Dr N	Major Highway	25,608 – 36,742
Pennsylvania Ave	Collector Local	4,676 – 7,014
Walnut Ave	Collector	3,507 – 4,732
Western Ave	Major Highway	23,381 – 28,948
Crenshaw Ave	Major Highway	34,515 – 45,649
Pacific Coast Hwy	Major Highway	50,660 – 52,330

Roadway	Classification	ADT
Narbonne Ave	Secondary Highway	13,361 – 15,588

Source: Blodgett/Baylosis Associate, 1996

Circulation Programs

There are a number of key programs the City will continue to implement or undertake as part of the implementation of this General Plan. These existing and proposed programs are identified below.

Caltrans Coordination

The City will coordinate efforts with Caltrans to upgrade Pacific Coast Highway. The purpose of this undertaking is to ensure the City is fully appraised of roadway and facility improvement efforts in the early stages of planning and design.

The City will continue to work with Caltrans and the Metropolitan Transportation Authority (MTA), as appropriate and will request to be on all notification lists for future projects that may impact the City.

Capital Improvement Planning

The City's Capital Improvement Program (CIP) is a five-year plan which indicates the timing of major capital expenditures. Individual projects are reviewed and ranked on an annual basis and may include street scape upgrades, installation of traffic signals, slurry seal for streets, sidewalk repair, and sewer line upgrades. The City will continue to update, review, and implement its CIP to consider transportation related improvements.

Dial-A-Ride Review Program

This program involves a review of existing and future policies and procedures with regards to the operation of the City's Dial-a-Ride program. The purpose of this program is to devise and initiate an adequate and truly cost effective "Dial-A-Ride" program which will maximize the acquisition of public and government funds where applicable and available, while maintaining an optimum level of convenient and comfortable service for its users. The City Administrator will initiate review at the discretion of the City Council.

Environmental Review

The City shall continue to evaluate the environmental impacts of new development and provide mitigation measures prior to development approval, as required by the California Environmental Quality Act (CEQA). Environmental review shall be provided for major projects and those that will have a potential to adversely impact the environment. Among those issue which may be addressed in the environmental analysis includes traffic, parking, and circulation. In compliance with CEQA, the City shall also assign responsibilities for the verification of the implementation of mitigation measures. The City's environmental review procedures are in place.

Mitigation Fee Ordinance

The City will explore strategies to ensure the public does not bear an undue burden associated with new development. The City will determine a reasonable and fair method of assessing new development for the cost of providing any additional infrastructure required by the development. The first step of this program implementation calls for the preparation of a

mitigation fee strategy study to be initiated by the City Administrator.

Parking Ordinance Review

The City shall evaluate the existing parking standards provided in the City's Zoning Ordinance. The City Administrator will initiate the study of the City's parking standards. The City Council, following consideration of the study, will provide direction regarding how to proceed with the implementation of the study's recommendations.

Parkway Landscaping Program

The City shall implement a parkway landscaping and maintenance program. The program will be subject to annual review as part of the City budget and CIP review.

Public Transit Review Program

The City will evaluate the need to modify routes, schedules, and fares of local transit service to achieve circulation goals and policies (e.g., coordinate the local transit system with the regional transit system). The City will work with the MTA and transit service agencies in adjacent

communities to identify the most beneficial route and stops in the City. A City staff person will be assigned as liaison between the City and transit providers. The City will provide development plans for those projects which may affect public transit services to service providers for review.

Signalization

The City will strive to provide optimum signalization on major thoroughfares to maximize circulation efficiency, such as participation in a regional signalization program. City staff will outline both the need and strategy for improved signalization. Coordination with Caltrans and MTA in this regard will be undertaken. City staff will present their findings to the City Council for direction.

Transit Centers

The Land Use Plan calls for the development of a pedestrian-friendly downtown and business district. Transit centers consisting of bus turnouts and loading areas, weatherproof shelters, information center, emergency phones, and in some areas, park and ride facilities will be

expanded as part of this future development. The lead City Agency to study the feasibility of developing "transit centers" will be designated by the City Administrator.

Traffic and Circulation Studies

The City Traffic Commission will evaluate the feasibility of altering the circulation and traffic patterns for a number of roadways in the City. One task will include an assessment of Narbonne Avenue to examine the feasibility of converting that portion of the roadway in the vicinity of the "downtown to a two-lane roadway. This would enable on-street angled parking to be provided immediately in front of businesses. It would also result in a reduction in travel speeds through the area which would make the area more pedestrian friendly. A second study will be undertaken to evaluate the feasibility of re-opening a number of local streets that were previously closed-off. These studies will involve the requisite review by the traffic commission and public testimony to determine whether these approaches are acceptable to the community at large.

Background for Planning

This section of the Circulation Element serves as the technical appendix to the Element indicating existing conditions relative to traffic and circulation in the City. According to State guidelines (State of California Government Code Section 65302(b)), General Plan Circulation Elements shall identify "the general location and extent of existing and proposed major thoroughfares, transportation routes, terminals and other public utilities and facilities, all correlated with the Land Use Element of the Plan."

This section describes the existing roadway network in the City, existing circulation conditions, and alternative means of transportation, as well as identify any circulation issues that need to be considered in planning improvements to the circulation system to accommodate planned growth in the City.

Existing Roadway Network

There are approximately 55 miles of roadways in the City. The street system is defined by major north-south streets such as Crenshaw Boulevard,

Narbonne Avenue, Eshelman Avenue and Western Avenue and east-west streets including Pacific Coast Highway, Lomita Boulevard and Palos Verdes Drive North. Other local residential streets generally form an uneven grid at varying intervals reflecting earlier subdivision patterns. Streets within the southernmost portion of the City are more curvilinear and follow the local topography.

Freeway access to the City is provided by Pacific Coast Highway (SR-1), which runs in an east-west direction through the southerly portion of the City. Pacific Coast Highway connects to the Harbor Freeway (SR-1 10) approximately 3.5 miles to the east. Crenshaw Boulevard and Western Avenue are major arterial roadways which form the western and eastern borders of the City of Lomita. These two roadways provide connections to the San Diego Freeway (1-405) approximately 8.0 miles to the north.

The primary circulation system in the City of Lomita consists of local surface streets and arterial roadways. These streets serve two distinct and equally important functions: access to adjacent

properties, and movement of persons and goods into and through the City, respectively. The design and operation of each street or arterial roadway depend upon the importance placed on each of these functions. For example, the arterial roadways are designed to carry large volumes of vehicles into and through the City. Because of their function, arterial roadways have more lanes, higher speed limits and fewer driveways. In contrast, residential streets have fewer lanes, lower speed limits, and more driveways to provide access to individual properties

The major roadways which serve as the framework for the City's circulation system are discussed below:

Pacific Coast Highway, State Route 1, is a major east-west highway through the City. In Lomita, Pacific Coast Highway has two travel lanes in each direction and traffic signals at its intersections with Western Avenue, Eshelman Avenue, Narbonne Avenue, Walnut Avenue, Oak Street, Cypress Avenue, Pennsylvania Avenue and Crenshaw Boulevard.

Lomita Boulevard is oriented in a northwest to southeast direction through the City and has two travel lanes in each direction, a painted median and left turn pockets and signals at major intersections (Narbonne Avenue, Pennsylvania Avenue, Eshelman Avenue, Walnut Avenue, Crenshaw Boulevard, and Western Avenue).

Narbonne Avenue is a major north-south arterial highway and is the City's oldest roadway corridor. Narbonne Avenue has two travel lanes in each direction, with traffic signals with Lomita Boulevard, 250th Street, 255th Street, and Pacific Coast Highway. The roadway connects to Palos Verdes Drive East on the south and to Arlington Avenue on the north.

Crenshaw Boulevard defines the City's western boundary and has three travel lanes in each direction, a center median lane and exclusive left turn lanes at major intersections. This regional arterial roadway extends from Rancho Palos Verdes on the south, all the way to downtown Los Angeles on the north.

Western Avenue is another regional arterial roadway which runs in a north-south direction, just east of the City of Lomita. A short segment of this major roadway is located within Lomita, south of Pacific Coast Highway and north of Peninsula Verde Drive. Western Avenue has two lanes in each direction with a raised center median.

Other main north-south streets in the City include Pennsylvania Avenue, Eshelman Avenue, and Oak Avenue. East-west streets in the City include the number streets from 239th Street on the north edge of the City to 264th Street at the southern section of Lomita.

The rights-of-way, number of lanes, and existing average daily traffic on primary roadways in the City are provided in Table 3-4. As shown, Pacific Coast Highway handles as much as 47,000 vehicles per day, with a peak of 48,500 vehicles. Lomita Boulevard carries 36,000 vehicles per day and Western Avenue carries as much as 26,000 vehicles per day.

**Table 3-4
Existing Traffic Volumes**

Roadway	ROW	Lanes	ADT ¹
Ebony Lane	56'	1@way	3,000
Lomita Blvd	60 - 84'	2-3@way	36,000
Eshelman Ave	60'	1@way	5,500 - 6,200
Narbonne Ave	60'	2@way	12,000 - 14,000
Palos Verdes Dr N	84 - 110'	3@way	23,000 - 33,000
Pennsylvania Ave	36'	1@way	4,200 - 6,300
Walnut Ave	30 - 56'	1-2@way	3,150 - 4,250
Western Ave	80'	2@way	2,1000 - 2,6000
Crenshaw Ave	84'	3@way	31,000 - 41,000
Pacific Coast Hwy	74'	2-3@way	45,500 - 47,000 ²

¹ ADT - Average Daily Traffic Volumes

² Caltrans 1995 Freeway Volumes

Source: City of Lomita, 1996; City of Torrance, 1996

Intersection Analysis

Currently, the intersections of major and secondary highways in Lomita are signalized and all other intersections are unsignalized (two-way or four-way stop sign controlled). As traffic

volumes increase, there may be a need to install more traffic signals in the City or implement other roadway improvements. The function of a traffic signal at the intersection of two streets is to assign right-of-way to the traffic on each of the intersecting streets. The capacity of each street is reduced at a signal because traffic on one street is delayed while traffic on the intersecting street is allowed to flow. Therefore, signalized intersections are generally the most critical element affecting a roadway system's capacity.

One of the most important types of data needed to conduct intersection analysis is peak period (i.e., 7:00 to 9:00 a.m. and 4:00 to 6:00 p.m.) traffic volume counts. Operating conditions at major intersections were analyzed for the morning (AM) and evening (PM) peak hours using the Intersection Capacity Utilization (ICU) methodology. Based upon the 1996 traffic counts, each study intersection was analyzed for AM and PM peak hour volume/ capacity ratios (V/C) and levels of service (LOS).

The Los Angeles County Congestion Management Plan (CMP) has LOS E as the standard LOS for designated CMP roadways in Los Angeles County. According to the CMP, a significant traffic impact is one which increases traffic demand on a CMP facility by 2 percent or results in a decline in the volume-to-capacity ratio of 0.02 or greater, which results in a Level of Service F.

Table 3-5 illustrates the existing levels of service at major intersections in the City. During the AM peak hour, all signalized intersections are operating at Level of Service E or better. During the PM peak hour, several intersections along Lomita Boulevard and Pacific Coast Highway are operating at a level of service F. Pacific Coast Highway generally runs parallel the 1-405 Freeway and carries large volumes of traffic. Also, Lomita Boulevard seems to be serving as an alternate route to Pacific Coast Highway and the 1-405 Freeway, the heavy eastbound through and left turns from Lomita Boulevard are contributing to the level of service F at intersections along this route.

**Table 3-5
Intersection Levels of Service**

Intersection	AM ICU/LOS	PM ICU/LOS
Pacific Coast Highway/Western		0.909/E
Pacific Coast Highway/Narbonne		1.216/F
Pacific Coast Highway/Crenshaw		1.028/F
Lomita/Western	-	0.838/D
Lomita/Walnut	0.854/D	0.751/C
Lomita/Eshelman	0.762/C	0.748/C
Lomita/Narbonne	0.671/B	1.01/F
Lomita/Pennsylvania	0.866/D	0.98/E
Lomita/Crenshaw	0.9337/E	1.141/F

Source: City of Lomita, 1996; City of Torrance, 1996

Unsignalized intersections are different from signalized intersections due to different operating characteristics. At signalized locations, all approaches to the intersection are subject to delay by a red signal indication. At a majority of unsignalized locations, however, only the minor street traffic and left-turning traffic from the major

street are subject to delay. The major street through movement is never forced to stop to accommodate other traffic (unless there is a four-way stop). At unsignalized intersections, the level of service is therefore defined for the minor street traffic movements and the major street left turns only. Major street through traffic is not constrained and measurement of level of service is not possible, except for intersections with a four-way stop.

The vehicles on the side street and turning left from the major street at such an intersection must wait for gaps in through-traffic before proceeding through the intersection. The critical gap (length of time) that is acceptable to that traffic is a function of the number of through lanes on the major street and the prevailing speed of through traffic on the major street. Certain other physical characteristics of the intersections, such as lane-curb radii or the presence of acceleration lanes, can reduce the critical gap necessary to perform certain maneuvers. The unsignalized street intersections in Lomita are generally operating at acceptable levels of service since the minor streets are

primarily residential local streets which do not carry large volumes of traffic.

Congestion Management Plan Program

Approval of Proposition 111 in 1990 provided a nine-cent increase in the state gas tax over a five year period, which would be used by local governments for roadway improvements, transit services and other programs designed to reduce regional traffic congestion. The proposition also led to the enactment of Section 65089 of the California Government Code, which requires that regional congestion issues be addressed by transportation, land use and air quality decisions. The Los Angeles County Congestion Management Program (CMP) was developed to meet the requirements of this mandate. The CMP has been developed primarily to make individual cities responsible for the congestion and air quality problems that would accompany new development within each jurisdiction.

The Los Angeles County CMP program includes a designation of a CMP highway network and level of service standards for designated roadways-, a

capital improvement plan and deficiency plan to mitigate congestion within the network; adoption of transportation demand management measures by individual cities: highway and transit monitoring; requirements for traffic and transit analysis for new developments and a region-wide credit/debit system which measures transportation improvements (credits for improving the regional system) with new development projects (debits for adding new trips to the CMP highway system) for each city.

Pacific Coast Highway and Western Avenue are both CMP-designated arterial roadways in Lomita. The Pacific Coast Highway/Western Avenue intersection is currently operating at LOS D, during both the AM and PM peak hour. Other intersections with Pacific Coast Highway are operating at LOS F during the AM and PM peak hours.

The credit/debit system is designed to encourage cities to provide a balance between new construction (debits) and roadway projects (credits), so that each City is essentially mitigating the traffic impacts associated with development

within its boundaries. In 1996, the City of Lomita has a balance of 5,726 credits which may be used to offset debits for future new construction. This means that for Lomita to not lose its share of gas taxes, the City may approve new construction as long as the City or the developer provides the necessary improvements to mitigate the project's traffic impacts, or as long as the City's CMP credit balance does not become negative within the planning year.

Alternative Forms of Transportation

Public Transit Services

The Los Angeles County Metropolitan Transportation Authority (MTA) operates MTA buses through the City of Lomita. These include Bus Route 448 which goes through Pacific Coast Highway from downtown Los Angeles to Rancho Palos Verdes and Bus Route 205 which runs along Western Avenue and Pacific Coast Highway and Bus Route 232 along Pacific Coast Highway. In addition, the Torrance Transit Route 9 runs through Lomita Boulevard and Torrance Transit Route 5 runs through Narbonne Avenue and

Crenshaw Boulevard. Other bus transits running through and near the City of Lomita include the Municipal Area Express and the Gardena Municipal Buses. Exhibit 3-4 shows these routes.

The Metrorail Blue Line runs from Long Beach to downtown Los Angeles and the nearest station is located approximately 14.5 miles east on Pacific Coast Highway in the City of Long Beach.

Truck Routes

Designated truck routes are roadways which allow vehicles weighing more than 2,000 pounds. These roadways are designed and built to withstand the heavier traffic associated with trucks and larger vehicles. The City of Lomita has designated major roadways in the City as truck routes, with truck traffic prohibited on all other streets to prevent roadway deterioration and traffic safety hazards associated with larger vehicles on narrow streets. Exhibit 3-5 shows truck routes in the City.

Bicycle Routes and Scenic Highways

Individual cities in the region have designated bicycle routes in the County to create an integrated biking/hiking/walking system for cyclists and hikers. A bike trail within the Palos Verdes Peninsula runs along Palos Verdes Drive North from Palos Verdes Boulevard to Anaheim Street. In City of Lomita, only the segment of Palos Verdes Drive North within the City is designated as a bike trail. The bike route on Pacific Coast Highway and the bike lane on Lomita Boulevard end just west of the Lomita city limits.

The State of California or the County of Los Angeles has not designated any roadway in the City of Lomita as a scenic highway. The County's scenic highways within the Palos Verdes Peninsula connect to roadways in Lomita. In an effort by the City to protect the views and gateways to these adjacent scenic highways, Lomita has adopted design standards for development along Narbonne Avenue and Palos Verdes Drive North. The Resource Management Element Background Report discusses this issue in greater detail.

Airports, Ports, Railways

There are no airport, port or railway facilities in the City of Lomita, but the Torrance Airport is located immediately west of the City limits. The Torrance Airport is a general aviation airport (small, private aircraft and helicopters) owned and operated by the City of Torrance. The airport handles as many as 187,000 flight operations per year. The nearest commercial airports are the Long Beach Airport and the Los Angeles International Airport (LAX). The Long Beach Airport is located approximately 16 miles east of Lomita and handles commercial aircraft (SunJet and America West), helicopters and private planes. Approximately 490,000 flight operations occur at the Long Beach Airport per year. The Los Angeles International Airport or LAX is located 18 miles northwest of the City in West L.A. and handles international air traffic, as well as local commercial flights from a wide variety of airline companies.

There are no nearby rail lines in Lomita. The Port of Los Angeles and the Port of Long Beach are located nine to twelve miles southeast of Lomita,

respectively. These ports handle international freight cargo ships, cruise ships and sport sailing.

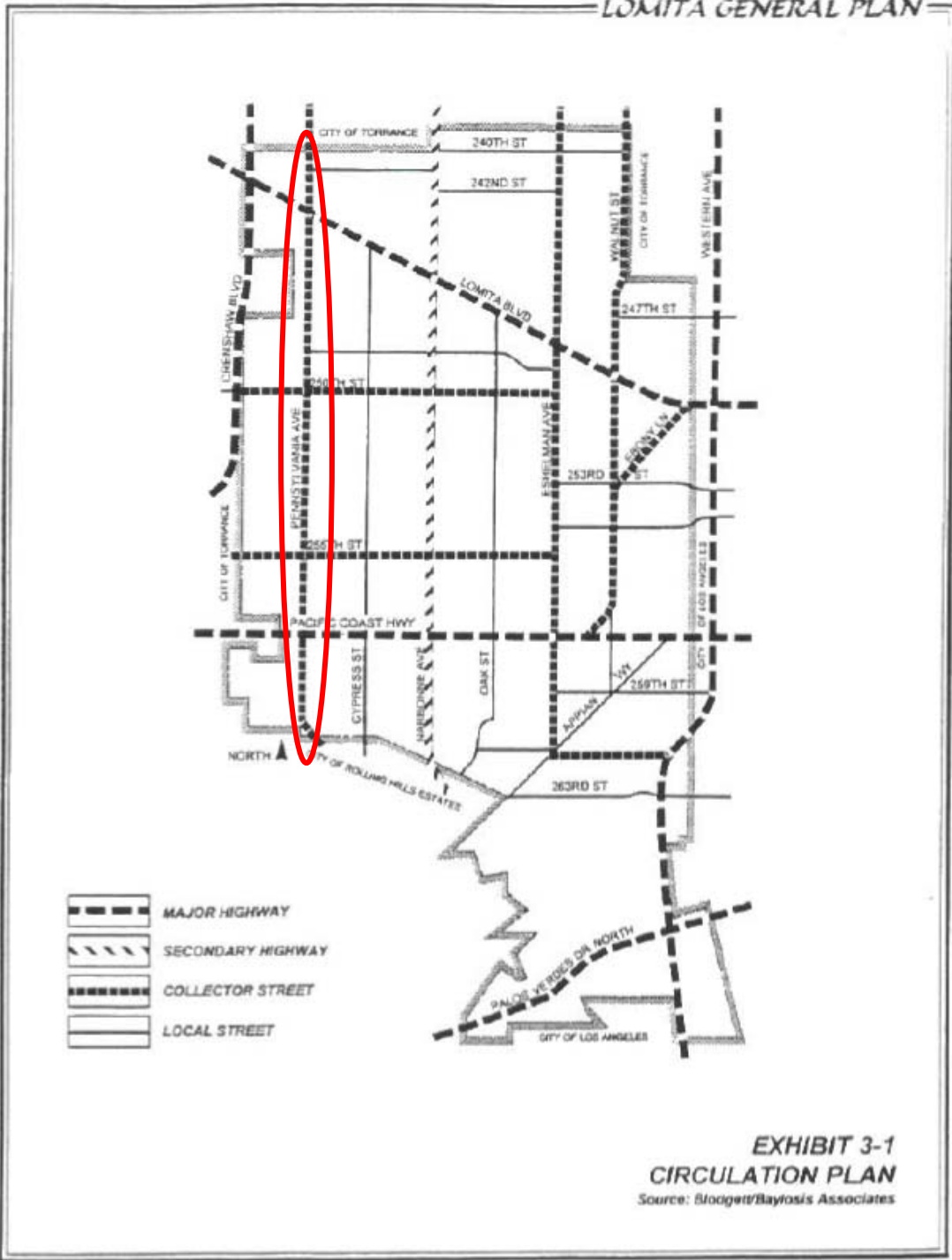


EXHIBIT 3-1
CIRCULATION PLAN
Source: Blodgett/Bayosis Associates

Change Pennsylvania Avenue from "Collector Street" to "Local Street" throughout Lomita.



**EKW 'QH'NQO KVC'
RNCPPKI 'EQO O KUKQP 'TGRQTV''**

VQ< Rrcppkpi 'Eqo o kukqp'' Lxpg'36.'4243''

HT'QO < I tgi 'Mcr qxlej .'Eqo o wpkv'(' 'Geppqo ke'F gxrnr o gpv'F ktgevqt''

UWDLGEV< Eqpf kkpnci'Wug'Rgto k/P q0539''
46836'P ctdqppg'Cxgpwg'kp'vj g'F/E'F qy pvqy p'Eqo o gtekn'\ qpg''

CRRNIECPVU'TGS WGU''

C'tgs wguv'ht'c'eqpf kkpnci'wug'r gto k'v'cmqy 'cp'gzkukpi '4.922'us wctg/hqv't guv'wcpv'leq'hhgg''
uj qr 'dwukpguu'hecvgf 'cv'46836'P ctdqppg'Cxgpwg'v'ugm'dggt'cpf 'y kpg'ht'eqpuwo r vkqp'qp'vj g''
r tgo kugu'0Vj g'r tqr qugf 'cr r nccv'kp'y cu'krgf 'd{' 'Ej tkukpg'Dgto wf gl 'qh'Eqttkf qt 'Hny 'Eq'hhgg''
Uj qr .'46836'P ctdqppg'Cxgpwg.'EC'; 3929''Cr r nccpw'qp'O ctej '3: .'4243'cpf 'f ggo gf 'eqo r rgy''
d{' 'Ekv' 'u'ch'qp'O c{' '39.'42430''''

UVCHTGEQO O GPF CVKQP ''

U'ch'ht'geqo o gpf u'vj cv'vj g'Rrcppkpi 'Eqo o kukqp'cf qr v'c't guq'nw'kqp'cr r tqx'kpi 'Eqpf kkpnci'Wug''
Rgto k/P q0539.'u'w'ld'gev'v'vj g'eqpf kkp'qu'q'h'cr r tqx'cn'leq'p'v'k'p'gf 'kp'vj g'f' t'ch'v't guq'nw'kqp'cpf 'v''
eq'p'ht'o 'vj g'ecv'gi qt'lecn'lg'zo r vkqp'v'vj g'tgs wkt go gpw'q'h'vj g'E'cn'k'ht'p'k'G'p'x'k'q'p'o gpv'S w'cn'v' 'Cev''
'*EGS C+0''''

UKG'CP F 'RTQLGEV'F GUET'RVKQP ''

U'kg'<Vj g't'gr'v'k'gn' 'h'rc'v'u'w'ld'gev'v'ukg'ku'hecvgf 'kp'vj g'E'kv' 'a'F qy pvqy p'0'K'ku'cr r tqz'ko cv'gn' '203''
cet'gu'kp'uk' g'cpf 'ku'hecvgf 'cm'pi 'P ctdqppg'Cxgpwg.'I'w'v'u'q'w'j 'q'h'N'q'o kc'D'q'w'g'x'ctf'0'Vj g'tg'ku'cp''
gz'kukpi 'uk'pi ng/u'qt {' 'd'w'k'f'k'pi 'y k'j 'c'4.922'us wctg/hqv'v'g'p'cp'v'ur ceg'q'w'k'w'g'f 'y k'j 'c'eqo o gtekn''
n'kej gp'0Vj g'gz'kukpi 'v'g'p'cp'v.'E'q't't'k'f'q't 'H'ny 'E'q'h'g'g'Uj qr .j' cu'd'gg'p'ug't'x'k'pi 'eq'h'g'g'cpf 'h'q'f'v'vj g''
eqo o w'pkv' 'uk'peg'423; 0'R'g'f'g'ut'k'cp'ce'egu'v'q'vj g'v'g'p'cp'v'ur ceg'ku'r tqx'k'f'gf 'q'h'q'h'P ctdqppg''
C'x'g'p'w'g.'y j'k'g'c'w'v'hc'eg'r'c't'n'k'pi 'h'v'cv'vj g't'g'ct'q'h'vj g'r tqr g'tv' 'ec'p'd'g'ce'egu'g'f 'd{' 'c'f' t'k'g'y c{' 'I'w'v''
u'q'w'j 'q'h'vj g'v'g'p'cp'v'ur ceg'0''

R't'q'l'g'ev'<Vj g'Cr r n'cc'p'v.'k'p'v'g'p'f' u'v'q'cf'f 'd'g'g't'cpf 'y k'p'g'uc'rg'u'v'q'vj g'o gpw'ht'q'p'uk'g'eq'pu'wo r vkqp'0''
Vj g'gz'kukpi 't'g'u'c'w't'c'p'v'leq'hhgg'uj qr 'w'ug'ku'r'g'to k'w'g'f 'd{' 't'k'j'v'k'p'vj g'F/E' 'l' q'p'g'0J' qy g'x'g't.'c''
eq'p'f'k'k'p'nc'i'w'ug'r'g'to k'ku't'g's'w'k't'g'f 'v'q'ug't'x'g'd'g'g't'cpf 'y k'p'g'c'v'vj g't'g'u'c'w't'c'p'v'0'Vj g'F'g'r'c't'w'o gpv'q'h''
C're'q'j'q'ile'D'g'x'g't'c'i'g'E'q'p't'q'ri'enc'u'k'k'g'u'v'j g'q'p'cpf 'q'h'vj g'r' tgo kugu'uc'rg'q'h'd'g'g't'cpf 'y k'p'g'cu'c''
V'r g'63'he'g'p'ug'0''

G'p'x'k'q'p'o g'p'v'cn'F'g'v'to k'p'cv'k'p''

Vj g'r' tqr qugf 'r' t'q'l'g'ev'ku'ecv'gi qt'lecn' 'gz'go r v'r w'v'w'cp'v'v'q'U'g'ev'k'p'37523''*Gz'kukpi 'H'ce'k'k'k'g'u'+q'h''
vj g'EGS C'i' w'k'g'r'k'p'g'u'0'Vj ku'ecv'gi qt {' 'q'h'gz'go r vkqp'eq'p'uku'v'q'h'vj g'qr g't'c'v'k'p.'r'g'to k'k'p'i .''
h'eg'p'uk'pi .''qt'o k'p'q't'c'n'g't'c'v'k'p'q'h'gz'kukpi 'r'w'd'ri'e'q't'r' t'k'c'v'g'w'v'w'w'g'h'ce'k'k'k'g'u.'k'p'x'q'x'k'p'i 'p'g'i' r'k'i' k'd'rg''
qt'p'q'g'z'r'c'p'uk'p'q'h'w'ug'd'g'f'q'p'f'v'j'cv'gz'kukpi 'cv'vj g'v'ko g'q'h'vj g'h'g'f'ci'g'p'e' 'a'f'g'v'to k'p'cv'k'p'vj'cv'k''

o c { 'dg'hqwpf 'v' 'dg'gzgo r v'htqo 'vj g'tgs wkt go gpw'qh'EGS C0Vj g'r tqr qugf 'eqpf kqpcn'wug'
 r gto k'ku'htq' 'dggt' 'cpf 'y kpg'ucrgu' *V { r g'63+'cv'c'Dqpc'Hkf g'Gcvkpi 'Rrcg0Vj gtg'ku'pq'pgy 'us wctg'
 hqvcu g'r tqr qugf 'y kj 'vj ku'r tqlgev0Vj gtghqtg.'uchh'j cu'f gvgto kpgf 'vj cv'vj gtg'ku'pq'uwducpvkn'
 gxkf gpeg'vj cv'vj g'r tqlgev0 c { 'j cxg'c'uki pkhkecpv'ghge'v'qp'vj g'gp'xktqpo gpv0'

I gpgtcn'Rrcp\ qpkpi "

Vj g'i gpgtcn'r rcp'f guki pcvkqp'htq'vj g'uwdlgev'r tqr gtv' 'ku'O kzgf 'Wug0Vj ku'r'cpf 'wug'f guki pcvkqp'
 cr r rkgu'v' 'y g'eqo o gtekn'eqttkf qt'iqecv'f'cmppi 'P ctdqppg'Cxgpwg.'Iwuv'uqwj 'qh'Nqo kc"
 Dqwgxctf 0K'ku'kpgv'gf 'v' r tqxkf g'htq'c' t'cpi g'qht'gvckn 't'gucwcpv.'cpf 'r gtuqpcn'ugtxleg'wugu'qp"
 yj g'i tqwpf 'hmq' 'y kj 'cf f kqpcn'j qwukpi 'qr r qtwpkkgu'r tqxkf gf 'cdqxg'vj g'i tqwpf 'hmq'0Vj g'
 r tqlgev'kpen'f gu'cf f kpi 'dggt' 'cpf 'y kpg'ucrgu'v'cp'gzkukpi 't'gucwcpv'wug' 'cpf 'ku'vj gtghqtg'
 eqpukv'p'v' y kj 'vj g'I gpgtcn'Rrcp0Uko kctn'f . 'y g'r tqlgev'ku'eqpukv'p'v' y kj 'vj g'wpf gtn' kpi "
 Fqy p'qy p'Eqo o gtekn' *F/E+] qpkpi 'f kwtlev.'cu'vj g'gzkukpi 't'gucwcpv'wug'ku'iqecv'f'qp'vj g'
 i tqwpf 'hmq' . 'y j lej 'r tqxkf gu'htq'cp'cev'xg'uv'gtgh'qp'v'v'g'p'eqwtci g'r gf gwt'kcp'cev'xk'v' 'kp'vj g'j gctv'
 qh'vj g'Ek'v' cu'f qy p'qy p0'

Cf lcegpv\ qpkpi 'cpf 'Ncpf 'Wugu'

Fkt gev'kqp "	\ qpg'c'pf 'Ncpf 'Wug'
Pqt'vj "	F/E *F qy p'qy p'Eqo o gtekn'\ qpg Ncpf 'wug<T gvckn'Rgtuqpcn'k0 r tqxgo gpv'Ugtxleg
Uqwj "	F/E *F qy p'qy p'Eqo o gtekn'\ qpg Ncpf 'wug<T gvckn
Y guv'	T/3 *Eqo o gtekn'I gpgtcn'\ qpg Ncpf 'wug<Uej qqn
Gcu'	F/E *F qy p'qy p'Eqo o gtekn'\ qpg Ncpf 'wug<QHkleg

CPCNI UKU'

W'qp'tgxkgy 'qh'c'eqpf kqpcn'wug'r gto k.'vj g'Rrcppkpi 'Eqo o kukap'o wuv'hkpf 'vj cv'vj g'wug'ku'
 cmqy gf 'kp'vj g'j qpkpi 'f kwtlev.'ku'eqpukv'p'v' y kj 'vj g'I gpgtcn'Rrcp.'cpf 'ku'qr gtcv'f'v' 'dg'
 eqo r cv'kdr'g' y kj 'vj g'uwttqwpf kpi 'eqo o w'k'v' *Uge'v'kqp'33/3020; +0C't'gucwcpv'ku'c'r gto kukdr'g'
 wug'kp'vj g'F/E *F qy p'qy p'Eqo o gtekn'+] qpkpi 'f kwtlev'0T'gucwcpv'v' y kj 'c'f'gukt'g'v'ugtxg'
 creqj qrl'ed'gxgtci gu'o wuv'qdv'k'c'Eqpf kqpcn'Wug'Rgt o k'v'q'f'q'uq0'

Qxgtem't'gucwcpv'cpf 'eqh'gg'uj qr u'ctg'g'zr gev'f'wugu'kp'vj g'f'qy p'qy p'ctgc0Vj g'uwdlgev'
 mqecv'k'p'j cu'qr gtcv'f'cu'c't'gucwcpv'eqh'gg'uj qr 'ukpeg'423; 'y kj 'pq'tgr qt'v'f'k'pek'gpw'qh'
 eqpegtp'v'uchh'qt'v' 'y g'Nqu'Cpi grgu'Eqwv'f'Uj g'tkhu'F gr ctvo gpv0Ewt'gpv'dwukp'gu'j qwtu'ctg'
 O qpf c { 'y tqw'j 'Hkf c { 'htqo '9-52'c'00 0'v'4-52'r'00 0'Ucwt'f c { u'htqo ': <22'c'00 0'v'4-22'r'00 0'cpf'
 en'qugf 'qp'Uwpf c { u0Vj g'dwukp'gu'ecv'gtu'v'g'ctn'f 'o qtpkpi 'en'k'p'v'g'p'cpf 'f'qgu'p'q'v'tgo k'p'qr gp'rcv'g'
 k'p'v'vj g'p'ki j v0Hqt'vj gug't'gcu'p'u.'vj g'gzkukpi 't'gucwcpv'wug'tgo k'p'u'eqpukv'p'v' y kj 'vj g'i gpgtcn'
 r rcp.'] qpkpi 'f kwtlev.'cpf 'f'qgu'p'q'v'et'gcv'g'cp'cf'xgtug'ko r cev'qp'r wdr'ke'uch'v'f'0'

K'p'cf f kq'p'v' 'y g'v' r k'ecn'hkpf kpi u'q'w'k'p'gf 'kp'Uge'v'kqp'33/3020; . 'creqj qn't'g'v'f'wug'r gto ku'ctg'
 cnu'q'uwdlgev'v'Uge'v'kqp'33/3078025 *E+q'v'vj g'Nqo kc'O w'pek'cn'E'q'f'g.'y j lej 't'gs wkt gu'cp { "
 dwukp'gu'u'gm'kpi 'creqj qrl'ed'gxgtci gu'v'q'dg'cv'rg'cu'v'522'ggv'htqo 'r tq'v'ge'v'f'wugu'uw'ej 'cu'uej q'qnu.'
 r ctmu.'gve0K'vj ku'ecug.'Nqo kc'G'rgo gpv'ct { 'Uej q'q'ku'iqecv'f'rgu'v'vj cp'522'ggv'v'q'vj g'y guv.'cet'quu'
 P ctdqppg'Cxgpwg0Uge'v'kqp'33/3/78025 *F+q'v'vj g'Nqo kc'O w'pek'cn'E'q'f'g'ucv'gu'v'vj cv'vj g'"

Rrcppkpi "Eqo o kukqp<Lwpq"36."4243"
Eqpf kkpnciWug'Rgt o k'Pq0539"
Rci g'5'q'15"

Rrcppkpi "Eqo o kukqp"o c{ "o qf kh{ 'y g'f kucpeg'tgs wktgo gpv'y j gp'i tcpkpi "c"eqpf kkpnci'wug"
r gto k'kh'y gtg'y km'dg'pq'cf xgtug'ko r cev'vq'r wdne'uchg{ "cpf 'y g'dwukp'guu'tgr tgu'gpw'eqo o gtekn'
xkcrk{ 'hqt'y' g'ctgc0"

C'r ctv'qh'Nqo kc'w'wpls wg'ej ctcevt'eqo gu'htqo 'y g'f kxgtuk{ "qh'tgucw'cpw'0Eqttkf qt "Hqy 'ku'c"
eqhgg'uj qr ltgucw'cpv'y cvj cu'dgeqo g'c"uqekni' cvj gtpi "ur ceg'y j gtg'r gqr rg'ecp'eqppgev'lp'y' g"
gctn{ "o qtpkpi "vq'chgt'pqqp" j wtu'0K'pqv'qpn{ "ugt'xgu'hqf "cpf "d'xgtci gu'dw'q'htgu'ku'ur ceg'hqt "
r gqr rg'vq'y qtm'uwf { . "qt'uko r n{ "eqppgev'y kj "qy gt'ek'k' g'pu'0Vj g'qr v'kp'vq'eqpuwo g'dgg't'cpf "
y kpg'gpj cpegu'y g'f k'kpi "g'zr gtlgpeg'cpf "f qgu'pqv'o cvgtkcm{ 'ej cpi g'y g'dwukp'guu'gh'gev'qp'y' g"
pgk j dqtj qf 0Vj g'Ek{ "Eqf g'Gphqtego gpv'F k'kukqp'f qgu'pqv'j cxg'cp{ "eqo r r'ckpw'qp'h'kg'hqt'y' g"
uwdlgev'ukg'0Vj g'qr g'v'kpnci'ucpf ctf u'eqp'v'k'p'gf "cu'eqpf k'k'apu'qh'cr r tqxci'j gtgk'p'y km'gpw'g'y' g"
wug'f qgu'pqv'eqpu'kw'g'c'p'w'kucpeg'qt'p'gi cv'k'gn{ "ch'gev'y g'i gp'gtcni' wdne'0"

Uchh'j cu'tgxkgy gf "y g'r tqlgev'lp"cee'qtf cpeg'y kj "Ugev'k'p"33/3020; "Eqpf kkpnci'Wug'Rgt o k'p"
cpf "Ct'v'k'g'78"U'crg'qh'C'raej q'rl' D'xgtci gu'q'h'y' g'Nqo kc'O w'p'k'c'ri'Eqf g'cpf "cf x'k'gu'y' cv'y' g"
r tqlgev'ku'eqpu'k'gpv'y kj "y g'tgs wktgf "h'p'f'k'pi u'cu'f g'v'k'k'gf "lp'y' g'f t'ch'v't'gu'q'nw'k'p'"C'w'cej o gpv'3+0"

EQO O KUKQP 'CEV'KQP 'TGS WGU'VGF "

Uchh'tgeqo o gp'f'v'y' g'Rrcppkpi "Eqo o kukqp"cf qr v'y' g'cw'cej gf "f t'ch'v't'gu'q'nw'k'p'"C'w'cej o gpv'3+ "
vq'cr r tqxg'y' g'Eqpf kkpnci'Wug'Rgt o k'cpf "cm'y' "cp'gz'k'k'pi "4.922"us wctg/hq'v't'gucw'cp'v'le'ch' "
wug'vq'ugm'dgg't'cpf 'y' kpg'hqt'eqpuwo r v'kp'qp'y' g'r tgo k'gu. "uwdlgev'vq'y' g'eqpf k'k'apu'qh'cr r tqxci'
r tqxkf gf "y' gtgk'p'0"

RWDNE 'P QV'KEG "

P q'v'k'egu'qh'y' ku'j gctkpi "y gtg'o c'k'gf "vq'r tqr gtv{ "qy pgtu'y' kj k'p'522'h'ggv'qh'y' g'uwdlgev'r tqr gtv{ "
cpf "r qu'gf "qp'y' g'Nqo kc'Ek{ "y gd'r ci g'cpf "cv'Nqo kc'Ek{ "J cm'cpf "Nqo kc'Rctn'0"

Tgeqo o gp'f'gf "d{ <"



aaaaaaaaaaaaaaaaaaaaaaaa " "

I tgi "Mcr qxlej "

Eqo o w'p'k'v{ "("G'eq'p'qo k'e'F g'x'g'nr o gpv'F k't'ge'vt"

CVVCEJ O GPVUK'

- 30F tch'v't'gu'q'nw'k'p
- 40\ q'p'k'pi "O cr
- 50I gp'gtcni'Rrcp'O cr
- 60Cgtk'ni'Rj q'v'i tcr j
- 70P q'v'k'g'qh'Gz go r v'kp
- 80Ukg'cpf "H'q'qt'Rrcpu

FTCHV"
NQO KVC "RNCPP RPI "EQO O KUKQP "
TGUQNWIKQP "P Q0" %000%
EQPF KIKQP CN"WUG"RGTO K"CRRNECVIKQP "P Q0539"
EQTTF QT"HNQY "6"DGGT"CPF "Y R G"QP /UCNG"
46836"P CTDQP P G"CXGP WG"
CRP "9598/239/246"

C"TGUNWIKQP "QH"VJ G"RNCPP RPI "EQO O KUKQP "QH"VJ G"EKV["QH"NQO KVC "
CRRTOXKPI " EQPF KIKQP CN" WUG" RGTO K" P Q0' 536" VQ" CNNQY " C"
TGUVCWTCPVIEQHGG'UJ QR'NQE CVGF 'CV'46836'P CTDQP P G'CXGP WG'VQ'UGNN"
DGGT"CPF "Y R G"HT"EQP UWO RVKQP "QP "VJ G"RTGO KUGU"R "VJ G'F QY P VQY P "
EQO O GTEKN" \ QP GO' HNGF " D[" EJ T KUV R G" DGTO WF G. " 46836" P CTDQP P G "
CXGP WG. 'NQO KVC. 'EC"; 29390""

Ugevkqp'30Tgkcnf'

C0 Qp'Lwpg'36.'4243.'vj g'Nqo kc'Rrcppkpi 'Eqo o kukqp'j grf 'c'r wdrk'j gctkpi 'qp'Eqpf kikapcn'Wug
Rgto k/P q0539.'hngf 'O ctej '3: .'4243'd{ 'Ej tkukpg'Dgto wf gl .'qp'dgj crh'qh'oEqttkf qt'Hqy
Eqhgg'Uj qr o.'vj g'cr r rncpv'vq'cmqy 'cp'gzkukpi '4.922'us wctg/hqqv'tgucwcpvleqhhgg'uj qr 'vq
ugm'dggt'cpf 'y kpg'hqt'eqpuwo r vkqp'qp'vj g'r tgo kugu'cv'46836'P ctdqppg'Cxgpgw0

D0 Vj g'uwdlgev'ukg'ku' qpgf 'F/E '*F qy pvqy p'Eqo o gtekn'cpf 'f guki pcvgf 'O kz gf /Wug'd{ 'vj g
Ekv'au'I gpgtcn'Rrcp'Vj g'Cr r rncpv'ku'emukhngf 'cu'c'tgucwcpvlechg.'y j kej 'ku'cp'cmqy gf 'wug
kp'vj g'F/E 'f kntkx'0Rwtuwcpv'vq'Nqo kc'O wplekrcn'Eqf g'Ugevkqp'33/306; 026*7+'qh'Ct'veng'6;
*F/E.'F qy pvqy p'Eqo o gtekn:'t'gucwcpvlechg'u'ugtxkpi 'creqj qrke'dgxgtci gu'ctg'cnuq
r gto kwgf 'kp'vj g'F/E' qpg'y kj 'vj g'cr r tqxcr'qh'c'eqpf kikapcn'wug'r gto k.'uwdlgev'vq'vj g
tgs wktgo gpw'qh'Ct'veng'78'*Ucrg'qh'Creqj qrke'Dgxgtci gu+0

E0 Eqo o wpkv' 'cpf 'Geppqo ke'F gxgnr o gpv'F gr ctwo gpv'uchh'j cxg'tgxkgy gf 'vj g'r tqlgev'r rpu
cpf 'hqwfp' 'vj go 'vq'dg'lp'eqphqto cpeg'y kj 'cm'eqpf kikapcn'wug'r gto k'uwdo kwcn'tgs wktgo gpw0
Uchh'f ggo gf 'vj g'cr r rncvkqp'eqo r rvg'qp'O c{ '39.'42430

F0 Vj g'r tqr qugf 'r tqlgev'ku'ecvgi qtkecmf 'gzgo r v'r wtuwcpv'vq'Ugevkqp'37523'*Gzkukpi 'Hcekkkku+
qh'vj g'Ecrtktpk'Gpxkqpo gpvcn'S wcrk' 'Cev'*EGS C+i wkf grkpgu'0Vj ku'ecvgi qt { 'qh'gzgo r vkpu
eqpuku'qh'vj g'qr gtcvkqp.'r gto kvkpi .'hregpukpi .'qt'o kopt'cngtcvkqp'qh'gzkukpi 'r wdrk'qt
r tkxcvg'utwewt'g'hcekkkku.'kpxqkpi 'pgi rki kdr'qt'pq'gzr cpukqp'qh'wug'dg{ qpf 'vj cv'gzkukpi 'cv
vj g'w0 g'qh'vj g'hgcf 'ci gpe{ au'f gvgto kpcvkqp'vj cv'k'o c{ 'dg'hqwfp 'vq'dg'gzgo r v'htqo 'vj g
tgs wktgo gpw'qh'EGS C0'Vj g'r tqr qugf 'eqpf kikapcn'wug'r gto k'ku'hqt'dggt'cpf 'y kpg'ucrgu'*V{ r g
63+cv'c'Dqpc'Hk'g'Gcvkpi 'Rrcg'0Vj gtg'ku'pq'pgy 'us wctg'hqvc' g'r tqr qugf 'y kj 'vj ku'r tqlge0
Vj gtghqtg.'vj g'Rrcppkpi 'Eqo o kukqp'j cu'f gvgto kpgf 'vj cv'vj gtg'ku'pq'uwdwcpv'kcn'gxkf gpeg'vj cv
vj g'r tqlgev'o c{ 'j cxg'c'uki p'k'ncpv'gh'gev'qp'vj g'gpxkqpo gp0

G0 Vj g'Rrcppkpi 'Eqo o kukqp'hkpf u'vj cv'Cr r rncpv'ci tgguy kj 'vj g'pgeguuk' { 'qh'cpf 'ceegr w'cm
grgo gpw.'tgs wktgo gpw.'cpf 'eqpf kikapcu'qh'vj ku'tguq'wvkqp'cu'dgkpi 'c'tgcuqpcdr'g'o cpgt'qh

Nqo kc'Rrcppkpi 'Eqo o kukqp"
Tguqnrwkqp'P q0%000%'
Eqpf kkpnci'Wug'Rgto k/P q0539"
Eqttkf qt'Hqy "
46836'P ctdqppg'Cxgpwg"
*CRP '9598/239/246+'

"Rci g"4"
"*****Lxpg'36.'4243"

r t g u g t x k p i . ' r t q v g e v k p i . ' r t q x k f k p i ' h q t . ' c p f ' h q u v g t k p i ' v j g ' j g c n j . ' u c h g v f . ' c p f ' y g h c t g ' q h ' e k k k g p u ' k p ' i g p g t c n ' c p f ' v j g ' r g t u q p u ' y j q ' y q t m ' q t ' x k u k ' v j k u ' f g x g n r o g p v ' k p ' r c t v e w r c t 0 "

HD C'r wdrie'pqvleg'y cu'ugpv'qww'vq'r tqr gtvf "qy pgtu'y kj kp'522'hggv'qh'v'j g'r tqlgevu'ukg."cv'rgcu'v32 f c { u'r tkqt'v'j g'j gctkpi 'f cvg0

I 0 Qp'Lxpg36.'4243.'v'j g'Rrcppkpi 'Eqo o kukqp'j grf "c'f wv' 'pqvlegf 'r wdrie'j gctkpi 'cpf 'ceegr vgf r wdrie'v'guko qp { 'hqt'cpf 'ci ckpu'v'j g'kgo 0

Ugevkqp'40Hkpf kpi u0"Vj g'r tqlgevu'ku'uwdlgevu'v'j g'Eqpf kkpnci'Wug'Rgto k/hkpf kpi u'eqpvckp'gf "kp" Nqo kc'O wplekr cniEqf g'Ugevkqp'33/30202; *Eqpf kkpnci'Wug'Rgto kv'OTgs vktgf 'hkpf kpi u'dgny 'ctg" uj qy p'kp'dqnf 'v' r g'cpf 'v'j g'tgcup*u+v'j g'r tqlgevu'ku'eqpukv'v'ku'uj qy p'kp'tgi wrct'v' r g0"

3+ Vj g'r tqr qugf 'wug'ku'cmqy gf 'y kj kp'v'j g'F kntlev'y kj 'er r tqxci'qh'c'EWR'cpf 'eqo r r'gu'y kj cni'qy gt 'er r r'cdng'tgs vkt go gpw'qh'v'j ku'Ct v'eng=

Vj g'uwdlgevu'ukg'ku'iqecv'gf 'kp'v'j g'F qy pvqy p'Eqo o gtekn'F/E+| qpkpi 'f kntlev'ORwtu'wcpv'v'q Nqo kc'O wplekr cniEqf g'Ugevkqp'33/306; 026*7+'qh'Ct v'eng'6; *F/E.'F qy pvqy p'Eqo o gtekn+ tgu'wcpw'lechu'ugt xkpi "creqj qre'dgxgtci gu'ctg'r gto kv'gf 'kp'v'j g'F/E'| qpg'y kj 'v'j g'cr r tqxci'qh'c' eqpf kkpnci'wug'r gto kv'uwdlgevu'v'j g'tgs vkt go gpw'qh'v'j ku'Ct v'eng'78*U'crg'qh'C'creqj qre'Dgxgtci gu+0 Vj wu.'v'j g'r tqr qugf 'wug'ku'cmqy gf 'y kj kp'v'j g'F kntlev'y kj 'er r tqxci'qh'c'EWR0

4+ Vj g'r tqr qugf 'wug'ku'eqpukv'v'y kj 'v'j g'I gpgt cni'Rrcp=

Vj g'r tqr qugf 'wug'ku'eqpukv'v'y kj 'v'j g'I gpgt cni'Rrcp."cu'tgu'wcpw'cpf 'eqh'gg'uj qr u'ctg g'zr ge'v'gf 'wugu'kp'v'j g'f qy pvqy p'ctgc0Vj g'wug'tgo ckpu'eqo r cv'kdng'y kj 'v'j g'gzkukpi 'cpf 'r qv'gp'kcn wugu'cmqy gf 'kp'v'j g'ctgc0

5+ Vj g'f guli p.'iqecv'kqp.'uk'g'c'p'f 'qr g'cv'kpi 'ej ctcevgt kntlev'ct'g'eqo r cv'kdng'y kj 'gzkukpi 'c'p'f h'w'w'g'ic'p'f 'wugu'd'w'k'f kpi 'c'p'f 'l'w'w'w'w'g'u'kp'v'j g'x'k'k'p'k'f 'c'p'f 'v'j g'r tqr qugf 'wug'y k'ni'p'q'v' l'g'q'r c't'f k'g.'c'f x'g't'ug'r 'c'h'g'ev.'g'p'f c'p'i g't'q't'v'j g't'y k'ug'eq'p'uk'v'w'g'c'b' g'p'c'eg'v'q'v'j g'r w'drie'j g'c'nj . u'c'h'g'v'f 'q't' i' g'p'g't c'n'y g'h'c't g'q't' d'g'b' c'v'g't'k'n'f 'f g'v't'k'o g'p'c'n'v'q'v'j g'r tqr g't'v'f 'q'h'v'j g't' r g't' u'q'p'u' i'q'ec'v'gf 'kp'v'j g'x'k'k'p'k'f =

Vj g'r tqlgevu'kpxq'x'gu'p'q'p'gy 'us w'et'g/h'q'q'v'ci g0Vj g'kp'v'g't'k'q't'ur c'eg'y cu'r t'g'x'k'q'w'u'n'f 't'g'p'q'x'c'v'gf 'kp'423: c'p'f 'k'p'e'n'f' g'u'c'd'ng'ug'c'v'kpi 'h'q't'w'r 'v'q'57'e'w'u'r'q'o g't'u'0E'w't'g'p'v'f . 'v'j g'i g'p'g't'c'n'q'r g't'c'v'kpi 'j' q'w'u'c't'g' O'q'p'f'c' { 'v'j t'q'w'i'j 'H'k'f'c' { 'h't'q'o '9-52'c'0 0'v'q'4-52'r'0 0'c'p'f 'U'c'w't'f'c' { u'h't'q'o " : 22'c'0 0'v'q'4-22'r'0 0 Vj g'd'w'uk'p'g'u'ku'eq'ug'f "q'p'U'w'p'f'c' { u'0U'c'h'i'd'g'r'k'g'x'g'u'v'j c'v'v'j g'g'c't'n'f 'q'r g'p'k'pi 'c'p'f 'e'q'u'w't'g'v'k'o g'u' c'u'q'ek'c'v'gf 'y' k'j 'c' 'e'q'h'g'g'uj q'r 'y' k'j 'd'g'g't'c'p'f 'y' k'p'g'y' k'ni'p'q'v'w'ut'c'k'p'r' q'r'k'eg'ug't'x'k'eg.'y' j' k'ej 'v'f' r' k'ec'n'f' t'g'ur'q'p'f' u'v'q'c're'q'j q'n't'g'n'c'v'gf 'eqo r r'c'k'p'w'k'p'v'j g'r'c'v'g'c'h'g't'p'q'q'p'q't'g'x'g'p'k'pi u0

Nqo kc'Rrcppkpi 'Eqo o kuukqp"
Tguqrwkwq'P q0%000%'
Eqpf kkwpcn'Wug'Rgto k/P q0539"
Eqttkf qt'Hqy "
46836'P ctdqppg'Cxgpwg"
*CRP '9598/239/246+'

'Rci g'5"
*****Lwpg'36.'4243"

6+ Vj g'ukg'ku'cf gs wevg'lp'uk' g'cpf 'uj cr g'vq'cee qo o qf cvg'vj g'f ctf u'y cmu'lgpegu'r ct nkp' 'cpf mcf kpi 'tceklkgu'icpf uecr kpi 'cpf 'qvj gt'f gxgnr o gpv'lgc wwt gu'f t guet kdgf 'lp'vj ku'ej cr vgt.'qt'cu tgs wkt gf 'cu'e'eqpf kkwq'lp'qt f gt 'vq'lpvgi t cvg'vj g'wug'y kj 'vj g'wug'lp'vj g'p'gki j dqt j qof =cpf

Vj g'tguwctcpvleqhhgg'uj qr 'j cu'dggp'lp'qr gtcvkwq'cv'46836'P ctdqppg'Cxgpwg'ukpeg'423; 'cpf 'vj g' uksg'o ggu'cmf gxgnr o gpv'uecpf ctf u'qwwkpgf 'lp'vj g'F/E' | qpg'0Vj g'cr r rkecpv'ku'r tqr qukpi 'pq r j { ulecn'ej cpi gu'vq'vj g'gzku'kpi 'ukg'0K'qpn' { tgs wguu'vq'g'zr cpf 'vj g'dwukpguu'o gpw'vq'qh'gt dgg'ly kpg'ht'qp/ukg'eqpuwo r vkw'p0

7+ Vj g'ukg'ku'igt xgf 'd' { 'j ki j y c { u'cpf 'ut ggw'cf gs wevg'vq'ect t { 'vj g'nkpf 'cpf 's wcpvkw' 'qhl'v'chke uwej 'wug'y qwf 'i gpgt cvg0

Vj g'uwldgev'ukg'ku'mqecv'gf 'qp'P ctdqppg'Cxgpwg.'dgy ggp'Nqo kc'Dqwxctf 'cpf '469'j 'Ut gg'0 P ctdqppg'Cxgpwg'ku'c'o clqt.'pqt'vj /uqwj 'ut gg'lp'vj g'Ek'f . 'y j lej 'ku'cf gs wevg'vq'cee qo o qf cvg' vj g'o lz'qh'tgukf gpv'cn'cpf 'eqo o gtekn'wugu'hw'pf 'y kj lp'vj g'f qy pvqy p'ctgc'0Vj wu.'vj g'ukg'ku ugtxgf 'd' { 'j ki j y c { u'cpf 'ut ggw'cf gs wevg'vq'ect t { 'vj g'nkpf 'cpf 's wcpvkw' 'qhl'v'chke'wug'y g'r tqr qugf wug'y qwf 'i gpgt cvg0

Vj g'r tqlgev'ku'uwldgev'vq'cf f kkwpcn'kpf kpi u'eqpvkpgf 'lp'vj g'Ucr'qh'C'raqj qnk'Dgxgtci gu'Qtf kpcpeg"
*Nqo kc'O wplek'cn'Eqf g'Uge'vkw'33/3/78025-0T gs wkt gf 'kpf kpi u'dgnqy 'ctg'uj qy p'lp'd'qrf 'v'r g'cpf "
vj g'tgcuq'p'u+'vj g'r tqlgev'ku'eqpukv'gp'v'ku'uj qy p'lp'tgi wct'v'r g'0"

8+ Cp' { 'dwukpguu'ignkpi 'creqj qde'dgxgtci gu'ht' 'qhl'ukg'ht' 'qp/ukg'eqpuwo r vkw'lj cml'g'hwecv'gf 'c o kpo wo 'qhl'522'ggv'ht qo 'tej qqu'f' ct mu'f' wdne't get gc'vkw'ct gcu'cpf 'cp' { 'qvj gt' wug'f' gvt o kpgf vq'd'g'c'ugpuk'kg'wug'd' { 'vj g'Eqo o wpl' { 'F' gxgnr o gpv'F'kt gevq'0Vj g'f kwcpeg'uj cml'g'o gcuwt gf ht qo 'vj g'emuguv'f' tqr gt v' 'hpg'ht qo 'vj g'uwldgev'f' ct egd'vq'vj g'emuguv'f' tqr gt v' 'hpg'qhl'vj g'r ct egn eqpv'k'kpi 'vj g'ugpuk'kg'wug' *NO E'E'33/3078025 *E +0

Nqo kc'Grgo gpvct { 'Uej qqn'y j lej 'ku'eqpukf'gtgf 'c'ugpuk'kg'wug'ku'mqecv'gf 'cet'quu'P ctdqppg'vq'vj g' y gu'cv'4433'469'j 'Ut gg'0Vj gt g'ct g'pq'qvj gt'ugpuk'kg'wugu'mqecv'gf 'y kj lp'522'ggv'qhl'vj g'ukg'0

Rwtu'wcpv'vq'Uge'vkw'33/3078025 *F +.'vj g'Rrcppkpi 'Eqo o kuukqp'o c { 'o qf kh' { 'vj g'f kwcpeg' tgs wkt go gpw' y j gp'i tcv'kpi 'c'eqpf kkwpcn'wug'r gto k'kh'vj g'hw'ny kpi 'kpf kpi u'ecp'dg'o cf g'c

9+ Vj g'r tqr qugf 'wug'y kn'pqv'j cxg'cp'cf xgt ug'lo r cev'qp'f' wdne'ic'hw'f 0

Vj g'uwldgev'mqecv'kw'j cu'dggp'qr gtcv'gf 'cu'c'tguwctcpvleqhhgg'uj qr 'ukpeg'423; 'y kj 'pq'tgr qt v'gf kpek'f'gpw'qhl'eqpeg'p'vq'uw'ch'0Vj g'dwukpguu'f' qgu'pqv't'go clp'qr gp'rcv'lp'vq'vj g'pki j v'cpf qr gtcv'k'p'cn'uecpf ctf u'eqpvkpgf 'cu'eqpf kkw'pu'qhl'cr r tqx'cn'j'gt'gkp'y kn'g'puwt'g'vj g'wug'f' qgu'pqv eqpuk'w'g'c'pw'kucpeg'qt'p'gi cv'k'gn' { 'ch'gev'vj g'i gpgt'cn'r'wdne'0

: + Vj g'dwukpguu'y kn'f' t'qx'f' g'd'gpg'k'ek'ne'qo o gtekn'ix'k'cn' { 'vq'vj g'ct gc0

Nqo kc'Rrcppkpi 'Eqo o kuukqp"
Tguqrwkkp'P q0'0000'
Eqpf kkkpcn'Wug'Rgto k/P q0539"
Eqttkf qt'Hqy "
46836'Pctdpppg'Cxgpwg"
*CRP '9598/239/246+'

'Rci g'7"
*****Lwpg'36.'4243"

80 Vj g'guvdrkuj o gpv'uj cm'dg'qr gtcvgf 'cu'c'ödqqc'kf g'r wdrke'gcvkpi 'r megö'cu'f ghlpgf 'd{ 'Dwukpguu
cpf 'Rtqhguukqpu'Eqf g'ugevkap'4525: 0'k'v'j g'gxgpv'v'j cv'hqf 'ugt'xleg'egcugu'qp'v'j g'r tqr gtv' . 'v'j ku
r gto k'hq'v'j g'ucrg'qh'creqj qn'o c{ "dg'o qf kkgf "qt"tgxqngf "r wtuwcpv'v'j g'Nqo kc'O wplekr cn
Eqf g0

90 P q'r gtuqp'wpgf gt'v'j g'ci g'qh'43'uj cm'lugm'qt 'f grkxgt "creqj qrke"dgxgtci gu0

: 0 Cm'etlo gu'qeewttkpi 'kpu'f g'qt'q'wukf g'v'j g'r tqlgevr' tqr gtv' 'uj cm'dg'tgr qt'v'f 'v'j g'Nqo kc'Ucvkqp
qh'v'j g'Nqu'Cpi grgu'Eqwv'f 'Uj g'tkhu'F gr ctwo gpv'cv'v'j g'v'ko g'qh'v'j g'qeewttpgeg0

: 0 Vj g'r tqr qugf 'wug'uj cm'pqv'etgcv'g'ödqlgevkqpcdng'eqpf kkkpu'v'j cv'eqpu'kw'g'c'pwkucpeg.ö'cu
f ghlpgf 'kp'Ecrkhtpk'Dwukpguu'cpf 'Rtqhguukqpu'Eqf g'ugevkap'46422'h*4+.'v'j o gcp
öf kuwtdcpeg'qh'v'j g'r gceg. 'r wdrke'f twp'ngppguu. 'f tkp'kpi 'kp'r wdrke. 'j ct'cuo gpv'qh'r cuugd{ .
i co drkpi . 'r tqukwkkp. 'mqkgtkpi . 'r wdrke'w'kpcvkap. 'hgy f 'eqpf vev. 'f twi 't'chh'kpi . 'qt'gzegukxg
mqw'p'q'kugu0

320Rgto k'j qrf gt'uj cm'eqo r n' 'y kj "cm'cr r rkecdng'hgf gtcn'ucv'g. 'cpf 'mqec'n'cy u. 'kpen'f kpi 'dw'p'qv
rko k'gf 'v'j g'Creqj qrke'Dgxgtci gu'Qtf k'p'cepeg. 'Nqo kc'O wplekr cn'Eqf g'Ugevkap'33/3/780250

330Vj ku'r gto k'uj cm'cwqo cv'kcm'f "dg'p'wm'cpf 'xqkf "qpg" { gct 'ht'qo 'v'j g'f cv'g'qh'kuw'cpeg. 'wpr'guu
F gxgnr gt'j cu't'gegk'gf 'ht'qo 'v'j g'Ucv'g'F gr ctwo gpv'qh'Creqj qrke'Dgxgtci g'Eqpv'qn'c'rk'egpug'v'q
ugm'creqj qrke'dgxgtci gu'qp'v'j g'r tqlgevr' tqr gtv' 0C't'gs wguv'ht'c' "qpg/ { gct 'gz'v'pukap' o c{ "dg
eqpukf gt'gf 'd{ 'v'j g'Rrcppkpi 'Eqo o kuukqp0P q'gz'v'pukap'uj cm'dg'eqpukf gt'gf 'wpr'guu't'gs wguv'g
r tkqt'v'j g'gzr k'cvkap'f cv'g0

340K'v'j g'gxgpv'qh'c'f kuci tggo gpv'k'v'j g'k'p'wtr'g'cvkap'cpf lq't'cr r rkecvkap'qh'v'j gug'eqpf kkkpu. 'v'j g
kuuw'uj cm'dg't'ghgt'gf 'dcem'v'v'j g'Rrcppkpi 'Eqo o kuukqp0

350K'ku'j gtd{ 'f gen'ct'gf 'v'j dg'v'j g'k'p'v'p'v'j cv'k'ic'p { 'r tqx'kukap'qh'v'j ku'r gto k'ku'j g'f 'qt'f gen'ct'gf 'k'p'x'ckf .
v'j g'r gto k'uj cm'dg'xqkf "cpf 'v'j g'r tkx'k'gi gu'i t'cp'v'f 'j g'g'w'p'f gt'uj cm'hr' ug0

360Cm'q'wuc'p'f kpi 'h'ggu'qy gf 'v'j g'Ek'v' . 'kpen'f kpi 't'chh'v'ko g'ur gpv'r tqegu'kpi 'v'j ku'cr r rkecvkap. 'uj cm
dg'r c'kf 'k'p'hw'0

370C "ugr c't'cv'g" 'Dw'kf kpi "Rgto k'uj cm'dg'qdv'k'p'gf 'h'qt'cp { "pgy "eqp'ut'w'evkap'qt" o qf k'h'k'evkapu'v'q
ut'w'ewt'gu. 'kpen'f kpi "k'p'v'gt'k'qt" o qf k'h'k'evkapu'v'j cv'j cxg'dggp'cwj q't'k'gf "d{ 'v'j ku'eqpf kkkpcn'wug
r gto k0

380C "ugr c't'cv'g'uki p'r gto k'uj cm'dg'qdv'k'p'gf 'h'qt'cp { "pgy "uki pu'qp'v'j g'r tqlgevr' tqr gtv'0

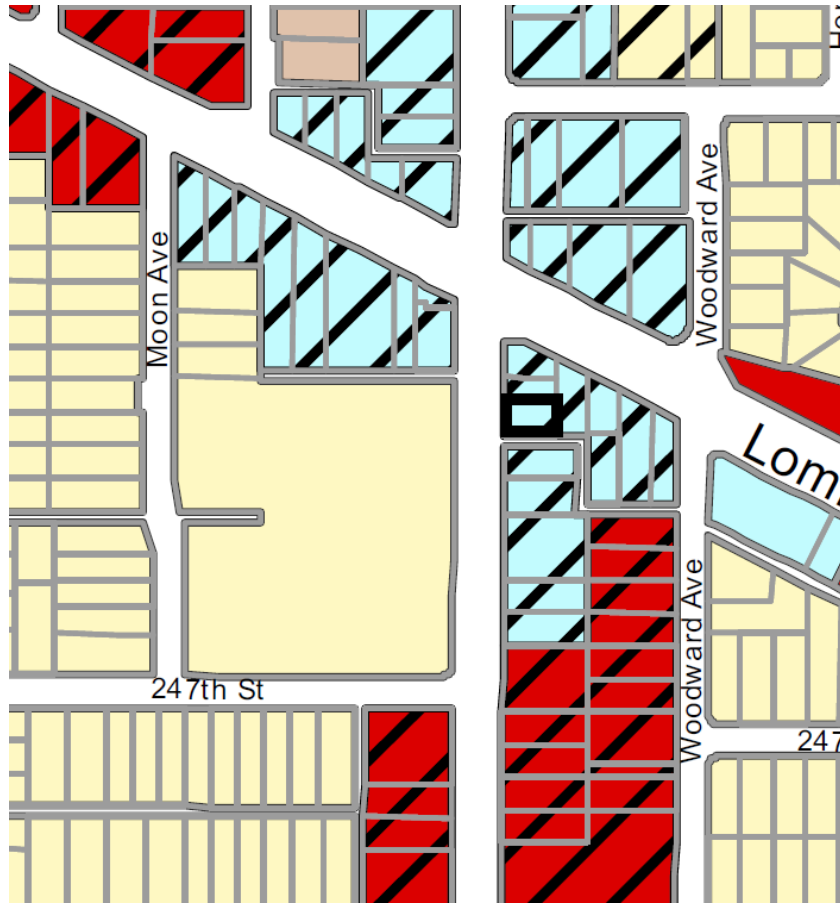
RFGOPHKECVIQP"




















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Tguqrwkkp'P q0%000%'
Eqpf kkkpcn'Wug'Rgto k/P q0539"
Eqttkf qt'Hqy "
46836'P ctdqppg'Cxgpwg"
*CRP '9598/239/246+

'Rci g'9"
*****Lwpg'36.'4243"

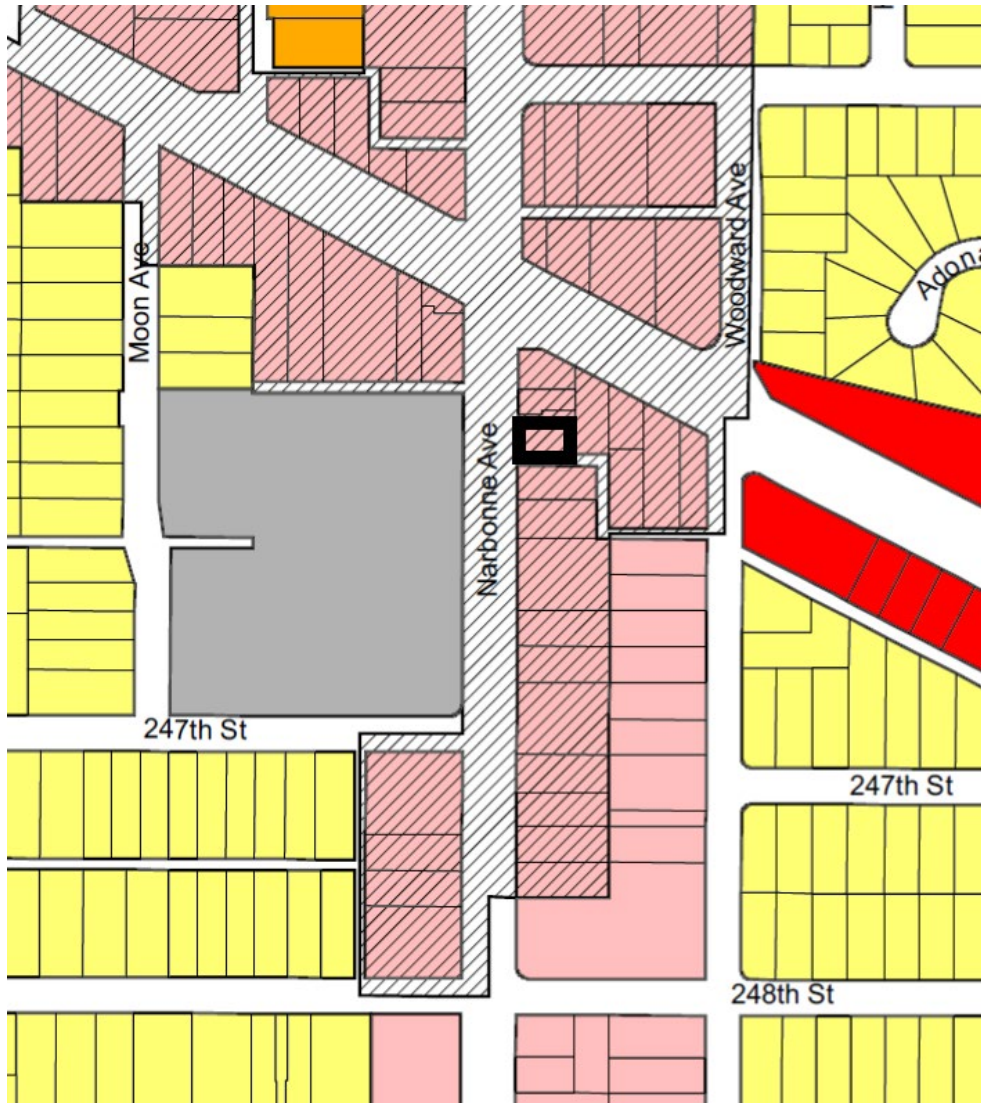
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cr r rdecvkqp"o wuv'dg'hkrgf 'y kj kp"vj g'vko g'iko ku'ugv'htvj "kp'Eqf g"qh'EkkkiRtqegf wtg"Ugevkqp"32; 600

ATTACHMENT 2 – ZONING MAP



-  Mixed Use Overlay
-  Agriculture, Non-Commercial (A1)
-  Commercial, General (CG)
-  Commercial Planned Development (CPD)
-  Commercial, Retail (CR)
-  Downtown Commercial (DC)
-  Light Manufacturing & Commercial (MC)
-  Open Space (OS)
-  Single Family Residential (R1)
-  R1-6000 (R1-6000)
-  R1-7000 (R1-7000)
-  R1-7500 (R1-7500)
-  Single Family Parking (R1P)
-  Residential Variable Density 1/5000 SF (RVD1500)
-  Residential Variable Density 1/2500 SF (RVD2500)
-  Residential Variable Density 1/2200 SF (RVD2200)
-  Residential Variable Density 1/1500 SF (RVD1500)
-  Residential Variable Density 1/1452 SF (RVD1452)
-  Residential Variable Density 1/1000 SF (RVD1000)

ATTACHMENT 3 – GENERAL PLAN MAP

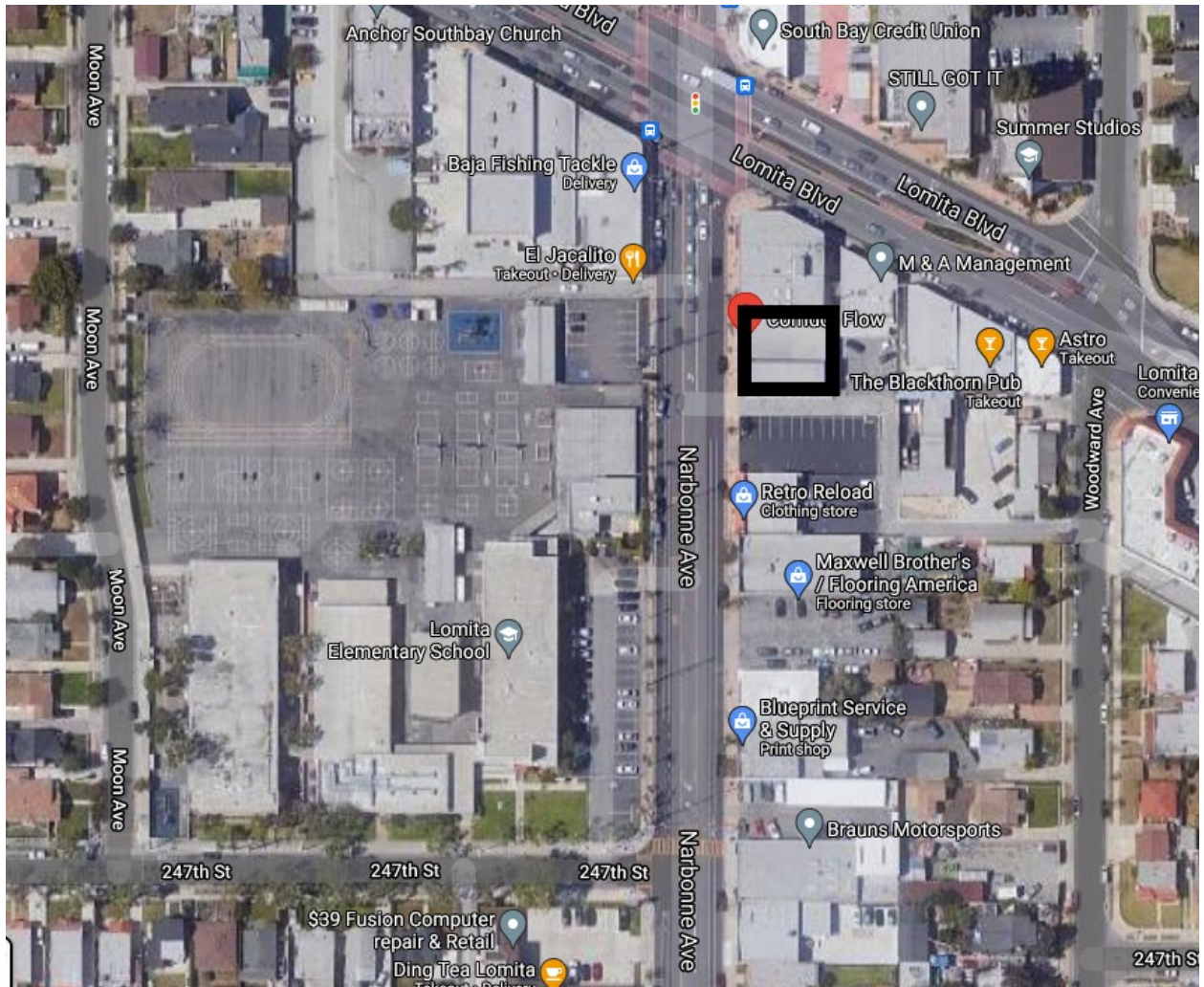


General Plan

Land Use Designations

-  Downtown Overlay
-  Residential (Agricultural)
-  Residential (Low Density)
-  Residential (Medium Density)
-  Residential (High Density)
-  Commercial
-  Industrial/Manufacturing
-  Publicly Owned Land
-  Mixed Use Overlay

ATTACHMENT 4 – AERIAL PHOTOGRAPH





Ego o wplw{ 'F gxgnr o gpv'F gr ct wo gpv'
Rrcppkpi 'F kkkqp'
46522'P ct dpppg' Cxgpwg'
Nqo kc.'EC'; 2939"
5321547/9332"
HCZ '5321547/6246"

P QVKEG'QH'GZ GO RVKQP "

Rt qlgev'F guet kr vkap <'

EOPF KWQP CN'WUG'RGTO KW'P Q0539'6'C"tgs wguv"vq"cmuy "cp"gz kkkpi "4.922"us wctg/hqqv"
tguvwtcpvleqhhgg"uj qr "dwukpguu"mjecvfg "cv"46836" P ctdpppg' Cxgpwg"vq"ugm'dggg"cpf "y kpg"ht"
eqpuwo r vkap"qp"vj g'r tgo kugu0Hkrgf 'd{ 'Ej tkvkgp'Dgto wf gl "qh'Eqttkf qt'Huy 'Eqhhgg'Uj qr . '46836"
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Hlpf kpi <'

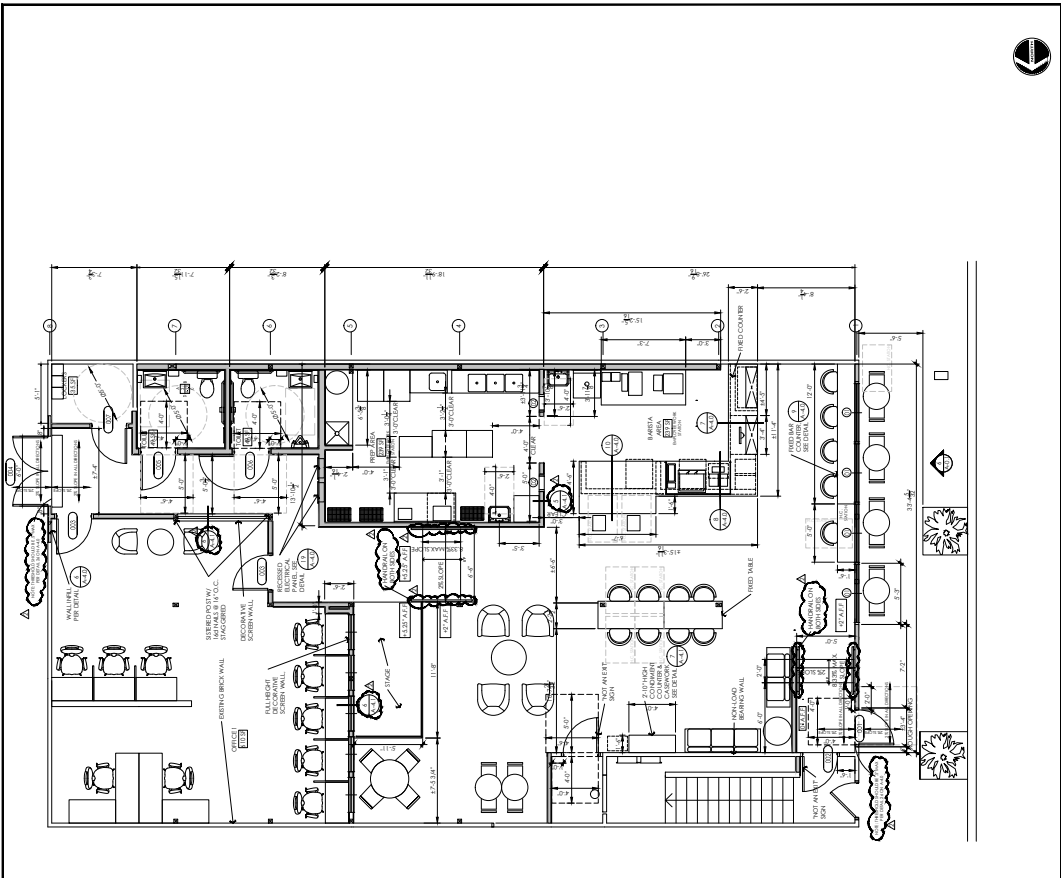
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tqxkgy gf "vj g'cdqxg'r tqr qugf 'r tqlgev'cpf 'hqwfp 'k'vq'dg'gz go r vltqo "vj g'r tqxkkkqpu'qh"vj g'Ecrkhtplc"
Gpxktqpo gpvcn'S wrkw{ 'Cev'*EGS C-0'

- O kpkvgt kn'Rtqlgev'
- Ecvgi qtkecn'Gz go r vkap"*EGS C'I wkf grkpgu."Ugevkap"37523.'Gz kkkpi 'Hcekrkkgu+'
- Ucvwqt { 'Gz go r vkap"
- Go gti gpe{ 'Rtqlgev'
- S wkm'F kucr r tqxcn']EGS C'I wkf grkpgu."Ugevkap"37492_"
- P q'Rquukdkkw{ 'qh'Uki pkkkecpv'Ghgev']EGS C'I wkf grkpgu."Ugevkap"37283*d+*5+_"

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*EGS C-+i wkf grkpgu.'r tqlgeu'kpxqkklpi "vj g'eqpxgtukqp"qh'gz kkkpi "uo cm'ut wewt gu'htqo "qpg"vug"vq"
cpqyj gt'y j gtg'qpn{ 'b kpat'b qf kkecvkapu'ctg'b cf g'b c{ 'dg'hqwfp 'vq'dg'gz go r vltqo "vj g'tgs wkt go gpv"
qh'EGS C0Vj g'r tqr qugf 'eqpf kkkapcn'wug'r gto k'ku'ht'c'dggg'cpf 'y kpg'ucrgu"*V{ r g'63+'cv'c'Dqpc'Hkf g"
Gcvkpi 'Rrcg0Vj gtg'ku'pq'pgy 'us wctg'hqvcn' g'r tqr qugf 'y kj "vj ku'r tqlge0 Vj gtghqtg."vj g'Rrcppkpi "
Ego o kkkqp"j cu" f gyto kpgf "vj cv"vj gtg"ku"pq"uwdxcpv'kcn'gxkf gpeg"vj cv"vj g'r tqlgev"o c{ "j cxg"c"
uki pkkkecpv'ghgev'qp"vj g'gpxktqpo gpv0'

*F cvg-!"

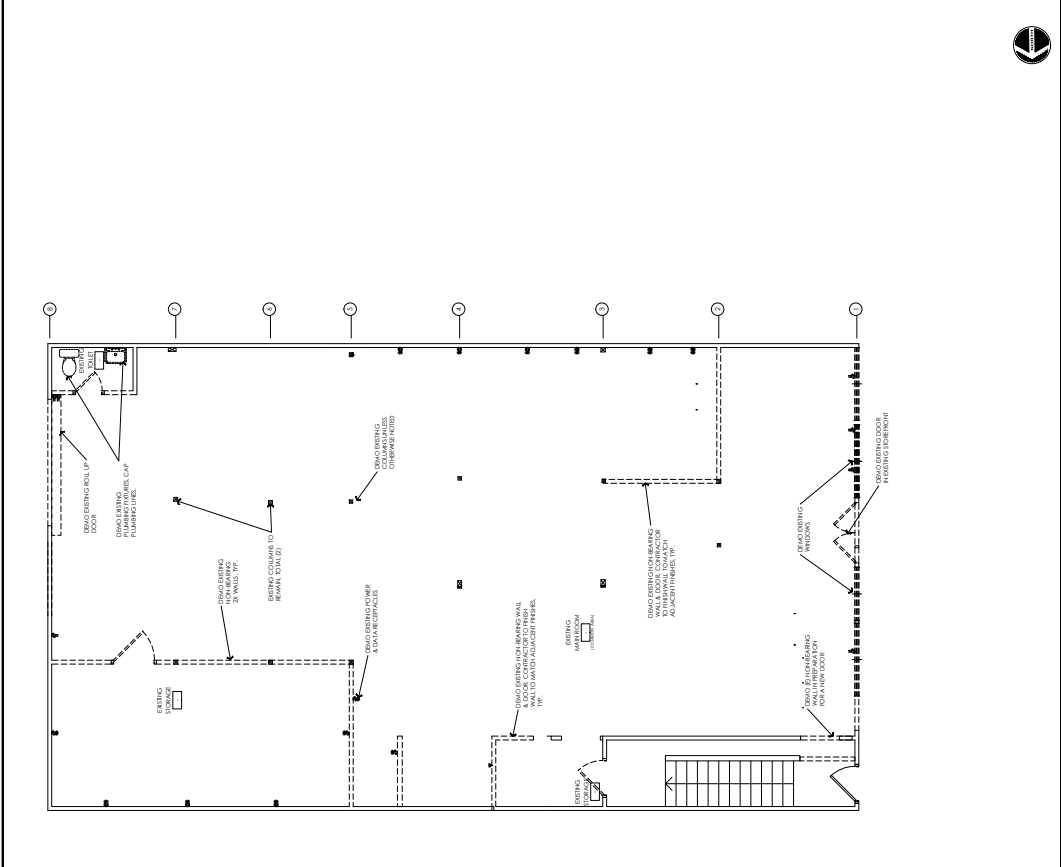
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Ego o wplw{ (' 'Geqqo ke'F gxgnr o gpv'
F ktgevqt"



PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 2

GENERAL NOTES:

1. DEMO WORK SHALL BE ACCORDING TO THE CITY OF LOS ANGELES ORDINANCE 18.01.01.01.
2. DEMO WORK SHALL BE ACCORDING TO THE CITY OF LOS ANGELES ORDINANCE 18.01.01.02.
3. FOR ALL ACCESSIBLE WORK, SEE 2019 IBC 1109.2.1.1.
4. RELOCATE THE WALL AND THE RELOCATED WALL SHALL BE CONSIDERED AS A NEW WALL.
5. FOR THE 1" X 4" WALL, SEE 2019 IBC 1109.2.1.1.



DEMO FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
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5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.



**EKW 'QHNQO KVC'
RNCPPKI 'EQO O KUKQP 'TGRQTV''**

VQ<' Rrcppkpi 'Eqo o kukqp'' '''Lxpg'36.'4243''

HTQO <' I tgi 'Mcr qxlej .'Eqo o wpkv{\ 'Geppqo ke'F gxrnr o gpv'F ktgevqt''

UWDLGEV<' Co gpf o gpv'vq'Eapf klapcn'Wug'Rgto k'P q0526''
47822'P ctdqppg'Cxgpwg'/E/I ''Eqo o gteknI gpgtcn'\ qpg''

CRRNIECPVUTGS WGV''

C'tgs wguv'vq'co gpf 'Eapf klapcn'Wug'Rgto k'P q0526'vq'cmqy "oDkku'cpf 'Dcu' guo.'cp'gzkukpi '' tguvwtcpv'cpf 'ecvgtkpi 'dwukpguu'hcvcgf 'cv'47822'P ctdqppg'Cxgpwg'vq'ugm'f kukngf 'ur ktku'hqt'' eqpuwo r vqp'qp'yj g'r tgo kugu'cpf 'kp'eqplwpevqp'y kj 'yj g'ecvgtkpi 'dwukpguu'hqt''eqpuwo r vqp'qhh' yj g'r tgo kugu'Vj g'qtki kpcn'eqpf klapcn'wug'r gto k'cmqy u'hqt'dggt'cpf 'y kpg'ucrgu'Vj g'r tqr qugf '' co gpf o gpv'y qwr 'cf f 'f kukngf 'ur ktku'vq'yj g'wug'r gto k'OP q'r j { ukecn'ej cpi gu'vq'yj g'ukg'ctg'' r tqr qugf 'cv'yj ku'ko g'Vj g'r tqr qugf 'wug'cr r necvqp'y cu'hkngf 'd { 'Et { ucn'Eugt.'78'Gcu'hkngf '' Ftkxg.'Tqmki 'J kmu.'EC'', 2496''Crr rncpv''qp'O c { '42.'4243'cpf 'f ggo gf 'eqo r rvg'd { 'Ekw 'uchh' qp'O c { '44.'4243''

TGEQO O GPF CVIQP ''

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UKG'CPF 'RTQLGEV'F GUET RVIQP ''

Ukg<'Vj g'uwdlgev'ukg'ku'cp'N'uj cr gf 'r ctegn'cr r tqzko cvgn\ '7.4; 3'us wctg'hggv'kp'uk\ g.'cpf 'ku'' mcevcgf 'cv'yj g'uqwj gcu'eqtpgt'qh'478'yj 'Utggy'cpf 'P ctdqppg'Cxgpwg'Vj gt g'ku'cp'gzkukpi '4.722'' us wctg/hqqv.'ukpi ng/urqt { 'dwk'f kpi 'y kj 'c'eqo o gtekn'knej gp'qp'yj g'ukg'cpf 'ukz'uwthceg'r ctnkpi '' ucmu'0''

Rtqlgev'F guetk' vqp''

Kp'4239.'yj g'Rrcppkpi 'Eqo o kukqp'cr r tqxgf 'Eapf klapcn'Wug'Rgto k'P q0526'vq'cmqy 'c'' tguvwtcpv'cpf 'ecvgtkpi 'dwukpguu'vq'ugt'xg'dggt'cpf 'y kpg'Vj g'cr r rncpv'r tqr qugu'vq'co gpf '' Eapf klapcn'Wug'Rgto k'P q0526'vq'ugm'f kukngf 'ur ktku'f ktgev\ 'vq'ewuqo gtu'cv'yj g'tguvwtcpv'hqt'' qp/ukg'eqpuwo r vqp'cpf 'vq'yj g'ecvgtkpi 'ewuqo gtu'hqt'qhh'ukg'eqpuwo r vqp'Vj g'F gr ctvo gpv'qh'' Craqj qike'Dgxgtci g'Eapvtqn''CDE+'ercuuk'ku'yj g'ucrg'qh'dggt.'y kpg.'cpf 'f kukngf 'ur ktku'hqt'' eqpuwo r vqp'qp'cpf 'qhh'yj g'r tgo kugu'cu'c''V { r g'69'hegpug'Vj gtghqtg.'yj g'cr r rncpv'y km'cnuq'dg'' tgs vktgf 'vq'wr i tcf g'ku'CDE'hegpug'htqo 'c''V { r g'63'hegpug.'y j kej 'qpn\ 'r gto ku'yj g'ucrg'qh'dggt'' cpf 'y kpg'vq'c''V { r g'69'hegpug'0''

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 Rci g'4'qh6"

Rtqr gtv'J kvqt{ "

Kp"3; 78."c'ukpi ng/uwqt { ."eqo o gtekn'dwrf kpi "y cu'dwkn'cv'vj g"eqtpgt"qh'47822'P ctdqppg'Cxgpwg0' Vj g'r tqr gtv' "y cu'hqto gtn' "qeew kfg "d{ "vj g'Eqpvkpgpvcn'O ctng'0Qp'Qevqdg'36.'3; ; 9.'vj g" Rrppkpi "Eqo o kukap"cr r tqxgf "Xctkpep'P q0355"v"cmqy "hqt"vj g'eqpwt wekvp"qh'c'877"us wctg/ hqv'cf f kkap"v"vj g'gzkukpi "3.: 67"us wctg/hqv'eqo o gtekn'dwrf kpi "cpf "tgs wktgf "vj g'r tqr gtv' "v" j cxg'ukz "r ctmkpi "ur cegu."qh'y j kej "hqt"y gtg'v"dg'vcpf go "ur cegu0Qp'O ctej "; ."422; ."vj g" Rrppkpi "Eqo o kukap"cr r tqxgf "c'F gvto kpcvqp"qh'Uko krtk' "v"cmqy "c"eqo o gtekn'hkej gp'cu' c'r gto kwgf "wug'k'vj g'Eqo o gtekn'I gpgtcn\ qpg0Vj g'gzkukpi "tguwvcpv'cpf "ecvgtkpi "dwukpguu" j cu'dggp"qr gtcvki "cv'vj g'ukg'y kj "dgg'tcpf "y kpg'ucrgu'ukpeg'42390"

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I gpgtcn'Rrcp\ qpkpi "

Vj g'i gpgtcn'r rcp'f guki pcvk'p'hq'vj g'uwldge'v'r tqr gtv' "ku'Eqo o gtekn'0Vj ku'rcpf "wug'f guki pcvk'p" cr r r'ku'v'vj g'eqo o gtekn'eqttk'f qtu'm'ecv'gf "cm'pi "Rcekke'Eqcu'J ki j y c { ."Nqo kc'Dq'w'g'x'c'tf." Y guvgt'p'Cxgpwg."cpf "P ctdqppg'Cxgpwg0Vj g'tcpi g'qh't'gi k'p'cn'eqo o gtekn'p'gg'f u'k'p'nm'f g't'g'v'k'n" tguwvcpv'cpf "y j q'nguc'ng'dwukpguu0Vj g'r tqg'ev'k'p'nm'f gu'c'f f k'pi "f k'k'ngf "ur k'ku'v'q'cp'gzkukpi " tguwvcpv'wug'vj cv'c'ngcf { "ugt'x'gu'dgg't"cpf "y kpg'0Vj g'tghqg."vj g'r tqg'ev't go clp'u'eqpuku'v'p'y kj " vj g'I gpgtcn'Rrcp0Uko k'rcn'f ."vj g'r tqg'ev'ku'eqpuku'v'p'y kj "vj g'wpf gtn' k'pi "E/I "Eqo o gtekn' I gpgtcn' qpkpi "f k'w'k'ev'cu'vj g'gzkukpi "tguwvcpv'cpf "ecvgtkpi "wug'cuuku'k'p'r tqx'k'f k'pi "c'o k'z'qh' eqo o gtekn'f g'x'g'nr o g'p'v'cm'pi "vj g'eqo o gtekn'eqttk'f qtu'q'p'c'uec'ng'vj cv'ku'rguu'k'p'v'p'uk'x'g'vj cp" f g'x'g'nr o g'p'v'k'p'vj g'f qy p'qy p'ctgc0"

Cf lcegpv\ qpkpi "cpf "Ncpf "Wugu"

F k'ge'v'k'p'"	\ qpg'c'pf "Ncpf "Wug'"
P qt'vj "	E/I "Eqo o gtekn'I gpgtcn'\ qpg'" Ncpf "wug'<T guk'f g'p'v'k'n'*Ukpi ng'Hco kn' "J qo g'+cpf "Xg'j k'eng'U'q't'ci g'"
Uq'w'j "	E/I "Eqo o gtekn'I gpgtcn'\ qpg'" Ncpf "wug'<T guwv'cpv'"
Y guv'	E/I "Eqo o gtekn'I gpgtcn'\ qpg'" Ncpf "wug'<Q'h'k'eg'"
Gcu'v'	E/I "Eqo o gtekn'I gpgtcn'\ qpg'" Ncpf "wug'<P q'p'eq'p'hqto k'pi "T guk'f g'p'v'k'n'*F w'ngz+'"

"
 "
 "
 "
 "

FTCHV"

NQO KVC "RNCPP KPI "EQO O KUKQP "

TGUQNWWKQP "P Q0" %000%

CO GP F O GP V "VQ"EQP F KVKQP CN"WUG"RGTO K"P Q0526"

DGGT."Y K G."CP F "F KUVKNGF "URKT KVU"QP /"CP F "QHH/UCNG"

DKV"GU"CP F "DCUJ GU"6"47822"P CTDQPP G"CXGP WG"

CRP "9597/247/268"

"

C"TGUNWWKQP "QH"VJ G"RNCPP KPI "EQO O KUKQP "QH"VJ G"EKV["QH"NQO KVC "
CRRTQXKPI "CP "CO GP F O GP V" VQ"EQP F KVKQP CN" WUG" RGTO K" P Q0' 526" VQ"
CNNQY "CP "GZ KUVKPI "TGUVCWTCV"CP F "ECVGT KPI "DWUR GU"NQECVGF "CV"
47822"P CTDQPP G"CXGP WG"VQ"UGNN" F KUVKNGF "URKT KVU"HQ T"EQP UWO RVIQP "QP "
VJ G"RTGO KUGU"CP F "KPI "EQP LWP EVKQP "Y K VJ "VJ G"ECVGT KPI "DWUR GU"HQ T"
EQP UWO RVIQP "QHH"VJ G"RTGO KUGU" KPI "VJ G"EQO O GTEKCN" I GP GTCN" \ QP G0'
HKNGF "D["ET[UVCN"EQUGT."78"GCUVHKNF "FTKKG."TQNNKPI "J KNU."EC"; 2496"
*CRRNECP V+0""

"

Ugevkqp'30T gektcn0'

"

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Eqpf kkpqcn'Wug'Rgto k/P q0526.'Hrgf 'O c{ "42."4243"d{ 'Et { ucn'Eaugt."qp'dgj crh'qh'dDkgu'cpf "
DcuJ gu0.'vj g'cr r rncp'v'vq'cmqy 'cp'gz kukpi "4.722"ts wctg/hqyv't guvcwcp'v'ecvgtkpi 'dwukpguu'vq'bgm'
f kunkgf 'ur kku'ht'eqpuwo r vkp'qp'vj g'r tgo kugu'cpf 'kp'eqplwpevkqp'y kj 'vj g'ecvgtkpi 'dwukpguu'ht'
eqpuwo r vkp'qh'vj g'r tgo kugu0'vj g'qt ki kpcn'eqpf kkpqcn'wug'r gto k'cmqy u'ht'dggt'cpf 'y kpg'ucrgu"
cpf 'vj g'r tqr qugf 'co gpf o gpv'y qwf 'cf f 'f kunkgf 'ur kku'v'vj g'wug'r gto k0'

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vj gtgd{ 'cr r tqxkpi 'Eqpf kkpqcn'Wug'Rgto k/P q0526'v'cmqy 'c'tguvcwcp'v'ecvgtkpi 'dwukpguu'vq"
ugmldggt'cpf 'y kpg'ht'eqpuwo r vkp'qp'vj g'r tgo kugu'cpf 'kp'eqplwpevkqp'y kj 'vj g'ecvgtkpi 'dwukpguu"
ht'eqpuwo r vkp'qh'vj g'r tgo kugu0'"

"

E0AVj g'uwdlgev'ukg'ku' qpgf 'E/I *Eqo o gteknI gpgtcn'cpf 'f guki pcvgf 'Eqo o gteknI{ 'vj g'Ekv{ au"
I gpgtcn'Rncp0Dkgu'cpf "DcuJ gu'ku'encuukhgf "cu'c'tguvcwcpv."y j kej 'ku'cp'cmqy gf 'wug'kp'vj g'E/I "
| qpkpi 'f kut'kv0Rwtuwc'v'vq'Nqo kc'O wplekr cn'Eaqf g'Ugevkqp'33/3067027*3; +qh'Ct'v'keng'67"E/I ."
Eqo o gteknI gpgtcn: tguvcwcpw'lgtxkpi 'creqj qrke'dgxgtci gu'ctg'cnuq'r gto kvgf 'kp'vj g'E/I | qpg"
y kj 'vj g'cr r tqxcr'qh'c'eqpf kkpqcn'wug'r gto kv'uwdlgev'vq'vj g'tgs wkt go gpu'qh'Ct'v'keng'78"Ucrg'qh"
Creqj qrke'Dgxgtci gu+0'

"

F0AEqo o wplv{ 'cpf 'Geppqo le'F gxgnqr o gpv'F gr ctvo gpv'uvchj'x'cxg'tgxkgy gf 'vj g'r tqlgev'r rpu'cpf "
hqwpf 'vj go "vq'dg'kp'eqphqto cpeg'y kj 'cm'eqpf kkpqcn'wug'r gto k'uwo kvcn'tgs wkt go gpu'Uchh"
f ggo gf 'vj g'cr r rncv'kqp'eqo r rvg'qp'O c{ "44."42430'

"

G0AVj g'r tqr qugf 'r tqlgev'ku'ecvgi qt'kcm{ "gz go r v'r wtuwc'v'vq'Ugevkqp'37523" *Gz kukpi 'Hcekkkku'qh"
vj g'Ecrkhtpk'Gpxkqpo gpvcn'S wcrk{ "Cev" *EGS C +i v'k'g'k'p'gu'Vj ku'ecvgi qt{ "qh'gz go r vkpu"
eqpuku'qh'vj g'qr gtcv'kqp.'r gto kvkpi .r'kegpulpi . "qt"o k'pqt'cngtcv'kqp'qh'gz kukpi 'r wdrke'qt'r tk'cvg"

"

Nqo kc'Rrcppkpi 'Eqo o kkkqp" "
Tguqrwkkp'P q0%000%' "
Co gpf o gpv'vq'Eqpf kkkpcn'Wug'Rgto kv'P q0526"
Dkku'cpf 'Dcu' gu"
47822'P ctdqppg'Cxgpwg'"
*CRP 9597/247/268+ "

"Rci g'5"
"*****Lwp'36.'4243"

tgxkugf 'wug'y kj 'f kkkngf 'ur kku+'tgo ckpu'eqo r cvkdr'g'y kj 'y g'gzkkkpi 'cpf 'r qvqpcn'wugu'cmqy gf 'kp'
y' g'ctgc0 "

5+ Vj g'f guli p. 'hqcckqp. 'uk' g'cpf 'qr gt cvkpi 'ej ct cevgt kkkk'ct g'eqo r cvkdr'g'y kj 'gzkkkpi 'cpf 'hwwt g'
rpf 'wugu' 'dwwk lpi 'cpf 'ut wewt gu'kp' 'y' g'xlekkk' 'cpf 'y' g'r tqr qugf 'wug'y kn'pqv'lgqr ctf k' g'
cf xgtugf 'chgev. 'gpf cpi gt 'qt' 'qvj gty kug'eqpu'kkw'g'c' b' gpcg'vq' 'y' g'r wdr' 'j' gcmj . 'uchgv' 'qt'
i gpgt cny ghct g'qt 'dg'b' cvgt kcm' 'f gvt ko gpcn'vq' 'y' g'r tqr gt v' 'qhv'v'j' g't' g'gt uqpu' hqcckv' 'kp' 'y' g'
xlekkk' = "

Vj g'r tqlge'v'ku' udlge'v'v'q' 'cf f kkkpcn' hpf lpi u'eqpv'k'p'gf "kp' 'y' g'Ucr'g'q' 'C'raq' q'ke' "Dgxgtci gu' Qtf k'p'ceg'
* Nqo kc' O wplek' cn'Eqf g' Uge'v'k'p' 33/3/78025+0T gs wkt gf 'h'k'f lpi u'dgm'y 'ct g' 'uj' qy p' 'kp' 'd'q'f 'v' 'r' g' 'cpf' 'y' g'
tgc'up' *u' 'y' g'r tqlge'v'ku' eqpuk'g'p'v'ku' 'uj' qy p' 'kp' 't'gi w'ct' 'v' 'r' g'0"

6+ Vj g'ukg'ku'cf gs wcv'kp'uk' g'cpf 'lj' cr g'vq' 'teeqo o qf cvg'v'j' g' { ctf u' y' cmu' h'p'egu' 'r' ct n'kpi 'cpf'
m'cf lpi 'f'cekk'kgu' 'r'cpf u'cr lpi 'cpf' 'qvj' g't' g'xgr' o g'p'v'hc'w'w'gu' t'guet' k'kg' 'kp' 'y' k'uj' cr v'gt. 'qt' 'cu'
t'gs wkt gf 'cu'c' 'eqpf kkkp' 'kp' 'qt' f' g' 'v'q' 'kp'v'gi t'cv'g'v'j' g'wug'y' kj 'y' g'wug'v'kp' 'y' g'p'gki j' dqtj qaf = 'cpf' "

Vj g'tguv'w'cp'v'ec'v'gt'kpi 'd'w'k'p'gu' 'j' cu' d'ggp' 'kp' 'qr' g'cv'k'p' 'cv' 47822'P ctdqppg' Cxgpwg' h'qt' 'h'gx'gt'cn' { g'ctu'
cpf 'y' g'ukg' b' g'gu'c'n'f' g'xgr' o g'p'v'uc'p'f' ctf u'q'w'k'p'gf 'kp' 'y' g'E/I ' | q'p'g'0Vj g'cr r' n'ec'p'v'ku' 'p'q'v' t'qr' q'k'pi "
cp' { 'r' j' { u'k'cn' 'ej' cpi gu'v'q' 'y' g'gzkkkpi "ukg'0" 'K' 'q'pn' { 't'gs w'gu'v'q' "g'zr' cpf "y' g' 'd'w'k'p'gu' 'o' g'p'w'v'q' 'q'h'gt'
f kkkngf 'ur kku' 'kp' 'cf f kkkp' 'v'q' 'y' g' 'c'it'g'cf { 'r' g'to' k'wg'f 'd'ggt' ly' k'p'g'0" "

7+ Vj g'ukg'ku'ugt'xgf 'd' { 'j' k'j' y' c' { u'c'p'f 'ut' g'gu' 'cf' gs wcv'v'q' 'ectt' { 'y' g'h'k'p'f 'c'p'f 's' w'cp'v'k' { 'q'h'v'c'h'k'le'
u'w'ej 'wug'y' q'w'f 'i' g'p'gt' cvg'0 "

Vj g'uw'ld'ge'v'ukg'ku' h'qcckv'f "qp' P ctdqppg' Cxgpwg. 'dgw' ggp' 478' 'Ut' g'gv' 'c'p'f 'R'c'ek'k' 'E'q'cu'v' 'J' k'j' y' c' { 0'
P ctdqppg' Cxgpwg' 'ku'c' 'o' clqt. 'p'qt'v'j' /u'q'w'j' 'ut' g'gv' 'kp' 'y' g' 'E'k'v'f. 'y' j' k'ej' 'ku'c'f' gs wcv'v'q' 'cee'qo' o' qf' cvg'v'j' g'
o' k'z' 'q'h't'g'ul'f' g'p'v'cn' 'c'p'f' 'eqo' o' g't'ek'n' 'w'ugu' 'h'q'w'p'f' 'y' k'j' k'p' 'y' g' 'eqo' o' g't'ek'n' 'eq' t'k'f' 'qt' 'ct'g'c' 'cm'p'pi' 'P' ctdqppg'0'
Vj wu' 'y' g'ukg'ku'ugt'xgf 'd' { 'j' k'j' y' c' { u'c'p'f 'ut' g'gu' 'cf' gs wcv'v'q' 'ectt' { 'y' g'h'k'p'f 'c'p'f 's' w'cp'v'k' { 'q'h'v'c'h'k'le' 'wug'
y' g'r' t'qr' qugf 'wug'y' q'w'f 'i' g'p'gt' cvg'0 "

Vj g'r tqlge'v'ku' udlge'v'v'q' 'cf f kkkpcn' hpf lpi u'eqpv'k'p'gf "kp' 'y' g'Ucr'g'q' 'C'raq' q'ke' "Dgxgtci gu' Qtf k'p'ceg'
* Nqo kc' O wplek' cn'Eqf g' Uge'v'k'p' 33/3/78025+0T gs wkt gf 'h'k'f lpi u'dgm'y 'ct g' 'uj' qy p' 'kp' 'd'q'f 'v' 'r' g' 'cpf' 'y' g'
tgc'up' *u' 'y' g'r tqlge'v'ku' eqpuk'g'p'v'ku' 'uj' qy p' 'kp' 't'gi w'ct' 'v' 'r' g'0"

Nqo kc'Rrcppkpi 'Eqo o kulkqp" " "Rci g'8"
Tguqnlwkp'P q0%000% " "*****Lwpg'36.'4243"
Co gpf o gpv'vq'Eqpf kkpqcn'Wug'Rgto k'P q0526"
Dkgu'cpf 'Dcu'j gu"
47822'P ctdqppg'Cxgpwg"
*CRP 9597/247/268+ "
"

ucngu"kp"eqplwpevkqp"y kj "c"tgucwcpv'cpf "ecvgtkpi "dwukpguu"cv'47822"P ctdqppg"Cxgpwg0"
Tguqnlwkp'P q04239/46'ku'pqy "g'zr wpi gf "cpf 'tgr megf 'y kj 'y ku'tguqnlwkp'vq'cmjy 'dggg.'y kpg."
cpf 'f kknrgf 'ur kku'kp"eqplwpevkqp"y kj "c"tgucwcpv'cpf "ecvgtkpi "dwukpguu"cv'47822"P ctdqppg"
Cxgpwg0"
"

80Á Vj g'j qwtu'qh'qr gtevkqp"%Q0'v'j g'ucng'qh'dqy 'hqf' 'cpf 'cm'creaj qn'uj cm'dg'ho k'gf 'htqo '9-22'c0 0'
vq"34-22"c0 0"O qpf c{ "y tqw'j "Uwpc c{ 0'Vj g'nk'ej gp"uj cm'tgo ckp"qr gp" f wtkpi "cm'j qwtu'qh"
qr gtevkqp0"
"

90Á Ucngu'qh'dggg.'y kpg.'cpf 'f kknrgf 'ur kku'ht' 'qh'ukg'eqpuwo r vkp'uj cm'dg'r tqxkf gf 'vq'ewuqo gtu"
qpn' 'kp'eqplwpevkqp'y kj 'c'ecvgt gf 'qh'ukg'gxgp'0E wuqo gtu' b c{ 'pqv'cng'r quugukqp'qh'creaj qn'cv'
47822'P ctdqppg'Cxgpwg'ht' 'qh'ukg'eqpuwo r vkp'r wtr qugu0"
"

: 0Á Y j qngucng'f grkxgtk'gu'vq'v'j g'dwukpguu'uj cm'dg'ho k'gf 'vq'v'j g'j qwtu'qh'9-22'c0 0'cpf '7-22'r 0 0'
"

; 0Á Vj g'tgct'f qqt' *u'qh'v'j g'dwukpguu'uj cm'dg'ngr v'emugf 'cv'cm'vko gu'f wtkpi "y g'qr gtevkqp"qh'v'j g"
dwukpguu'gzegr vkp'ecugu'qh'go gti gpe { "q'v'q'r gto k'f grkxgtk'gu'Uck'f qqt'lj cm'pqv'eqpukv'luqng' 'qh'
c'uetggp'qt'xgpv'kr'v'gf 'ugewtkv'f qqt0"
"

320Á Vj g'v'qtci g'utwewt'g'cm'pi "y g'uqwj "r tqr gtv' 'h'kg'uj cm'dg'tgo q'xgf "cpf "y g'ur ceg'y j g'g'v'j g"
v'qtci g'utwewt'g'gz'k'v'gf 'uj cm'dg'ut'kr gf 'ht' 'h'w'v'cpf go "r ctnkpi "ur cegu0"
"

330Á Qp'c'f ckn' 'dcuku.'tgr t'gugpv'v'x'gu'qh'v'j g'tgucwcpv'ecvgtkpi 'dwukpguu'uj cm'tgo q'xg'eki ctgwg'dwuu'cv'
c'f k'v'cpeg'qh'47' h'gv'kp'dqy 'f k'g'ek'v'pu'ht'qo "y g'ht'qp'v'f qqt'qp'P ctdqppg'Cxgpwg0"
"

340Á Vj ku'tguqnlwkp'o qf kh' kpi 'EWR'526'ku'kp'eqplwpevkqp'y kj 'cpf 'uj cm'pqv'lw'gtugf g'v' qpg'Xctk'cpeg'
%0550'
"

350Á Vj g'guv'cd'k'uj o gpv'uj cm'dg'qr gtevgf 'cu'c'0d'qpc'h'f g'r wdrk'g'cv'kpi 'r mego'cu'f gh'k'p'gf 'd{ 'Dwukpguu'
cpf 'Rt'q'hu'guk'pu'E'qf g'uge'v'k'p'4525: 0'k'p'v'j g'gxgp'v'j cv'h'qf 'ugt'x'leg'eg'cugu'qp'v'j g'r tqr gtv' .y ku'
r gto k'v'ht'v'j g'ucng'qh'f k'v'knrgf 'ur kku'kp'c'f f k'k'qp'v'j g'dggg.'y kpg'c'nt'gcf { 'ugt'x'gf 'cv'v'j g'dwukpguu0"
o c{ 'dg'o qf k'k'gf 'qt't'gx'qngf 'r wtuwcpv'v'j g'Nqo kc'O wplekr cn'E'qf g0"
"

360Á q'r gtu'qp'w'pf gt'v'j g'ci g'qh'43'uj cm'lugm'qt'f grkxgt'creaj qn'k'gd'x'gt'ci gu0"
"

370Á C'm'et'ko gu'q'ee'wt'kpi 'k'p'kf g'qt'q'wuk'g'v'j g'r t'q'lg'ev'r tqr gtv' 'uj cm'dg'tgr qt'vgf 'vq'v'j g'Nqo kc'U'cv'k'p'
qh'v'j g'Nqu'C'pi g'ngu'E'q'w'p'v' "Uj g't'k'hu'F gr ct'wo gpv'cv'v'j g'v'ko g'qh'v'j g'q'ee'wt'g'peg0"
"

380Á Vj g'r tqr qu'gf "wug'uj cm'pqv'et'g'cv'g'0d'lg'ev'k'p'cd'ng'eqpf k'k'qp'u'v'j cv'eq'pu'k'w'wg'c'p'w'k'c'peg.0'cu'
f gh'k'p'gf 'kp'E'c'rk'ht'p'k'Dwukpguu'cpf 'Rt'q'hu'guk'pu'E'qf g'uge'v'k'p'46422'h'4+.'v'q'o gcp"
0'f ku'w'dc'peg'qh'v'j g'r g'ceg.'r wdrk'f t'w'p'ng'p'p'guu.'f t'k'p'k'pi "k'p'r wdrk.'j ct'cuo gpv'qh'r cu'gtd{ ."
i co d'rkpi .r t'qu'k'w'k'p.'h'k'gt'k'pi .r wdrk'w'k'p'v'k'p.'h'gy f'eqpf w'ev.'f twi 't'ch'k'k'pi .qt'gz'eg'uk'x'g"
"

Nqo kc'Rrcppkpi 'Eqo o kukqp"
Tguqnwkp'P q0%000%'
Co gpf o gpv'q'Eqpf kkpqcn'Wug'Rgto k'P q0526"
Dkgu'cpf 'Dcuj gu"
47822'P ctdqppg'Cxgpgw"
*CRP 9597/247/268-"

"Rci g'9"
"*****Lwpg'36.'4243"

"
"mwf 'pqkug0'
"

390Rgto k'j qrf gt'uj cm'eqo r n' 'y kj 'cm'cr r rccdr'g'g'gtcn'ucv'g.'cpf 'h'qecnr'ry u.'kpenf kpi 'dw'pqv'
rko k'gf 'v'j g'Craqj q'ke'Dgxgtci gu'Qtf k'p'ceg.'Nqo kc'O wplekr cniEqf g'Ugevkp'33/3/780250'
"

3: 0Vj ku'r gto k'uj cm'cwqo c'wecm' 'dg'pwm'cpf 'xqk' 'qpg' '{ gct 'htqo 'y g'f'cv'g'qh'kuw'cpeg.'wprguu"
F g'x'g'nr'gt'j cu't'gegk'gf 'htqo 'y g'U'cv'g'F gr ctvo g'pv'qh'Craqj q'ke'Dgxgtci g'E'q'p't'q'nc'v' r g'69"
r'ke'g'p'ug'v'q'ug'm'd'g'gt.'y k'pg.'cpf 'f'k'w'k'ng'f 'ur k'ku'0C't'gs w'gu'v'ht'c'c'q'pg'/{ gct 'gz'v'g'p'uk'p'o c'{'dg'
e'q'p'uk'f'gt'gf 'd'{'y g'Rrcppkpi 'Eqo o kukqp'0P q'gz'v'g'p'uk'p'uj cm'd'g'e'q'p'uk'f'gt'gf 'w'p'rg'uu't'gs w'gu'v'g'f'
r'k'qt'v'q'j g'z'r'k'c'v'k'p'f'cv'g'0"
"

3; 0Vj 'y g'g'x'g'p'v'q'h'c'f'k'uci t'ggo g'pv'k'p'j g'k'p'v'g't'r'g'v'c'v'k'p'cpf'k'q't'c'r'r'k'c'v'k'p'q'h'v'j'g'ug'e'q'p'f'k'k'q'pu.'y g'
k'uw'g'uj cm'd'g't'g'h'g't'g'f'd'c'cm'v'q'j g'Rrcppkpi 'Eqo o kukqp'0"
"

420K'ku'j'gt'gd'{'f'g'er'c't'g'f'v'q'd'g'v'j g'k'p'v'g'p'v'j'c'v'k'h'c'p'{'r't'q'x'k'k'p'q'h'v'j'ku'r'g'to k'ku'j'g'f'q't'f'g'er'c't'g'f'k'p'x'c'k'f'.'
y g'r'g'to k'uj cm'd'g'x'q'k' 'cpf 'y g'r't'k'k'g'i'gu'i'c'p'v'g'f'j'g't'g'w'p'f'gt'uj cm'hr'ug'0'
"

430C'm'q'w'w'c'p'f'k'pi' h'g'gu'q'y'g'f'v'q'v'j g'E'k'v'{'k'p'en'f'k'pi' 'u'v'c'h'v'k'o'g'ur'g'p'v'r't'q'eg'u'k'pi' 'y'k'u'r'r'k'c'v'k'p'.'i'j'c'm'i'
d'g'r'c'k'f'k'p'f'w'm'0'
"

440C' "u'g'r'c't'c'v'g' "D'w'k'f'k'pi' "R'g'to k'uj cm'd'g'q'd'v'c'k'p'g'f' "h'q't" c'p'{'p'g'y' "e'q'p'ut'w'v'k'p' "q't" o'q'f'k'h'c'v'k'p'u'v'q' "
u't'w'w'v'g'u.'k'p'en'f'k'pi' "k'p'v'g't'k'q't" o'q'f'k'h'c'v'k'p'u'v'j'c'v'j'c'x'g' "d'g'g'p'c'w'j'q't'k'f'g'f' "d'{'y'k'u' "e'q'p'f'k'k'q'p'c'n'w'ug' "
r'g'to k'0"
"

450C' "u'g'r'c't'c'v'g' "u'k'i'p'r'g'to k'uj cm'd'g'q'd'v'c'k'p'g'f' "h'q't" c'p'{'p'g'y' "u'k'i'p'u'q'p'v'j'g'r't'q'l'g'ev'r't'q'r'g't'v'f'0"
"

R'P'F'G'O'P'H'K'c'V'K'Q'P'

460C' r'r'k'c'p'v'ci' t'g'gu.'cu'c' "e'q'p'f'k'k'q'p'q'h'c'f'q'r'v'k'p'q'h'v'j'ku't'g'u'q'n'w'k'p'.'c'v'c'r'r'k'c'p'v'au'q'y'p'g'z'r'g'p'ug.'v'q' "
k'p'f'g'o'p'k'h'{'f'g'h'g'p'f' "c'p'f' "j'q'r' "j'c'to'ng'u'v'j'g'E'k'v' 'c'p'f' "k'u'c'i'g'p'v'.'q'h'h'g'g't'u'c'p'f' "g'o'r'm'{'g'g'u'ht'qo' "c'p'f' "
c'i'c'k'p'u'v'c'p'{'e'm'k'o'.'c'v'k'p'q't'r't'q'eg'g'f'k'pi' "v'q'c'w'c'c'm't'g'x'k'g'y'.'u'g'v'c'ul'f'g'.'x'q'k'f'q't'c'p'p'w'i'v'j'g'c'r'r't'q'x'c'n'q'h' "
y'g't'g'u'q'n'w'k'p'q't'c'p'{' "e'q'p'f'k'k'q'p'c'w'c'ej'g'f' 'y'g't'g'v'q'q't'c'p'{'r't'q'eg'g'f'k'pi' u.'c'ev'u'q't'f'g'y'to'k'p'c'v'k'p'u'v'c'ng'p'." "
f'q'p'g'q't' "o'c'f'g'r't'k'q't'v'q'v'j'g'c'r'r't'q'x'c'n'q'h'w'ej' "t'g'u'q'n'w'k'p'v'j'c'v'y'g't'g'r'c't'v'q'h'v'j'g'c'r'r't'q'x'c'n'r't'q'eg'u'0"
C'r'r'k'c'p'v'au' "e'q'o' o'g'p'ego'g'p'v'q'h' "e'q'p'ut'w'v'k'p'q't' "q'r'g't'c'v'k'p'u'r'w'u'w'c'p'v'q'v'j'g't'g'u'q'n'w'k'p'uj'cm'd'g' "
f'g'go'g'f' "v'q'd'g'c'p' "c'ee'g'r'v'c'p'eg'q'h'c'm'i' "e'q'p'f'k'k'q'p'u'v'j'g't'g'q'h'0'
"

E'Q'O'R'N'K'c'P'E'G'

470K' C'r'r'k'c'p'v' "q'y'p'g't'q't' "v'g'p'c'p'v' "h'c'k'u'v'q' "e'q'o' r'n' "y'k'j' "c'p'{'q'h'v'j'g' "e'q'p'f'k'k'q'p'u'q'h'v'j'ku'r'g'to'k'v' "y'g' "
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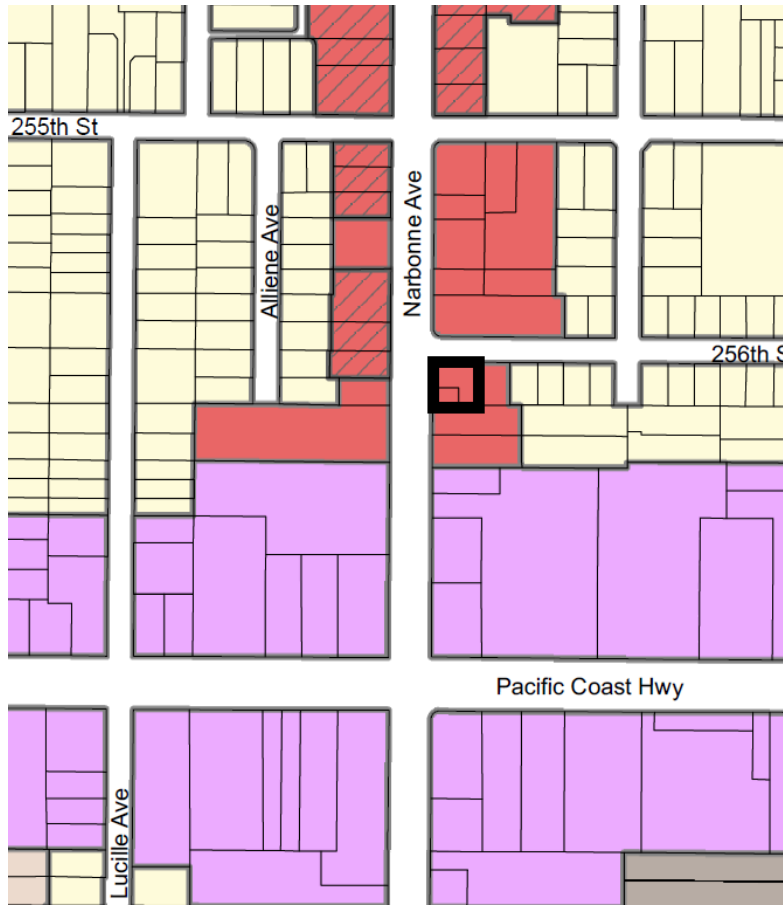
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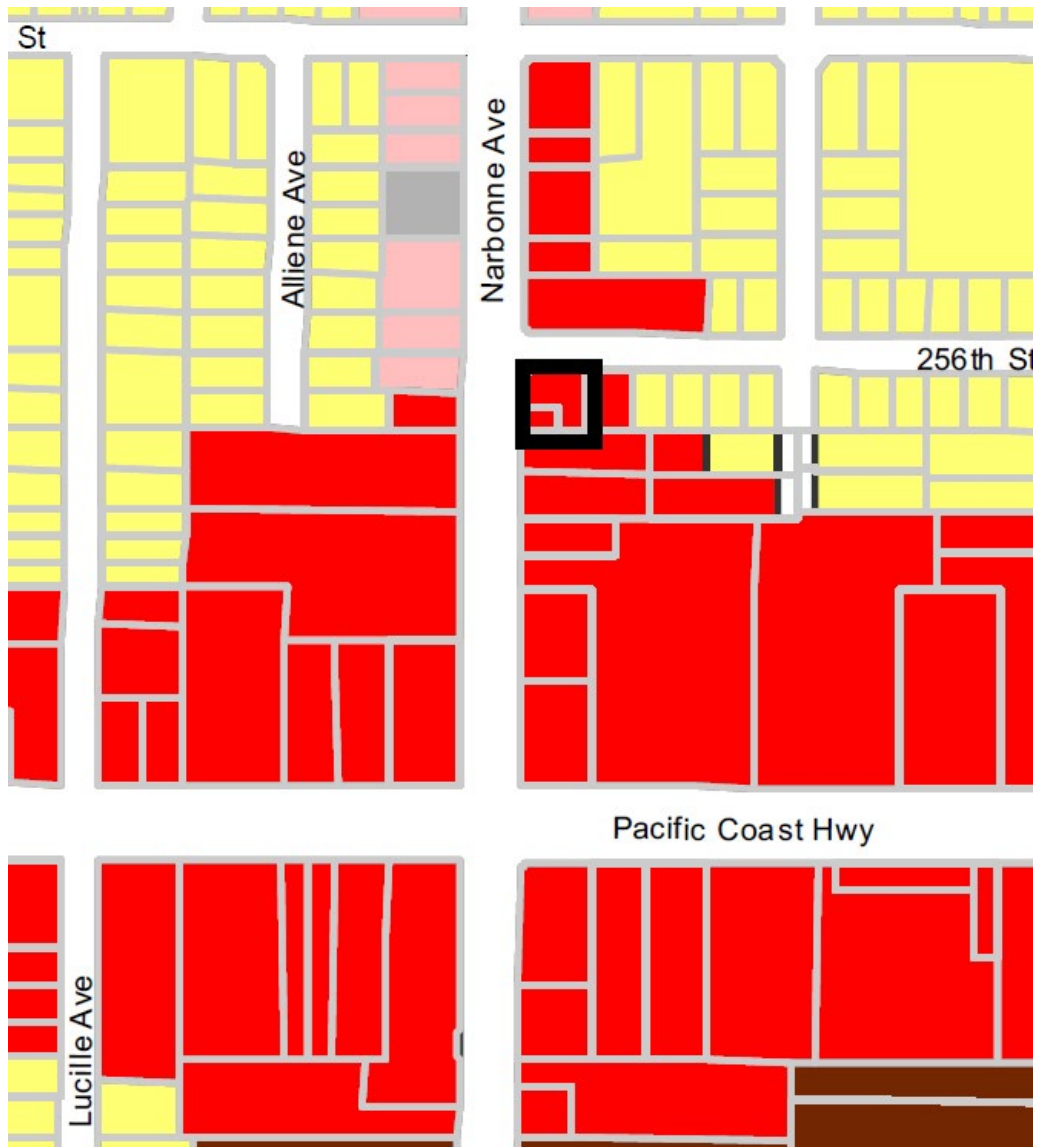
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ATTACHMENT 2 – ZONING MAP



-  Mixed Use Overlay
-  Agriculture, Non-Commercial (A1)
-  Commercial, General (CG)
-  Commercial Planned Development (CPD)
-  Commercial, Retail (CR)
-  Downtown Commercial (DC)
-  Light Manufacturing & Commercial (MC)
-  Open Space (OS)
-  Single Family Residential (R1)
-  R1-6000 (R1-6000)
-  R1-7000 (R1-7000)
-  R1-7500 (R1-7500)
-  Single Family Parking (R1P)
-  Residential Variable Density 1/5000 SF (RVD1500)
-  Residential Variable Density 1/2500 SF (RVD2500)
-  Residential Variable Density 1/2200 SF (RVD2200)
-  Residential Variable Density 1/1500 SF (RVD1500)
-  Residential Variable Density 1/1452 SF (RVD1452)
-  Residential Variable Density 1/1000 SF (RVD1000)

ATTACHMENT 3 – GENERAL PLAN MAP

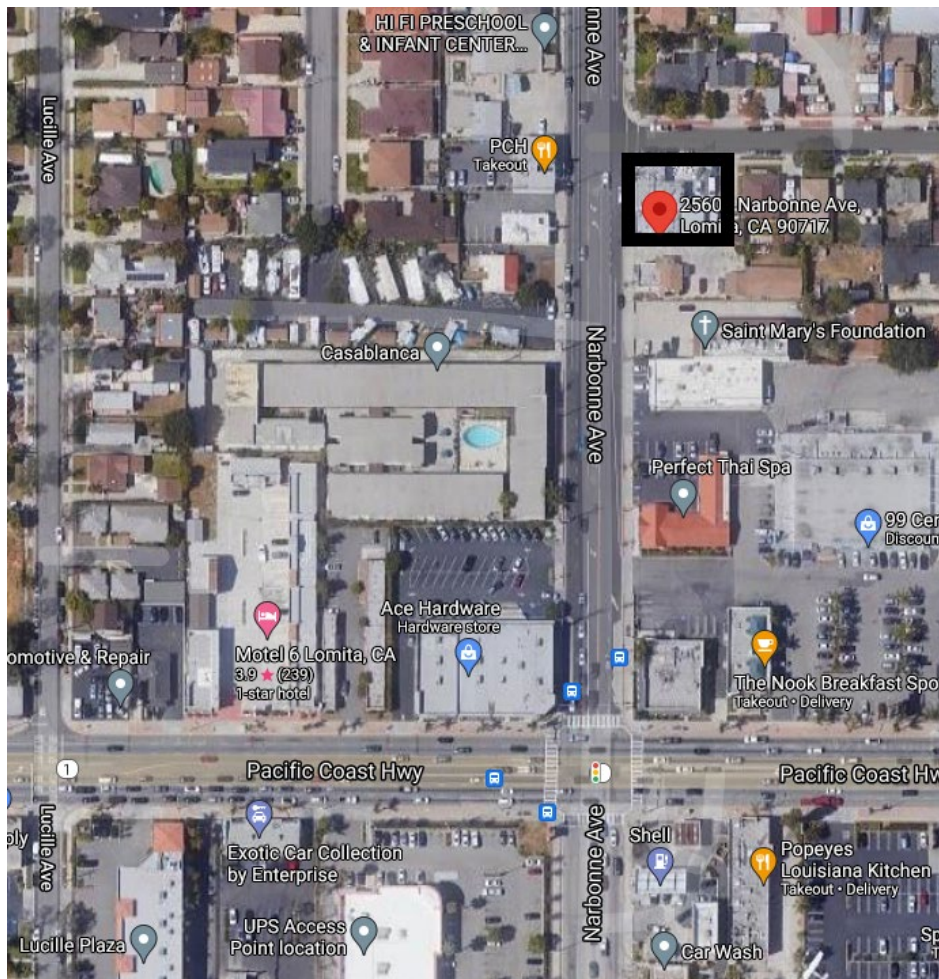


General Plan

Land Use Designations

-  Downtown Overlay
-  Residential (Agricultural)
-  Residential (Low Density)
-  Residential (Medium Density)
-  Residential (High Density)
-  Commercial
-  Industrial/Manufacturing
-  Publicly Owned Land
-  Mixed Use Overlay

ATTACHMENT 4 – AERIAL PHOTOGRAPH





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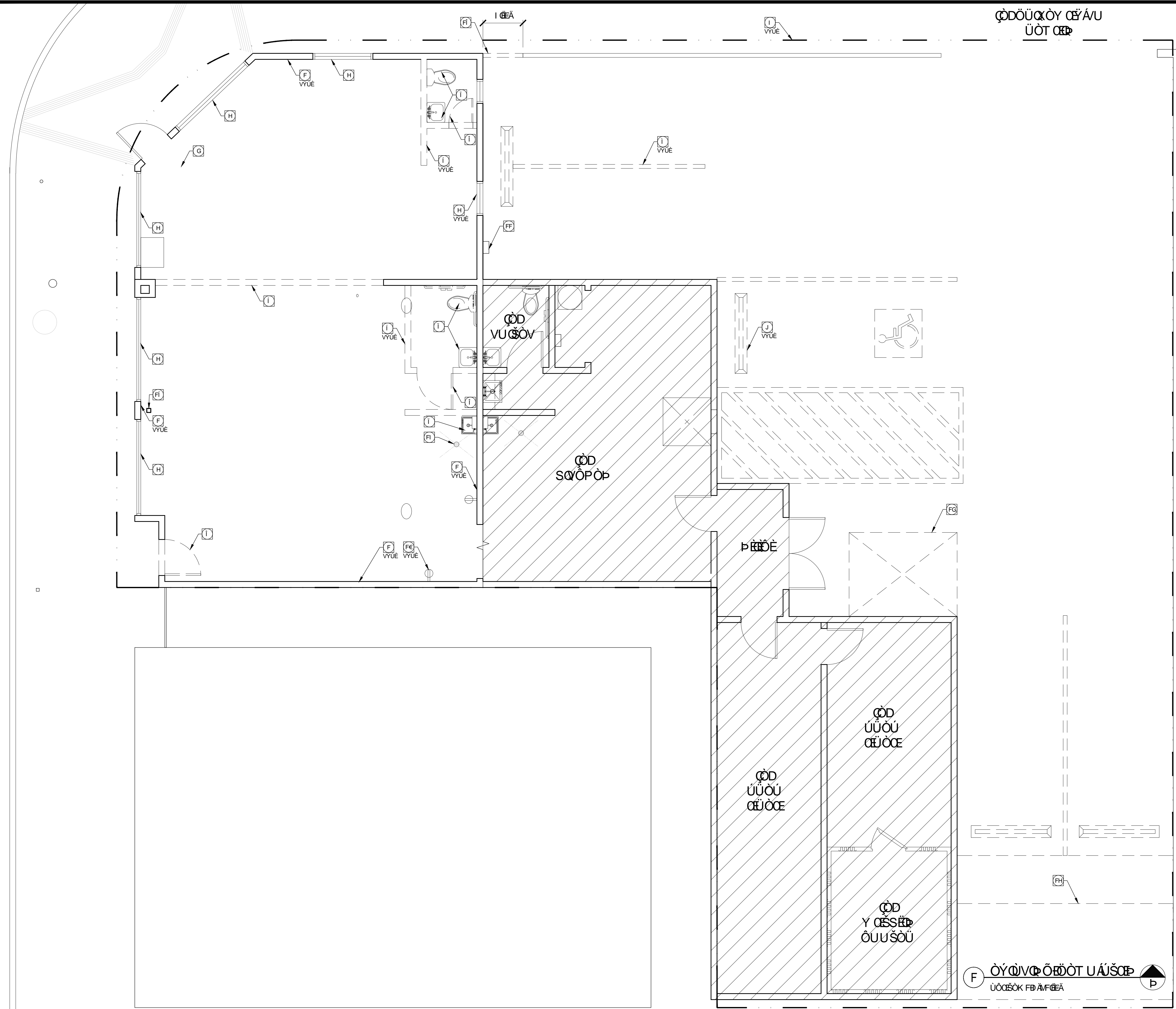
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1411 10th Street, Los Angeles, CA 90015 | Tel: 213.380.8498 | Fax: 213.380.8499 | www.kellyarchitects.com



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KELLY ARCHITECTS
 Interior Architecture | Interior Design
 2404 Wilshire Blvd, Suite 1e
 Los Angeles, CA 90057-3310
 Tel: 213.380.8498
 Fax: 213.380.8499

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BITES & BASHES

Bites & Bashes
25600 Narbonne Ave
Lomita, CA 90717

To the City of Lomita:

We are requesting an upgrade of our CUP to allow for a Type 47 liquor license from our current Type 41 liquor license. During the pandemic, sales of beer and wine at our café and for small catered events was instrumental to our survival, but we missed out on many business opportunities because we did not have a Type 47 license. As we continue to recover from our 67% reduction in sales, we hope that adding this entitlement will help ensure the long-term stability of our business.

Our café is only open Tuesday-Saturday from 8 am to 3 pm. We have no intention of increasing our hours at the café, and will primarily use this license for off-premise catering orders. We have never had any issues in regards to service on account of serving beer and wine, or for any other reason.

We so appreciate the support the City of Lomita has shown us over the years. We love being in this community, and look forward to many more years to come.

With deep gratitude,

Crystal Coser
President, Bites & Bashes

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING CONDITIONAL USE PERMIT NO. 304 TO ALLOW A RESTAURANT AND CATERING BUSINESS LOCATED AT 25600 NARBONNE AVENUE TO SELL BEER AND WINE FOR CONSUMPTION ON THE PREMISES IN THE COMMERCIAL GENERAL ZONE, AND TO SELL BEER AND WINE IN CONJUNCTION WITH THE CATERING BUSINESS FOR CONSUMPTION OFF THE PREMISES. FILED BY CRYSTAL COSER, 56 EASTFIELD DRIVE, ROLLING HILLS, CA 90274.

Section 1. Recitals .

- A. A request to allow a restaurant and catering business located at 25600 Narbonne Avenue to sell beer and wine for consumption on the premises in the Commercial General Zone, and to sell beer and wine in conjunction with the catering business for consumption off the premises. Filed by Crystal Coser, 56 Eastfield Drive, Rolling Hills, CA 90274. (Applicant).
- B. The subject site is zoned C-G (Commercial General) and designated "commercial" by the City's General Plan. Pursuant to Section 11-1.45.05(18) of Article 45 (C-G, Commercial General), restaurants serving alcoholic beverages are permitted in the C-G zone with the approval of a conditional use permit, subject to the requirements of Article 56 (Sale of Alcoholic Beverages).
- C. On September 11, 2017, the Planning Commission held a duly noticed public hearing and accepted public testimony for and against the item.
- D. The proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) guidelines. This category of exemptions consists of the operation, permitting, licensing, or minor alteration of existing public or private structure facilities, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination that it may be found to be exempt from the requirements of CEQA. The proposed conditional use permit is for beer and wine sales (Type 41) at a Bona Fide Eating Place. The existing structure will be renovated. There is no new square footage proposed with this project. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.
- E. The Planning Commission finds that Applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of citizens in general and the persons who work, or visit this development in particular.

Section 2. Findings.

Pursuant to Section 11-1.70.09 (Conditional Use Permit) and Article 56 (Sale of Alcoholic Beverages) of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation, that the following circumstances exist:

- 1) *The proposed use is allowed within the District with approval of a CUP and complies with all other applicable requirements of this Article;*

Section 11-1.45.05(18) states that restaurants serving alcoholic beverages are permitted in Commercial General Zone with the approval of a conditional use permit and subject to the requirements of Article 56.

- 2) *The proposed use is consistent with the General Plan;*

The General Plan land use designation for this area is commercial which provides for retail sale activities and limited service establishments. A use that allows a restaurant or a caterer to sell beer and wine is consistent with the General Plan.

- 3) *The design, location, size and operating characteristics are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity;*

A previous food service establishment occupied this site for several years. The project involves no new additional square footage. Applicant is renovating the interior to include a counter and table seating for 37 persons. The general operating hours will be Monday through Saturday from 10:30 a.m. to 10:00 p.m. Applicant also anticipates being open on Sundays for brunch.

Applicant's establishment has not been the subject of any recent code enforcement complaints nor does it have any incident history with the Los Angeles County Sheriff Department. A restaurant that serves beer and wine will enhance the dining experience and not endanger or have an adverse effect on persons located in the vicinity. A restaurant that also directs beer and wine sales to catering customers for off-site consumption will also not have an adverse effect on the property of other persons located in the vicinity.

- 4) *The site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood;*

The site meets all of the current development features prescribed under the Zoning Ordinance, except for parking. The October 14, 1997 variance that was granted to expand a building specified that the site provide six parking spaces. The site presently has a storage structure that obstructs the required tandem parking area. Staff has added a condition of approval requiring the storage structure to be removed and six parking spaces provided on-site. (Condition of Approval (COA) # 20)

- 5) *The site is served by highways and streets adequate to carry the kind and quantity of traffic such use would generate.*

The project is located on Narbonne Avenue between 256th Street and Pacific Coast Highway. Narbonne Avenue is a major, north-south street in the City which is adequate for the kind and

quantity of traffic the proposed use will generate.

- 6) *Any business selling alcoholic beverages for off-site or on-site consumption shall be located a minimum of 300 feet from schools, parks, public recreation areas and any other use determined to be a sensitive use by the Community Development Director. The distance shall be measured from the closest property line from the subject parcel to the closest property line of the parcel containing the sensitive use (LMC § 11-1.56.03(C)).*

There is one sensitive use located within 300 feet of the subject property:

Sensitive Land Use	Address
Kids Story Inc./Preschool	25527 Narbonne Ave.

- 7) *Any business with square footage greater than 2,500 shall be located at least 300 feet from any other establishment authorized to sell alcoholic beverage for off-site consumption.*

There is one other business selling alcoholic beverages for off-site consumption:

Off-Site Alcoholic Beverage Sales Business	Address
Ace Hi Liquors	25511 Narbonne Ave.

Section 11-1-56.03 (D) of the Lomita Municipal Code states that the Planning Commission may modify the distance requirements when granting a conditional use permit if the following additional findings can be made. This section enables the City to scrutinize the impacts of a new alcohol use or modification on existing sensitive uses.

1. *The proposed use will not have an adverse impact on public safety. Factors that could be considered to determine impact include but are not limited to Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding reporting districts, Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding properties and the types of crime within those same areas.*

Bites and Bashes' on-site consumption of beer and wine at bona fide eating establishment should not impact public safety. The proposed off-site consumption sales differ from that of Ace Hi Liquors, which is located within 300 feet of the site. Bites and Bashes will not offer "cash and carry" beer and wine sales. Instead of a Bites and Bashes' customer taking possession of beer and/or wine at the restaurant/catering location, Bite and Bashes will deliver the beer and wine along with the catered food to the customer's venue. Condition of Approval No. 21 has been added to document this distinction. Therefore, customers are not coming and going as they do when they purchase alcohol from the nearby liquor store

According to the Los Angeles County Sheriff's Department, there were no incidents at Applicant's business address in 2016. The Sheriff Department's 2016 Crime Statistics for all of Lomita reported

406 incidents. In Reporting District (RD) 1711 (the RD in which the subject property is located), there were 85 total incidents cited. The incidents in RD 1711 were above the average of Lomita's districts, but district 1751, which reported only 9 incidents, skewed that average. Forty percent of the incidents in RD 1711 were attributed to auto-related crimes; the proposed use would not contribute to this problem. Since food service is still the dominate nature of the business, the proposed wine and beer consumption should not have an adverse impact on public safety.

2. *The business will provide beneficial commercial vitality to the area.*

Part of Lomita's unique character comes from the diversity of its restaurants. Bite and Bashes' fresh Californian-Mediterranean fare will include gourmet salads, sandwiches, pastas, and pizza, and will expand the type of cuisine offered in Lomita. The anticipated hours of operation will be Monday through Saturday from 10:30 a.m. to 10:00 p.m. After the business is established, Bites and Bashes plans to open on Sunday for brunch. In addition, restaurants inject energy into a commercial area. They create a social gathering place where people can connect and with a suitable physical space for people to congregate.

3. *The use will not be objectionable or detrimental to surrounding properties and the neighborhood.*

A food service business has operated in this location for several years. The option to consume beer and wine enhances the dining experience, and serving beer and wine should not cause any objectionable effects on the surrounding properties. Based on the parking lot configuration, COA # 14 has been added to provide convenient, dinner-time access to on-site parking and limit delivery time to 7:00 a.m. to 5:00 p.m.

The City Code Enforcement Division does not have any complaints on file for Applicant's business. The addition of beer and wine sales does not materially change the business's effect on the neighborhood.

Section 3. The Planning Commission of the City of Lomita hereby approves Conditional Use Permit No. 304 subject to the following conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the application received on July 25, 2017 on file with the Planning Division, and may not be transferred from one property to another.
2. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
3. By commencing any activity related to the project or using any structure authorized by this permit, Applicant accepts all of the conditions and obligations imposed by this permit, and waives any challenge to the validity of the conditions and obligations stated therein.

4. Applicant agrees, as a condition of adoption of this resolution, at Applicant's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicant's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
5. Before placing or constructing any signs on the project property, Applicant shall obtain a sign permit from the City. Except as provided in the sign permit, Applicant may not change any signs on the project property.
6. If Applicant, owner or tenant fails to comply with any of the conditions of this permit, the Applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code.
7. This permit shall not be effective for any purpose until a duly authorized representative of the owner of the property has filed with the Department of Community Development, a notarized affidavit accepting all the conditions of this permit. This affidavit, or a copy of this resolution, shall be recorded with the County Recorder and is binding on successors. If the Applicant is a corporation, then an officer of the corporation shall sign the acceptance affidavit.

PLANNING STANDARD CONDITIONS

8. Any application for a minor modification to the project shall be accompanied by three copies of plans reflecting the requested modification, together with applicable processing fees.
9. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
10. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission.

PLANNING SPECIAL CONDITIONS

11. No sale, service, or consumption of beer and wine may occur outside the establishment unless a special event permit is approved.
12. The establishment shall be operated as a "bona fide public eating place" as defined by Business and Professions Code section 23038. In the event that food service ceases on the property, this permit for the sale of beer and wine may be modified or revoked pursuant to the Lomita Municipal Code.
13. The hours of operation (*i.e.*, the sale of both food and all beer and wine) shall be limited from 7:00 a.m. to 12:00 a.m., Monday through Sunday. The kitchen shall remain open during all hours of operation.

14. Wholesale deliveries shall occur between 7:00 a.m. and 5:00 p.m.
15. All crimes occurring inside or outside the project property shall be reported to the Lomita Station of the Los Angeles County Sheriff's Department at the time of the occurrence.
16. No sales to obviously intoxicated patrons shall be allowed.
17. On a daily basis, Applicant shall remove cigarette butts at a distance of 25 feet in both directions from its front door on Narbonne Avenue.
18. The rear door(s) shall be kept closed at all times during the operation of the business except in cases of emergency and to permit deliveries. Said door(s) shall not consist solely of a screen or ventilated security door.
19. This resolution is in conjunction with and shall not supersede Zone Variance # 133.
20. The storage structure along the south property line shall be removed and the space where the storage structure existed shall be striped for four tandem parking spaces.
21. Sales of beer and wine for off-site consumption shall be provided to customers only in conjunction with a catered, off-site event. Off-site sales shall be conducted by delivery; customers may not take possession of beer and wine at 25600 Narbonne Avenue for off-site consumption.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 11th day of September, 2017 by the following vote:

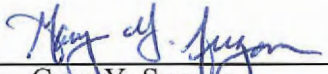
AYES: Commissioners: Hoy, Cammarata, Dever, Popelka, Santos, Thompson, Graf

NOES: Commissioners: None

ABSENT: Commissioners: None



Michael Graf, Chair

ATTEST: 

Gary Y. Sugano
Assistant City Manager

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



EKW['QH'NQO KW' "
RNCPP KPI 'EQO O KUKQP "TGRQTV"

VQ< Rrcppkpi 'Eqo o kukqp" Lwpg"36."4243"

HTQO < Nwte'O ceO qttep.'Cuukuxcpv'Rrcppgt "

UWDLGEV< Ukg'Rrcp'Tgxky 'P q03433'cpf 'Xgukpi 'Vgpcvkg'Rctegni'O cr 'P q0': 524; "
48497'Cr r kcp'Y c{ 'kp'vj g'Ukpi ng/Hco kn{ 'Tgukf gpvkn'*T/3+' qpg"

CRRNE CP VU'TGS WGVU"

Vj g"cr r nrecpv"ku"tgs wgvkpi "c" Xgukpi "Vgpcvkg" Rctegni'O cr "vq" uwdf kxf g" c" 45.422" us wctg/hqv"
ukpi ng/hco kn{ "tgukf gpvkn'mv'kpq"vj tgg"pgy "mqw'cv'48497'Cr r kcp'Y c{ 0'Vj g'r tqlgev'cuq"lpenmf gu" c"
Ukg'Rrcp'Tgxky "vq"eqpwt wev'c"ukpi ng/hco kn{ "tgukf gpeg"qp"Nqv'3"qpn{ 0'CV'vj ku'ko g."pq"pgy "j qo gu"
ctg"r tqr qugf "qp"Nqv'4"qt"50'Vj g'tgs wgv'kpenmf gu" c"tget" { ctf "ugvdcem'o qf kkecvkqp"htq"Nqv'3"cpf "c"
r gtko gvt"y cm'o qf kkecvkqp"vq"wkkl g" c"y qgf lxp{ n'hgpeg"y j gtg" c"dmem'y cm'ku'v' r kcmf "tgs wktgf 0'
Vj g'uwdlgev'ukg'ku'mqecv'f "kp"vj g'Ukpi ng/Hco kn{ "Tgukf gpvkn'*T/3+' qpg0'Vj ku'r tqlgev'ku'ecv'gi qtkecmf "
gzgo r v'htqo "Ecikhtpk" Gpxkqpo gpvkn' S wcrkv{ "Cev'r gt "Ugevkpu" 37525*c+" cpf " 375370' Hrgf " d{ "
Mgxlk' O eO kpp. '5244; 'Mkpi utk' i g'F tkxg. 'Tcpej q 'Rcmu'Xgtf gu. 'EC"; 2497*'oCr r nrecpvö+

TGEQO O GPF CVKQP "

Uchh'tgeqo o gpf u"vj g"Rrcppkpi "Eqo o kukqp"cf qr w"vj g"tguqmwkqpu"vq"cr r tqxg"Ukg'Rrcp'Tgxky "
P q0'3433"cpf "r tqxkf g" c"htqo cn'r qukxkg"tgeqo o gpf cvkqp"vj cv'vj g"Ekf{ "Eqwpeki"cr r tqxgu. "Xgukpi "
Vgpcvkg"Rctegni'O cr "XVRO +"P q0': 524; . "cpf "vj g"eqttgur qpf kpi "EGS C"Ecvgi qtkecn'Gzgo r vkqp. "
uwdlgev'vq"vj g"eqpf kqpu'qh'cr r tqxcn'eqpvc'kpgf "kp"vj g"cwcej gf "f tch'tguqmwkqpu" Cwcej o gpw'3"cpf "
4+0'

DCEMI TQWPF "

P gy "f gxgru o gpv'kp"vj g'Ukpi ng'Hco kn{ "Tgukf gpvkn'*T/3+' qpg'ku'iko kgf "vq"cp"qxgtcm'j gli j v'qh'49"
hggv0J qy gxgt. "r tqr gt vku'mqecv'f "uqwj "qh'Rcekhe"Eqcu'V ki j y c{ "tgs wktg" c"J gli j v'Xctkcvkqp"Rgto kv"
htq"cp{ "utwewt g"y kj "c"j gli j v'kp"gzegu'qh'38" hggv0'Vj g'kp'vkv'ku'pqv'vq"htv'j gt'iko kv'qxgtcm'j gli j v'
dgmqy "38" hggv' dw'tcvj gt "vq" gpuwtg" r tqlgev' f guki p" r tguqtxgu" gzku'kpi "xky u" qp"vj g"j km{ "vgttckp"
v' r kcmf "hqw'f "uqwj "qh'REJ 0"

Vj g"cr r nrecpv'qtki kpcmf "kpv'p'f gf "vq"dwkf "ukpi ng/hco kn{ "f y gm'kpi u"qp"cm'vj tgg"r tqr qugf "pgy "mqw0'
Vj g'qtki kpcn'r tqr qucn'lpenmf gf "c" f guki p"kp"y j lej "vj g"qxgtcm'j gli j v'qh'vj g'j qo gu'qp"Nqv'4"cpf "5"
y gtg"i tgcvt"vj cp"38" hggv0'Cu'uwej . "vj g"cr r nrecpv'r tgxkqun{ "cr r rkgf "htq" c"J gli j v'Xctkcvkqp"Rgto kv"
y j lej "ctg"htu' uwdlgev' vq" cf o kpkutcvkxg"tgxky " d{ "vj g" F kgevt" qh'Eqo o wkv{ "cpf "Gepqo ke"
F gxgru o gpv'OP q'k'egu'ctg'ugpv'vq"vj g'uwttqwpf kpi "eqo o wkv{ "cpf "kh'o qtg"vj cp"7" "qh'vj g'pgli j dqtu"
qr r qug"vj g"r tqr qugf "j gli j v"vj gp"vj g"tgs wgv'ku'grgxcv'f "vq"vj g"Rrcppkpi "Eqo o kukqp"htq"tgxky 0'
Uchh'tgegkxgf "o qtg"vj cp"7" "qh's wcrkkgf "qdlgev'kpu"cpf "cu" c"tguwv."vj g"cr r nrecpv'ku"tgeqpu'f gt kpi "

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vj g'j qo g'f guki pu'qp'Nqv'4'cpf'Nqv'50'k'vj g'o gcpvko g.'vj g'cr r rkecpv'y qwf'rkmg'vq'r tqeggf'y kj 'vj g'
uudf kxkukap'vq'etgcvg'vj g'vj tgg'qv'cpf'vq'rqecvg'qpg'ukpi ng'hco kx' 'tgukf gpeg'qp'Nqv'30'Vj g'j qo g'qp'
Nqv'3'y cu'f guki pgf'y kj 'c'o czko wo 'j gli j v'qh'38'20'cdqyg'vj g'cxgtci g'pcwtrn'i tcf g'cpf'ecp'
vj gtghqtg'dg'tgxlgy gf'y kj qw'c'j gli j v'xctk'vq'p'r gto k0'Vj g'cr r rkecpv'y kn'dg'uwdlgev'vq'cf f kxkqpcn'
tgxlgy 'hqt'hkpcnf guki p'eqpukf gtcv'kpu'qh'cp' 'r tqr qugf'ukpi ng'hco kx' 'tgukf gpegu'qp'Nqv'4'cpf'50'

Rtkqt" vq" uwo kukap" vq" vj g" Rrppkpi " Ego o kukap." vj g" r tqlgev" tgegkxgf" vj g" hqny kpi "
tgeqo o gpf cvkpu'cpf'cr r tqxcn0"

30 Qp'Cr tkl'43.'4243.'vj g'Ek' 'qh'Nqo kc'au'eqpuw'kpi "gpi kpggt.'S wcpwo 'S wcrk' 'Eqpuw'kpi
tgeqo o gpf gf'cr r tqxcn'qh'Xgukpi "Vgpvc'xg'Rctegn'O cr "P q0: 524; . "uwdlgev'vq'vj g'r wdrke
j gctkpi 'r tqegu0

40 Qp'Ugr vgo dgt'4; . '4242.'vj g'Eqwv' 'qh'Nqu'Cpi grgu'Hkt'F gr ctvo gpv'tgeqo o gpf gf' r tqlgev
cr r tqxcn'uwdlgev'vq'vj g'r wdrke'j gctkpi 'r tqegu0

Gzku'kpi 'Eqpf kxkpu'

Vj g'uwdlgev'r tqr gtv' 'ku'c'45.422'us wctg/hqqv.'hkg/ukf gf'j knukf g'qv'0'Vj g'r tqr gtv' 'ku'ewttgpv' 'xcecpv'
dw'hqto gtn' "eqpvc'kpgf'cp"wpk'j cdkcdng'ukpi ng'hco kx' 'j qo g'cpf'cp'ceeguqt' "utwewtg."dqj 'qh'
y j kej 'pq'hqpi gt'gzku'vq'vj g'ukg'0'Vj qwi j 'vj g'r tqr gtv' 'cu'cf f tgu'ku'qp'Cr r kcp'Y c' . 'k'f'qgu'pq'vj cxg'
htqpci g'qp'Cr r kcp'Y c'0"

Rtqr gtv' 'J kxqt' { <48497'Cr r kcp'Y c' '*CRP <976; /223/257+'

48497'Cr r kcp'Y c' 'ku'c'r qt'vq'p'qh'Nqv'430'k'3; 78.'o quv'qh'Nqv'43'y cu'uudf kxk gf' '*Vtcev'O cr "P q0'
439; : +cpf'etgcvgf'Qdgt'Cxgpwg.'r ctv'qh'I w' uqp'Utggv.'cpf'vj g'qv'f wg'uqwj 'qh'vj g'r tqr gtv' 'wr'vq'
484^{pf}'Utggv'0'

k'vj g'gctn' '3; 92u.'vj g'y guvgn' 'r qt'vq'p'qh'48497'Cr r kcp'Y c' 'y cu'uqrf' 'cpf'vj g'r ctegn'npqy p'cu'
48457'Qdgt'Cxgpwg'y cu'etgcvgf'0"

Rtqr gtv' 'J kxqt' { <48457'Qdgt'Cxgpwg'*CRP <976; /226/256+'

C"ukpi ng'hco kx' 'j qo g'ku'rqecvgf'cv'48457'Qdgt'Cxgpwg'0'k'ku'cp'cr r tqzko cvg'9.622'us wctg'hqqv'
r ctegn'vj cv'y cu'etgcvgf'd' { 'c'i tcv'f gfg. 'tcv'gt'vj cp'vj tqwi j 'c'uudf kxkukap'o cr 'r tqegu0"

k'3; 9: . "c'Egt'v'k'ecvg'qh'Ego r rkepeg'vq'vj g'uudf kxkukap'ny "tgs vkt go gpw'y cu'tgeqtf gf'0'Cuq'k'p'
3; 9: . "cp'k'gt'xqecdn'Qhgt'qh'F gf'k'cv'k'p' '*Gzj kdk'k'y cu'tgeqtf gf'f gf'k'cv'k'pi 'c'r qt'vq'p'qh'vj g'qv'vq'
vj g'Ek' 'cpf'c'unqr g'gcugo gpv'hqt'c'r wdrke'tqcf'0'Vj g'Ek' 'hqtgucy'48497'Cr r kcp'Y c' 'cu'gxgpwcn'
tgf'gxgnr o gpv'cpf'Ek' 'tgeqtf u'eqpvc'kpgf'vj g'f guki p'hqt'c'ew'f g'uce' '*Gzj kdk' L'0'48457'Qdgt'
Cxgpwg'ku'ugr'ctevgn' 'qy pgf'cpf'qpn' 'kpxq'xgf'dgecvug'qh'Qdgt'Cxgpwg'au'hw'wt'g'ut'ggv'f'gxgnr o gpv'
cpf'f gf'k'cv'k'p'0'

CPCN[UKU'

I gpgtcn'Rcp'F guki pcv'k'p'

Vj g'I gpgtcn'Rcp'f guki pcv'k'p'hqt' vj g'uwdlgev'r tqr gtv' 'ku'Nqy /F gpuk' 'T gukf gpv'k'cn'0' Vj g'Nqy /
F gpuk' 'T gukf gpv'k'cn'f guki pcv'k'p'oc'rr'rk'gu'vq'ct'gcu'qh'vj g'Ek' 'y j kej 'ct'g'f'gxgnr gf'y kj 'ukpi ng'hco kx' '
t gukf gpv'k'cn'w'ugi'0'Vj g'r tqr qugf'vj tgg'qv'f'gxgnr o gpv'y kn'j cxg'c'f gpuk' 'qh'9'wpku'r gt'cet'g'0'Vj ku'
ecre'w'v'k'p'qo ku'vj g'qv'u'0'tki j v'qh'y c' 'f gf'k'cv'k'p'ct'g'c'0'Vj g'r tqr qugf'ug'xgp'wpku'r gt'cet'g'hcmu'

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 URT'Pq03433.'XVRO'Pq0: 524; "
 Rci g'5'qhl; "

y kj kp'vj g'tcpi g'cpf 'ku'eqpukv'p'y kj 'vj g'Nqy /F gpukv{ 'T gukf gpvkn'ncpf 'wug'f guki pcvkp'f gpukv{ 'qh'
 70 'vq': 03'wpku'r gt'cetg0"

\ qpkpi 'F guki pcvkp'

Vj g' qpkpi 'f guki pcvkp' hqt'vj g'uwdlgev'r tqr gtv{ 'ku'T/3'*T gukf gpvkn'Ukpi ng/Hco kn{ +0'Vj g'T/3'\ qpg'
 ku'gucdrkuj gf 'vq'etgcv'qpg/hco kn{ 'f y gmkpi 'ctgcu'y kj 'o kpk wo 'hqv'ctgcu'qh'7.222'us wctg'hggv0'Vj g'
 vj tgg'r tqr qugf 'ukpi ng/hco kn{ 't gukf gpvkn'ncpf'g'kp'uk' g'htqo '7.522'us wctg'hggv'vq': .472'us wctg'
 hggv'y j lej 'ku'eqpukv'p'y kj 'vj g'o kpk wo 'hqv'uk' g'gucdrkuj gf 'd{ 'vj g'T/3' qpkpi 'f kntkv0'

Cf lcegpv\ qpkpi 'cpf 'Ncpf 'Wugu'

Vj g'uwdlgev'r tqr gtv{ 'ku'wttqwpf gf 'd{ 'T/3' qpgf 'r tqr gvku0'"

P qtj "	T/3'*T gukf gpvkn'Ukpi ng'Hco kn{ + Ncpf 'wug<'Ukpi ng/hco kn{ 'f y gmkpi
Uqwj "	T/3'*T gukf gpvkn'Ukpi ng'Hco kn{ + Ncpf 'wug<'Ukpi ng/hco kn{ 'f y gmkpi
Y guv'	T/3'*T gukf gpvkn'Ukpi ng'Hco kn{ + Ncpf 'wug<'Qknll cu'Nkpg
Gcuv'	T/3'*T gukf gpvkn'Ukpi ng'Hco kn{ + Ncpf 'wug<'Ukpi ng/hco kn{ 'f y gmkpi

Xgukpi 'Vgpwvkg'Rct egriO cr "

kp'Cr tki'qh'4243.'vj g'Ekv{ au'eqpuw'kpi "gpi kpggt.'S wcpwo "Gpi kpggtkpi ."kpcrk' gf "vj gkt'tgxky "cpf "
 tgeqo o gpf gf " cr r tqxcn' qh' XVRO " P q0' : 524; " y kj " eqpf kxkpu0' Vj g' Ekv{ " Rwdrlc" Y qtmu" cpf "
 Gpi kpggtkpi "ucchi'cnuq'tgxky gf "vj g'r ctegn'o cr 0'Vj g'Eqwv{ "qh'Nqu'Cpi grgu'Hkt g'F gr ctvo gpva"
 Ncpf "F gxgnr o gpv'F kxkukp"tgxky gf "vj g'r ctegn'o cr "cpf "ukv'r ncp0'Vj g{ "tgeqo o gpf "vj cv'vj ku"
 r tqlgev'dg'cr r tqxgf "cpf 'r tqeggf 'y kj 'vj g'r wdrlc'j gctkpi 'r tqegu0'

Vj g'r tqlgev'j cu'dggp'tgxky gf "kp'ceeqtf cpeg'y kj "Ct veng"6"*F guki p+qh'Ej cr vgt "4"*F kxkukp"qh"
 Ncpf +qh'Vkv'KZ'qh'vj g'NO E"cu'hmqy u<

F gxgnr o gpv' Ucpcf ctf "	Rt qlgev'	Cmy gf II gs wkt gf "	Eqo r rlcpeg'
Utggv'Crki po gpv' Hkpvci g" *Uge033/40878+	Nqv'3<66040' Nqv'4<62070' Nqv'5<62070' 48457'Qdgt'Cxg0'620'	O kp062'hggv'qh'htqpvci g'lv'	[gu"
Utggv'I tcf gu" *Uge033/40879+	32' "	O kp'Utggv'I tcf g'06' "cpf " O cz0Utggv'I tcf g'32' "	[gu"
Ewrf g'uce'Utggv' F guki p" *Uge033/40884+	Eqphqto u'vq'Ekv{ au' Ur gekh'ecv'kpu"	Rtqxkf g'Cf gs wcv'Vwtpkpi " Tcf kwu"	[gu"
Nqv'F guki p" *Uge033/40893+	Nqv'3<7.522'uh' Nqv'4'7.; 82'uh' Nqv'5<.472'uh'	Ctgc<7.222'uh'o kp0' Hkpvci g<620'o kp0'	[gu"

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Vj g"r tqr qugf "vpcvkg" r ctegn'o cr "vq" udf kxkf g" qpg" gzvkpi "mv" kvq" vj tgg" pgy "ukpi ng" hco knf " tgukf gpvcn'nvu"ku"lp" eqplqto cpeg"y kj "Ugevkqp"33/4038"qh"vj g"Nqo kc"O wplekr cn'Eqf g"cpf "vj g" Ekv{au'I gpgtcn'Rrcp0'

Ekwrcvkqp"cpf "Ceeguu"

Vj qwi j "vj ku"r tqr gtvl "j cu"cp"Cr r kcp"Y c{ "cf f tguu."k'f qgu"pqv'j cxg"htqpci g"qp"Cr r kcp"Y c{ 0'Vj g" vj tgg"r tqr qugf "nvu"y kn'cm'j cxg"htqpci g"cpf "i ckp"ceeguu"htqo "Qdgt" Cxgpwg0 Rt gupvl. "Qdgt" Cxgpwg"ku"ghgevkgnf "c"utggv'ugi o gpv'y kj "c"urki j v'hrctg"cv'vj g"gpf "qh'vj g"utggv'vq"ceeqo o qf cvg"vj g" r rppgf "ewnf g/uce0Cu'r ctv'qh'vj g"fgxgnr o gpv."c"ewnf g/uce"y kj "c"hxg/hqv'y kf g'ukf gy cmly kn'dg" etgcvgf. "vj wu"eqo r ngv'pi "vj g"f guki p"qtki kpcmf "gpxkukqpgf "d{ "ekv{ "qh'lekcni"lp"vj g"3; 92au0'Vj g"Ekv{au' Rwdrke"Y qtmu'F gr ctvo gpv'j cu'tgxky gf "cpf "uwr r qtuv'vj g"ewnf g/uceau'f guki p0"

Hkpf kpi u"

Rwtuwpv'vq"Ecrkhtpkc"i qxgtpo gpv'Eqf g"Ugevkqp"88632"gv'ugs0"Ugevkqp"886340. "Udf kxkukqp"O cr " Cev+ "Ugevkqp"33/4038"qh"vj g"Nqo kc"O wplekr cn'Eqf g."cpf "vj g"Ekv{au'I gpgtcn'Rrcp. "dcugf "qp"vj g" gpvt g"tgeqtf "dghgt"vj g"Rrcppkpi "Eqo o kulkqp"cpf "cm'y tkwgp"cpf "qtcn'gxf gpeg"r tgu'pvgf "vq"vj g" Rrcppkpi "Eqo o kulkqp."vj g"Rrcppkpi "Eqo o kulkqp"hkpf u'cu'hmny u<

30 Vj g"r tqr qugf "udf kxkukqp"ku" f guki pgf. "vq"vj g"gzv'pv' hgcukdng. "vq" r tqxkf g"ht "r cuukxg" qt pcwt cn'j gcv'pi "qt "eqqkpi "qrr qt wplkku0"Ugg'I qx0Eqf g"Ugevkqp"8869500+

Vj g'f guki p"qh'vj g"udf kxkukqp"etgcvgu" c"hxg/hqv'y kf g'r ctny c{ "lp"y j lej "utggv'tgguy kn'dg r rpv'gf "dgy ggp"ftkxy c{ "cr tqu"cpf "lp"wtv'vj g{ "y kn'nggr "cf lqkpi "r cxgf "uwhcegu"eqqr0k' cnuq"gpv'wtgu"vj cv'c" f gf kecvgf "r rpv'pi "ur ceg"gzkuu"lp"r gtr gwkv{ 0'Hkpcmf. "vj g"nvu"cpf "j qo gu ctg"qtkgpvcgf "gcu'y guv'cpf "y kn'ecr wtg"vj g"qegcpau'y guv'gn{ "dtgg| gu0

40 Vj g"r tqr qugf "udf kxkukqp"cpf "vj g"r tqxkukpu"ht "ku" f guki p"cpf "ko r tqxgo gpv'ct g'eqpukwgpv y kj "vj g"i gpgt cn'r rcp"ht "vj g"Ekv{ "qh'Nqo kc "SI gpgt cn'Rrcp\$+ "Ugg'I qx0Eqf g"Ugevkqp 88696=Nqo kc"O wplekr cn'Eqf g"Ugevkqp"40380+

Vj g'r tqlgev'ukg"j cu" c"i gpgtcn'Rrcp"Ncpf "Wug" f guki pcv'kp"qh'Nqy "F gpuk{ "T gukf gpvcn'cpf vj g'r tqr qugf "ukpi ng/hco knf "r tqlgev'ku"eqo r cvkdn'g"y kj "vj g"uwtqwpf kpi "wugu."y j lej "eqpukv'qh ukpi ng/hco knf "f y gnkpi u0'Vj g"ukg"ku"r j { ukecmf "uwxcdng"ht"vj g" f gpuk{ "qh'f gxgnr o gpv0'Vj g ukv"j cu" c" f gpuk{ "qh'9" f y gnkpi "wpku"r gt "cetg"y j lej "ku"eqpukwgpv'y kj "vj g"i gpgtcn'Rrcpau f gxgnr o gpv'f gpuk{ "qh'70 "vq": 03"wpku"r gt "cetg0

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kp"cf f k k q p" v q" y j g" f g x g n r o g p v" u c p f c t f u" r k u g f " c d x g." y j g" r t q l g e v" k u" u w d l g e v" v q" o k p k o w o " r c t n k p i " t g s w k t g o g p w u" V j g" r t q r q u g f " j q o g" q p" N q v' 3" y k m" e q p v k p" h q w / d g f t q q o u" c p f " r t q x k f g" c" y q / e c t" c w c e j g f " i c t c i g." y j k e j " o g g w u" y j g" E q f g a u" q p g / h c o k n { " q h h / u t g g v" r c t n k p i " t g s w k t g o g p v" N q v' 4" c p f " N q v' 5 a u" h w w t g" j q o g u" y k m" j c x g" v q" e q o r n { " y k j " q h h / u t g g v" r c t n k p i " t g s w k t g o g p w u" f g c k k g f " k p" U g e 0' 33 / 3088 Q 5 * C + c p f " y k m i" d g" t g x l g y g f " c f o k p l u t c v k x g n { 0' "

Gp x k t q p o g p v c n i F g v g t o k p c v k a p"

kp"ceeqtf cpeg" y kj "E" 37525*c+*P gy "Eqputwekqp" cpf "Eqpxgtukqp" qh" Uo cmi' Utwewtgu+" qh" y j g" E c r k h t p l c" G p x k t q p o g p v c n i S w e r k v { " C e v i" w k f g r k p g u." w r " v q" y j t g g" u k p i r g / h c o k n { " t g u k f g p e g u" c t g" g z g o r v" k p" c p" w d c p" c t g c a u" t g u k f g p v k n i" | q p g 0" V j g" r t q r q u g f " y c m i" o q f k h e c v k a p" k u" c u u q e k v g f " y k j " y j t g g" u k p i r g / h c o k n { " f y g n k p i " w p k u" k p" c p" w d c p" c t g c " v c v" k u" | q p g f " h q t" t g u k f g p v k n" w u g" c p f " y j g" y j t g g / h q q v" t g e t" { c t f " u g v d c e m" o g f l e c v k a p" c r r i g u" v q" q p n { " q p g" u k p i r g / h c o k n { " j q o g 0" C n u q." r g t " E" 37537" * O k p q t" N c p f " F k x k u k a p u" q h" y j g" E G S C" I w k f g r k p g u." y j g" f k x k u k a p" q h" r t q r g t v { " k p" w d c p k g f " c t g c u" | q p g f " h q t" t g u k f g p v k n i" w u g" k p v q" h q w" q t" h g y g t" r c t e g n i" o c { " d g" e q p u k f g t g f " g z g o r v" h t q o " E G S C" t g x l g y 0" V j g" r t q r q u g f " r t q l g e v" y k m i" f k x k f g" c" t g u k f g p v k n i" r c t e g n i" k p v q" y j t g g" h q u 0" C m i" q h" y j g" h q u" e q p h q t o " v q" y j g" I g p g t e n i" R r c p" c p f " | q p k p i " t g s w k t g o g p w u" c p f " t g s w k t g u" p q" x c t k c p e g u 0" k p" c f f k k a p." c m i" u g t x l e g u" c p f " c e e g u u" v q" y j g" r t q r q u g f " r c t e g n i" v q" r q e c n i" u c p f c t f u" c t g" c x c k r d r n g." y j g" r c t e g n i" y c u" p q v" k p x q i x g f " k p" c" f k x k u k a p" q h" c" r e t i g t" r c t e g n i" y k j k p" y j g" r t g x k q w u" 4" { g c t u." c p f " y j g" r c t e g n i" f q u" p q v" j c x g" c p" c x g t c i g" u m r g" i t g e v g t" y c p" 42" r g t e g p v 0" V j g" r t q r q u g f " U k g" R r c p" T g x l g y " c p f " X g u k p i " V g p v c k x g" R c t e g n i" O c r " o g g v" y j g" c d q x g" t g h g t g p e g f " t g s w k t g o g p w u" c u" q w r k p g f " k p" y j g" c w c e j g f " P q v l e g" q h" G z g o r v k a p 0" V j g t g h q t g." u v c h i" j c u" f g v g t o k p g f " y j c v" y j g t g" k u" p q" u w d u c p v k n i" g x k f g p e g" y j c v" y j g" r t q l g e v" o c { " j c x g" c" u k i p k h e c p v" g h g e v" q p" y j g" g p x k t q p o g p v 0' "

Rwdrke" P q v l e g"

P q v l e g" q h" y j k u" j g c t k p i . " f c v g f " L w p g" 4." 4243" y g t g" o c k r g f " v q" r t q r g t v { " q y p g t u" y k j k p" 522" h g g v" q h" y j g" u w d l g e v" r t q r g t v { " c p f " r q u g f " c v" y j g" u w d l g e v" u k g." E k v { " J c m" N q o k c" R c t n i" c p f " q p" y j g" y g d" r c i g 0" C u" q h" y j g" f c v g" y j k u" u v c h i" t r q t v" y c u" r t g r c t g f . " y t k w g p" e q t t g u r q p f g p e g" c i c k p u v" y j k u" r g e k h e" r t q r q u g f " r t q l g e v" k u" c w c e j g f 0' "

RE <Lmpg'36.'4243"
URT'Pq03433.'XVRO'Pq0: 524; "
Rci g"; 'qh'; "

Tgeqo o gpf gf "d{ <"



I tgi 'Mcr qxlej "
Eqo o wplv{ "cpf 'Geppqo ke"
F gxgnr o gpv'F ktgevt ""

Rtgr ctgf "d{ <"



Ncwtc "O ceO qttcp"
Cuukvcpv'Rrppgt"

CVVCEJ O GP VU<

30 F tchv'T guqmwkqp '*Xgukpi 'Vgpvcvkxg'Rctegn'O cr +
40 F tchv'T guqmwkqp '*Ukg'Rrnp'T gxkgy +
50 Xlekplv{ 'O cr
60 \ qplpi 'O cr
70 I gpgtcn'Rrnp'O cr
80 Cgtkcn'Rj qvqi ter j
90 P qvleg'qh'Gzgo r vkqp
:0 Xgukpi 'Vgpvcvkxg'Rctegn'O cr
;0 Ukg'Rrnp.'Grgxcvkqpu.'('Hqqt'Rrnp
320 Ktgxqecdrq'Qhgt'qh'F gf kecvkqp
330 3; 9: 'Ewrf g/Uce'F guki p
340 Y tkwgp'Qdlgevqpu

TGUQNWVQP "P Q0RE"4243/zz"

C" TGUQNWVQP " QH' VJ G" RNCPP RPI " EQO O KUKQP " QH' VJ G" EKVI " QH' NQO KVC" TGEQO O GP F RPI " EKVI " EQWPEKN" CRRTQXCN" QH' XGUVRPI " VGP VC VKXG" RCTEGN" O CR" P Q0 : 524; " HQT" VJ G" UWDF KXKUKQP " QH' 48497" CRRICP"Y C[" R VQ"VJ TGG"NQVU"RPI "VJ G"TGUF GP VKCN"URPI NG/HCO KN[" *T/3+" \ QP G0 HKNGF " D[" MGXR " OEO R P ." 5244; " MRPI UT RPI G" FTXG." TCPEJ Q'RCNQU'XGTF GU.'EC"; 2497"

VJ G'RNCPP RPI "EQO O KUKQP "QH'VJ G'EKVI "QH'NQO KVC'F QGU'J GTGD["HRF ."QTF GT." CPF "TGUQNXG'CUHQNNQY U"

Ugevkqp"30Tgekcnu"

C0 Vj g"Ekv{ "qh" Nqo kc" j cu" tgegkxgf " cp" cr r rkecvkqp" hqt" Ukg" Rrcp" Tgxkgy " cpf " c" Xgukpi Vgpvcxg" Rctegn' O cr "hqt" vj g" f gxgnr o gpv'qh" vj tgg" ukpi ng/hco kn{ "tgukf gpvkn' nqu' Hkrf " d{ Mgxkp" O eO kpp." 5244; " Mlpi utk i g' F tkxg. " Tcpej q' Rcmu' Xgtf gu.' EC"; 2497" *F gxgnr gt+." kp ceeqtf cpeg' y kj " Ct vkgu" 5" cpf ". " Ej cr vt " 4" qh' Vknz Kqh' vj g' Nqo kc' O wplek cnE qf g0

D0 Qp" O c{ "32." 4243. " vj g" Rrcppkpi " Eqo o kukqp" o qxgf " vj " tguej gf wrg" c" f w{ " pqvlegf " r wdike j gctkpi " vj " Lxpg" 36. " 42430

E0 Qp" Lxpg" 36. " 4243" vj g' Rrcppkpi " Eqo o kukqp" j g' f " c" f w{ " pqvlegf " r wdike" j gctkpi " cpf " ceegr vgf r wdike" vguo qp{ 0

F0 Vj g" uwdlgev" ukv" ku" | qpgf " Ukpi ng" Hco kn{ " Tgukf gpvkn' *T/3+" cpf " f guki pcvgf " Nqy / F gpuk{ " Tgukf gpvkn' d{ " vj g' Ekv{ au' I gpgtcn' Rrcp0

G0 Vj g" r tqr qugf " Xgukpi " Vgpvcxg" Rctegn' O cr " j cu" dggp" tgxkgy gf " d{ " vj g' Ekv{ au' Rwdike Y qtmu" F gr ctvo gpv." vj g" Eqwv{ " qh" Nqu" Cpi grgu" Hk g" F gr ctvo gpv." cpf " vj g" Ekv{ eqpuwncpvu. y kj " tgeqo o gpf gf " eqpf kkpqu' qh' cr r tqxcn' kpenmf gf " kp" vj ku' tguqnwvqp0

H0 Kp" ceeqtf cpeg" y kj " Ugevkqp" 37537" *O kpat " Ncpf " F kxkukpu+ " qh' vj g" EGS C " I wkf grkpgu " vj g f kxkukqp" qh' r tqr gtv{ " kp" wdcplk gf " ctgcu" | qpgf " hqt" tgukf gpvkn' wug" kvq" hqw" qt" hgy gt" r ctegnu o c{ " dg" eqpukf gtgf " gzgo r v' htqo " EGS C " tgxkgy 0' Vj g" r tqr qugf " r tqlgev" y km' f kxk g" c tgukf gpvkn' r ctegn' kvq" vj tgg" nqu' 0' Cm' qh' vj g" nqu' eqphqto " vj " vj g" I gpgtcn' Rrcp" cpf " | qpkpi tgs vkt go gpv" cpf " tgs vkt gu' pq" xctkpegu' 0' Kp" cf f kkp. " cni' ugtxlegu" cpf " ceegu" vj " vj g" r tqr qugf r ctegn' vj " nqecn' ucpf ctf u' ctg" cxckrdng. " vj g" r ctegn' y cu' pqv' kpxqrgf " kp" c' f kxkukqp" qh' c' nti gt r ctegn' y kj kp" vj g" r tgxkqu" 4" { gctu. " cpf " vj g" r ctegn' f qgu' pqv' j cxg" cp" cxgtci g" utqr g" i tgcvt vj cp" 42" r gtegp' 0' Cu' vj g' tgu' ku' pq" uwdvcpvkn' gxf gpeg' vj cv' vj g" r tqlgev' o c{ " j cxg" c" uki phtecpv ghhev' qp" vj g' gpv' ktpo gpv. " Rrcppkpi " Eqo o kukqp" tgeqo o gpf u' eqo r rkepeg' y kj " vj g" EGS C gzgo r vqp0

I 0 Vj g' Rrcppkpi " Eqo o kukqp" hpf u' vj cv' vj g" cr r rkecpv' ci tggv' y kj " vj g' pgegukv{ " qh" cpf " ceegr wu cm' grgo gpv. " tgs vkt go gpv. " cpf " eqpf kkpqu' qh' vj ku' tguqnwvqp" cu' dglkpi " c' tgcupcdng" o cpggt qh' r tguetxkpi " r tqvgevkpi . " r tqxk kpi " hqt. " cpf " hquvgtkpi " vj g" j gcmj . " uchgv{ . " cpf " y grhtg' qh' vj g

70 Vj g'uwdf kxkukqp'f guki p"cpf "v'rg'qh'ko rtqxo g'p'u'rtqr qugf "kp"vj g'Vg'p'w'x'g'O cr "ct g'p'q'v'rk'ng'f
v'g'ec'w'ug'ugt'k'q'u'r'w'd'rk'e'j' g'c'n'j' "rt'q'd'r'go u'd'g'ec'w'ug'c'm'f'g'x'g'r'o g'p'v'c'p'f "r'w'd'rk'e'ko rt'q'x'g'o g'p'u'y'k'n
d'g'r'g't'h'q't'o g'f "r'g't' "v'j'g't'g's'w'k't'g'o g'p'u'q'h'c'm'i'c'r'r'k'ec'd'ng' "u'w'c'p'f'c't'f'u'c'p'f "e'q'f'g'u' "k'p'e'n'f'k'p'i "v'j'g' "q'p'k'p'i
c'p'f "d'w'k'f'k'p'i "e'q'f'g'u"0*Ugg'I q'x'0'E'q'f'g' "U'g'e'v'k'p' "88696=N'q'o k'c' "O'w'p'l'e'k'r'c'n'i'E'q'f'g' "U'g'e'v'k'p' "408380+

Vj g'uk'g' "ku'r'j { u'k'ec'm'f' "u'w'k'c'd'ng' "h'q't' "v'j'g' "v'f'g' "q'h'f'g'x'g'r'o o g'p'v'0'V'j'g'r't'q'l'g'e'v'o g'g'w'c'm'v'j'g't'g's'w'k't'g'f
f'g'x'g'r'o o g'p'v'u'c'p'f'c't'f'u'c'u'uj'q'y'p' "k'p"vj'g'c'r'r't'q'x'g'f "r'nc'p'u'c'u'u'q'ek'v'g'f "y'k'j' "U'k'g' "R'nc'p' "T'g'x'k'g'y' "P'q'0
34330

80 Vj g'uwdf kxkukqp'f guki p"cpf "v'rg'qh'ko rtqxo g'p'u'rtqr qugf "kp"vj g'Vg'p'w'x'g'O cr "y'k'n'p'q'v
e'q'p'h'k'ev'y'k'j' "g'c'ug'o g'p'u'c'es'w'k't'g'f "d'f' "v'j'g'r'w'd'rk'e'c'v'k't'i'g'h'q't' "c'e'eg'u'v'j't'q'w'i'j' "q't' "u'g' "q'h'v'j'g' "U'w'd'l'g'e'v'
U'k'g'0*Ugg'I q'x'0'E'q'f'g' "U'g'e'v'k'p' "88696=N'q'o k'c' "O'w'p'l'e'k'r'c'n'i'E'q'f'g' "U'g'e'v'k'p' "408380+

Vj g'f' guki p'q'h'v'j'g'uwdf kxkukqp'qt'v'j'g'v'f'g'qh'ko r't'q'x'g'o g'p'u'y'k'n'p'q'v'w'p't'g'c'u'p'c'd'n'f' "k'p'v'g't'h'g't'g'y'k'j'
v'j'g' "h't'g'g' "c'p'f' "e'q'o' "r'ng'v'g' "g'z'g't'ek'ug' "q'h'c' "r'w'd'rk'e' "g'p'v'k'f' "c'p'f' "l'q't' "r'w'd'rk'e' "w'k'k'k'f' "t'k'i'j' "u'w'q'h'y'c'f' "c'p'f' "l'q't'
g'c'ug'o g'p'u'y'k'j'k'p' "v'j'g' "t'c'ev'o' "c'r'0'V'j'g' "g'z'v'g'p'uk'q'p' "q'h' "Q'd'g't' "C'x'g'p'w'g' "c' "r'w'd'rk'e' "u'w'g'g'v' "y'k'n' "o' "c'ng' "v'j'g'
g'z'k'uk'p'i "g'c'ug'o g'p'v'v'q' "48457' "Q'd'g't' "C'x'g'p'w'g' "w'p'p'g'e'g'u'c't' { 0

90 Vj g'f'kuej'cti'g'qh'y'c'w'g'k'p'v'q' "c'p' "g'z'k'uk'p'i "u'g'y'g't' "u'f'w'g'o "h't'q'o "f'g'x'g'r'o g'p'v'rt'qr'qugf "kp"vj'g'
V'g'p'w'x'g'O cr "y'k'n'p'q'v'ec'w'ug'c' "x'k'q'r'v'k'q'p' "q'h'g'z'k'uk'p'i "t'g's'w'k't'g'o g'p'u'rt'g'u'e't'k'd'g'f "d'f' "v'j'g' "h'q'ec'n'y'c'v'g't'
s'w'c'k'k'f' "e'q'p'v't'q'n'd'q'c't'f' 0*Ugg'I q'x'0'E'q'f'g' "U'g'e'v'k'p' "88696080+

Vj g'f' guki p'q'h'v'j'g'uwdf kxkukqp'y'k'n'f'kuej'cti'g'y'c'w'g'k'p'v'q' "c'p' "g'z'k'uk'p'i "e'q'o' "o'w'p'k'f' "u'g'y'g't' "u'f'w'g'o "
c'p'f' "y'k'n'p'q'v't'g'u'w'n'k'p' "x'k'q'r'v'k'q'p' "q'h'g'z'k'uk'p'i "t'g's'w'k't'g'o g'p'u'rt'g'u'e't'k'd'g'f "d'f' "N'q'u' "C'p'i'g'g'u' "T'g'i'k'q'p'c'n'
Y'c'v'g't' "S'w'c'k'k'f' "E'q'p'v't'q'n'd'q'c't'f' "r'g't' "F'k'x'k'uk'q'p' "9' "q'h'v'j'g' "Y'c'v'g't' "E'q'f'g'0

: 0 Vj g'uwdf kxkukqp'cpf "ko r't'q'x'g'o g'p'u'rt'qr'qugf "kp"vj'g' "X'g'u'k'p'i "V'g'p'w'x'g' "R'c't'eg'n' "O cr "j'g'r' "v'j'g' "E'k'f'
q'h'N'q'o k'c' "o'g'g'v'k'u't'g'i'k'q'p'c'n'f'j'q'w'uk'p'i "p'g'g'f' u'0*Ugg'I q'x'0'E'q'f'g' "U'g'e'v'k'p' "886: 6080+

Vj g'J'q'w'uk'p'i "G'rg'o g'p'v'p'q'v'g'f' "v'j'c'v'o'q't'g' "v'j'c'p' "54' "q'h'j'q'w'ug'j'q'r'f'u' "k'p' "4235' "y'g't'g' "q'x'g't'r'c'f'k'p'i "h'q't'
v'j'g'k' "j'q'w'uk'p'i'0' "V'j'q'w'i'j' "v'j'g' "e'q'u'v' "q'h'v'j'g' "g'ug' "j'q'o'g'u' "o'c'f' "p'q'v' "d'g' "h'q't' "c' "m'y' /e'q'o'g' "j'q'w'ug'j'q'r'f' .
k'p'e't'g'c'ul'p'i "v'j'g' "u'w'r'r'n'f' "q'h'j'q'w'uk'p'i "w'p'k'u'j'g'r'r' "u't'g'f'w'e'g' "v'j'g' "u'e'c't'ek'f' "c'p'f' "d'f' "g'z'v'g'p'uk'q'p' "v'j'g' "e'q'u'v'
d'w'f'g'p'0

Ugevkp'50F'gekukqp'0'

P'Q'Y' . "V'j'G'T'G'H'Q'T'G' "D'G' "K' "T'G'U'Q'N'X'G'F' "v'j'c'v'v'j'g' "R'nc'p'p'k'p'i "E'q'o' "o'k'uk'q'p' "q'h'v'j'g' "E'k'f' "q'h'N'q'o'k'c' "j'g't'g'd'f' "
t'g'e'q'o' "o'g'p'f'u' "E'k'f' "E'q'w'p'ek'i' "c'r'r't'q'x'c'n' "q'h' "X'g'u'k'p'i " "V'g'p'w'x'g' "R'c't'eg'n' "O cr "P'q'0' : 524; "u'w'd'l'g'e'v' "v'q' "v'j'g' "
h'q'm'y'k'p'i "e'q'p'f'k'k'q'p'u'<

I'G'P'G'T'C'N'R'T'Q'L'G'E'V'E'Q'P'F'K'V'K'Q'P'U'

30 Vj k'u'X'g'u'k'p'i "V'g'p'w'x'g' "R'c't'eg'n' "O cr "k'u' "i' "t'c'p'v'g'f' "h'q't' "v'j'g' "r't'q'r'g't'v'f' "f'g'u'e't'k'd'g'f' "k'p"vj'g' "c'r'r' "r'k'ec'v'k'q'p' "q'p' "h'k'g'
y'k'j' "v'j'g' "R'nc'p'p'k'p'i "F'k'x'k'uk'q'p' .c'p'f' "o'c'f' "p'q'v'd'g' "t'c'p'u'h'g't'g'f' "h't'q'o' "q'p'g'r't'q'r'g't'v'f' "v'q' "c'p'q'y'g't'0

40 R'w't'w'c'p'v'v'q' "N'q'o'k'c' "O'w'p'l'e'k'r'c'n'i'E'q'f'g' "u'g'e'v'k'p'u' "33/40879' "c'p'f' "33/40873' . "v'j'k'u' "X'g'u'k'p'i "V'g'p'w'x'g' "R'c't'eg'n'
O cr "f'c'v'g'f' "C'r't'k'i'43' . "4243' "u'j'c'm'i'c'w'q'o'c'v'k'ec'm'f' "d'g'e'q'o'g' "p'w'm'i'c'p'f' "x'q'k'f' "46' "o'q'p'y' "u'h't'q'o' "v'j'g' "f'c'v'g' "q'h'k'u'
k'u'w'c'p'eg' . "w'p'g'u'u' "F'g'x'g'r'g't' "j'c'u' "f'k'k'i'g'p'v'f' "f'g'x'g'r'g'f' "v'j'g' "r't'q'r'q'ug'f' "r't'q'l'g'e'v' "c'u' "u'j'q'y'p' "d'f' "v'j'g'
k'u'w'c'p'eg' "q'h'c' "i' "t'c'f'k'p'i . "h'q'w'p'f'c'v'k'q'p' . "q't' "d'w'k'f'k'p'i "r'g't'o'k'v'c'p'f' "v'j'g' "e'q'p'u't'w'e'v'k'q'p' "q'h' "u'w'd'u'c'p'k'c'n

Tguqmwkqp"P q0RE"
Rci g"6"

50 ko r t q x g o g p v . " q t " v j g " d g i k p p k p i " q h ' v j g " r t q r q u g f " w u g 0

60 Cr r t q x c n ' q h ' v j g " v g p v k x g " o c r " k u " e q p v k p i g p v " w r q p " c e e g r v c p e g " c p f " e q o r n g v k a p " q h ' v j g " k t g x q e c d r g q h h g t " v q " f g f l e c v g " r c p f " q p " 48457 " Q d g t " C x g p w g " d g e c w u g " v j c v ' f g f l e c v k a p " k u " p g g f g f " v q " e t g c v g " c " e w n f g / " u c e " l p " e q o r r i c p e g " y k j " v j g " O w p l e k r c n ' E q f g 0 ' k i " v j g " f g f l e c v k a p " k u " p q v ' e q o r n g v g f . " v j g " f g u k i p " q h ' v j g e w n f g / u c e " q p " v j g " o c r " e c p p q v " d g " c e e q o r r i k u j g f " c u " r t q r q u g f " c p f " t g f g u k i p " q h ' v j g " o c r " y k n i d g t g s w k t g f 0

70 Vj g " F g x g n r g t " u j c m ' e q o r n { " y k j " v j g " c w c e j g f " e q p f k k a p u " q h ' c r r t q x c n " * C w c e j o g p v " C + f g x g n r g f d { " E k { " q h " N q o k c " R w d r k e " Y q t m i " F g r c t v o g p v . " S w c p w o " S w c r k v { " E q p u w k p i " c p f " v j g " E q w p v { " q h " N q u C p i g r g u " H k t g " F g r c t v o g p v 0

80 R t k q t " v q " d w k f k p i " r g t o k u " d g k p i " k u u w g f . " v j g " r t q r g t v { " u j c m ' e q p h q t o " v q " v j g " r t q x k u k a p u " q h " E j c r v g t " 4 * F k k u k a p " q h " N c p f + " q h " V k r g " Z K 0

90 Vj k u " u w d f k k u k a p " u j c m ' e q o r n { " y k j " V k r g " 33 " q h ' v j g " N q o k c " O w p l e k r c n ' E q f g " * X g u k p i " V g p v k x g O c r + " c u " f g v g t o k p g f " d { " v j g " E k { " G p i k p g g t 0

: 0 Vj g " h k p c n ' o c r " u j c m ' p q v ' d g " t g e q t f g f " w p k i " v j g t g " j c u " d g g p " e q o r r i c p e g " y k j " c m ' e q p f k k a p u " q h c r r t q x c n 0

; 0 Vj g " F g x g n r g t " u j c m ' k p u c m j " q w u g " c f f t g u u g " c p f " o c k d q z g u " l p " c e e q t f c p e g " y k j " R q u v " Q h k e g " r q r k e { 0 Vj g " c e w c n ' c f f t g u u g " y k n i d g " c u k i p g f " d { " N q u " C p i g r g u " E q w p v { " u c h h i t k t q t 0

320 Vj g " F g x g n r g t " c i t g g u . " c u " c " e q p f k k a p " q h ' c f q r v k a p " q h ' v j k u " t g u q n w k a p . " c v " F g x g n r g t u " q y p " g z r g p u g . v q " l p f g o p k h { . " f g h g p f " c p f " j q r f " j c t o n g u u " v j g " E k { " c p f " k u " c i g p v . " q h h e g t u " c p f " g o r m { g g u " h t q o " c p f c i c k p u v " c p { " e n c k o . " c e v k a p " q t " r t q e g g f k p i " v q " c w c e m " t g x l g y . " u g v " c u k f g . " x q k f " q t " c p p w i " v j g " c r r t q x c n ' q h v j g " t g u q n w k a p " q t " c p { " e q p f k k a p " c w c e j g f " v j g t g v q " q t " c p { " r t q e g g f k p i u . " c e v u " q t " f g v g t o k p c v k a p u " c n g p . f q p g " q t " o c f g " r t k q t " v q " v j g " c r r t q x c n ' q h " u w e j " t g u q n w k a p " v j c v ' y g t g " r c t v " q h ' v j g " c r r t q x c n ' r t q e g u u 0 F g x g n r g t u " e q o o g p e g o g p v " q h " e q p u t w e v k a p " q t " q r g t c v k a p u " r w t u w c p v " v q " v j g " t g u q n w k a p " u j c m ' d g f g g o g f " v q " d g " c p " c e e g r v c p e g " q h ' c m ' e q p f k k a p u " v j g t g q h 0

330 T g o q x c n ' q h " g z k u k p i " t g g u " u j c m ' d g " r g t h q t o g f " q w u k f g " q h " v j g " p g u k p i " u g c u q p " f g h k p g f " d { " v j g E c r k h t p l c " F g r c t v o g p v " q h " H k u j " c p f " Y k f r k h g " c u " H g d t w c t { " 3 v j t q w i j " C w i w a w " 370

RCUUGF " c p f " C F Q R V G F " d { " v j g " R r c p p k p i " E q o o k u k a p " q h ' v j g " E k { " q h " N q o k c " q p " v j k u " 36 " v j f c { " q h " L w p g . 4243 " d { " v j g " h q m q y k p i " x q v g <

C [G U < E q o o k u k a p g t u <

P Q G U < E q o o k u k a p g t u <

C D U G P V < E q o o k u k a p g t u <

C D U V C K < E q o o k u k a p g t u "

Tguqmwkp "P q0RE"
Rci g'7"

Ugxgp'Eco o ctvc.'Ej ckr gtup"

CVVGUV<

I tgi "Mcr qxlej "

"F kgevt"qh'Ego o wpx "cpf "Geqpgo k'F gxgr o gpv"

Cp{ "cevkp"v"ej cmgi g"vj g"hpcl'f gekup"qh'vj g'Ek' "o cf g'cu'c'tguw/qh'vj g'r wdrk'j gctki "qp'vj ku"
crr rdecvkp"o wuv'dg' hkf "y kj k'vj g'ko g'ko ku'ugv'htvj "k'Egf g'qh'Ek'kiRtqegf wtg'Ugevkp"32; 680'

TGUQNWIKQP "P Q0'RE "4243/zz"

C" TGUQNWIKQP " QH" VJ G" RNCPP RPI " EQO O KUKQP " QH" VJ G" EKVI " QH" NQO KVC" CRRTQXRI " UKVG" RNCP " TGXKGY " P Q0' 3433" VQ" O QF KH " VJ G" UQNF " O CUQPT[" RGTIO GVG" Y CNN" TGS WKTGO GP V" CPF " UMDUKWVG" C" HGPEG" CNQPI " VJ G" RGTIO GVG" QH" XGUVRI " VGP CVKXG" RCTEGN" O CR" P Q0': 524; "CPF " VQ" RGTIO K" C" VJ TGG/HQQV" TGCT/[CTF " UGVDCEM" O QF KHECVKQP " QP " NQV" 3" QH" XGUVRI " VGP VC VXG" RCTEGN" O CR" P Q0': 524; "CV"48497" CRRICP " Y C[" R " VJ G" UR I NG/HCO K[" TGUKE GP VICN" *T/3+ \ QP G' C P F " VQ' EQP HKT O " VJ G' ECVGI QTKECN' GZ GO RVKQP O HNGF" D[" MGXK " O EO K P P ." 5244; " MR I UT K I G" F T K X G. " TCPEJ QU" RCNQU" XGTF GU." EC" ; 2497 *oF GXGNQRGT o+0'

VJ G" RNCPP RPI " EQO O KUKQP " QH" VJ G" EKVI " QH" NQO KVC" F QGU" J GTGD[" HR F ." QTF GT. " CPF " TGUQNXG' CUHQNNQY U'

Ugevkqp"30Tgekcnu"

C0 Vj g"Ek{ "qh"Nqo kc"j cu"tgeglxgf "cp"cr r rkecvkqp"ht" c"Ukg"Rncp"Txkgy "v"o qf kh{ "vj g"uqrf o cuqpt { "r gto gvt"y cmtgs wktgo gpv'cpf "uwdukwvg" c' hpeg'cpf "v"r gto k/c"vj tgg/hqqvtget/{ ctf ugvdcm'o qf kkecvkqp"cpf "c"Xgukpi "Vgpcvkg"Rctegn'O cr "v"uwdf kxkf g" c"45.422"us wctg/hqq ukpi ng'hco kn { "tguke gpvkn' hq' v' kvq"vj tgg'pgy "ukpi ng'hco kn { "tguke gpvkn' hq' v' kv'48497"Cr r kcp"Y c { kp"vj g"Ukpi g/Hco kn { "Tguke gpvkn" *T/3+ \ qpgO Hrgf "d { "Mgxlp"O eO kpp"5244; "Mkpi utki g"FTkxg. Tcpej qu"Rcnqu"Xgtf gu."EC"; 2497 *y g'oF gxgnr gt o+0'

D0 Rwtuwpv"vq" Nqo kc"O wplek cn'E qf g"Ugevkqp"33/302024."ukpi ng'hco kn { "tguke gpvkn"r tqlgevu tgs wguvki "o qf kkecvkqp"u"v"ugvdcm'ctg"r gto kwgf . "uwdlgev"vq"33/30202: "cpf "cr r tqxcn'd { "vj g Rrcppkpi "Eqo o kukqp0

E0 Rwtuwpv"vq" Nqo kc"O wplek cn'E qf g"Ugevkqp"33/4/435."c"o qf kkecvkqp"v"vj g"uqrf "o cuqpt { y cmtgs wktgo gpv'ku'r gto kwgf "uwdlgev"vq"vj g"Rrcppkpi "Eqo o kukqp"u"cr r tqxcn'qh"vj g"Ukg"Rncp Txkgy "cpf "O qf kkecvkqp0

F0 Vj ku'r tqlgev"j cu'dggp"gxncwv"fp"ceeqtf cpeg'y kj "EGS C."cpf "k'j cu'dggp" f gvtgo kpgf "vj cv'vj g r tqr qugf "r tqlgev"ku'ecvgi qtkecm { "gzgo r v'htqo "vj g'tgs wktgo gpw'qh"EGS C0Rwtuwpv"vq"Ugevkqp 37554" *k/Hkn'F gxgnr o gpv"qh"vj g"EGS C" I wkf grkpgu."vj g"r tqr qugf "r tqlgev"eqpukvki "qh" c Ukg"Rncp"Txkgy "ku'ecvgi qtkecm { "gzgo r v'htqo "vj g'tgs wktgo gpw'qh"EGS C0Ugevkqp"37554 gzgo r u'vj qug"r tqlgevu"y j lej <"*3+"ctg"eqpukv"v'y kj "vj g"cr r rkecdrg"i gpgtcn'r rcp" f guki pcvkqp cpf "cm"cr r rkecdrg"i gpgtcn'r rcp"r qrlkgu" *cu"y gni"cu"y kj "cr r rkecdrg" | qpkpi "f guki pcvkqp"cpf tgi wrcvku" = "4+" qeewt" y kj kp" ekv { "rko ku" qp" c" r tqlgev" ukv" qh" pq" o qtg" vj cp" hkg" cetgu uwducpvkcm { "uwtqwpf gf "d { "wtdcp" wugu" = "5+" j cxg"pq"xcnw"cu" c"j cdkcv'htq"gpf cpi gtgf . "tctg"qt vj tgcvgpgf "ur geku" = "6+" y qwf "pqv'tguw"lp"cp { "uki pkecv'ghgevu"tgrvki "v"v'cthke. "pqkug. "ckt s wrcv { ."qt" y cvgt" s wrcv { = "7+" j cxg" c" r tqlgev" ukv" vj cv'ecp" dg" cf gs wcvgn { "ugt xgf" d { "cm tgs wktgf "wkrkku"cpf "r wdrke" ugt xlegu"0Vj g"v'cev"vq" dg'hpegf "ku'igu"v'j cp"cp" cetg"cpf "uwtqwpf gf d { "wtdcp" wugu"0Vj g" f gxgnr o gpv'ku' hwm { "nqecv" y kj kp"vj g"Ekv { "rko ku. "ku'eqpukv"v'y kj "vj g cr r rkecdrg" I gpgtcn'Rncp"cpf " | qpkpi "f guki pcvkqp"cpf "y j gp" dwkn"y kni"dg" hwm { "ugt xgf" d { "cm tgs wktgf "wkrkku"0Vj g" ukv"cnuq" j cu"pq"xcnw"htq" c"ugpukxg"qt"gpf cpi gtgf "j cdkcv'0Cu"vj gtg"ku pq"uwducpvkcn" gxlk gpeg"vj cv'vj g"r tqlgev" o c { "j cxg" c" uki pkecv'ghgevu"v"vj g" gpv'kqpo gpv. Rrcppkpi "Eqo o kukqp" o c { "hkf" vj g"r tqlgev"ku'eqo r rkepeg"y kj "vj g"EGS C"gzgo r v'kqp0

G0 Qp" Lwpg"36."4243." y g" Rrcppkpi "Eqo o kukqp" j grf "c" r wdike" j gctkpi "v" eqpukf gt" Xgukpi
Vgpvcxg'Rctegni'O cr "P q0: 524; . 'cpf "tgeqo o gpf gf "Ek\ "Eqwpeki'cr r tqxcn'qh'48497" Cr r kcp
Y c { au'wdf kxkukqp'kp'v' y tgg'iq'u'kp' y g'tgukf gpvcn'ukpi ng/hco kn' *T/3+| qpg0

H0 Qp" O c { "32y . "4243." y g" Rrcppkpi "Eqo o kukqp" o qxgf "v" tguej gf wrg" c" f w\ "pqvkegf "r wdike
j gctkpi "v" Lwpg"36."42430

I 0 Qp" Lwpg"36."4243." y g" Rrcppkpi "Eqo o kukqp" j grf "c" f w\ "pqvkegf "r wdike" j gctkpi "cpf "ceegr vgf
r wdike" vguiko qp { 0

Ugevkap"40Rwtuwcpv'v' Ugevkap"33/302029" *Ukg'Rrcp" T gxlgy + "qh' y g" Nqo kc" O wplek cn'Eqf g. "cpf "
Ugevkap"33/30202: . "o qf khlec'v'kuo="chngt" t gxlgy kpi "y g" r tqr qugf "f gxgnr o gpv'kv'ku" f gvgto kpgf "
y cv' y g" r tqr qugf "r tqlev'ku'eqpukv'gpv' y kj "y g" hqmy kpi "tgs wkt gf "hkf kpi u"

30 Vj g' Ukg'Rrcp" eqo r rgu' y kj "cm' cr r rkecdrg" r tqxkukpu'qh' Vkn'g"330

Cu'ugv' hqt y " kp" y g" uclh" tgr qtv. " y g" r tqr qugf "r tqlev' eqo r rgu' y kj "cm' y g" f gxgnr o gpv
ucpf ctf u' kp" Vkn'g"33. "ucxg" y g" t gct" { ctf "ugvdcen' qp" Nqv'3" cpf "y g" r gtko gvgt" y cm' o cvgtken
o qf khlec'v' hqt "cm' y tgg'iq'u0

40 Vj g' ukv' ku' uwkcdrg" hqt "y g" r ct'kwrc" wug" qt" f gxgnr o gpv' kv' gpf gf . "cpf "y g' v'cn'f gxgnr o gpv.
kpenf kpi "y g" cr r rkecv' qp" qh' r tguet'kdgf "f gxgnr o gpv' ucpf ctf u. "ku' ctt'cpi gf "cu' v' "cxqkf "tchke
eqpi gukqp. "y km'pqv' cf xgtugn' "chgevr' wdike" j gcnj . "uchgv' "cpf "i gpgtcn' y grhctg. "y km'pqv' j cxg
cf xgtug' ghgevu' qp' p'gki j dqt kpi "r tqr gtv' "cpf "ku' eqpukv' gpv' y kj "cm' gng' o gpv' qh' y g' I gpgtcn' Rrcp0

Nqv'3' ku' uwkcdrg" hqt "c' ukpi ng/hco kn' j qo g' y kj "c'39/hqvt' gct" { ctf "ugvdcen' 0Vj g" r tqr qugf "j qo g
ku' qpn' "38' hgv' j ki j 0Gxgp' y qwi j "y g' d'wrf kpi "y km' dg' y tgg' hgv' en' qugt "v' y g' t gct" r tqr gtv' "h'p'g.
y g' d'wrf kpi au' b' cuu' cpf "lj cf qy "y km' dg' hgu' ko r qukpi "y cp' c' v'cn' g' j qo g. "cpf "y km' pqv' cf xgtugn'
chgevr' y g' t gukf gpeg' v' y g' t gct0

Gxgp' y qwi j "y g' Nqv'4" cpf "Nqv'5au' j qo gu' ctg' pqv' r ctv' qh' y ku' t gxlgy . "y g' ukv' ku' uwkcdrg" hqt
y g' t "kv' gpf gf "wug0" Vj g" y q' ukpi ng/hco kn' j qo gu' ctg' eqpukv' gpv' y kj "y g' f guki pcv' gf "f gpuk'
cpf "qy gt" f gxgnr o gpv' tgs wkt go gpv' cpf "ucpf ctf u0

Kpvcn'kpi "c' h'peg. "kv' gcf "qh' c" o cuqpt { "y cm' qp' y ku' j km' kf g' r tqr gtv' . "y j kej "ku' uwt' qwpf gf "d {
t'gukf gpvcn' wugu' ku' uwkcdrg0 Dm' en' y cm' ct' g' v' r kcm' tgs wkt gf "v' t' gf weg' pqkug' ht qo "o qtg' kv' g' pug
wugu' h'ecv' gf "pgctd { 0Uwt' qwpf kpi "wugu' ctg' cm' t' gukf gpvcn' kp' pcwt' g' o cn' kpi "y g' p'qkug' o kki cv' qp
o gcuwt' gu' ht qo "c" dm' en' y cm' wpp' gegu' ct { 0Cnuq. "y g' p'gki j dqt kpi "r tqr gtv' "ct' gcf { "j cu' c' h'peg
*pqv' dm' en' y cm' "cn' pi "y g' gcu' gtn' "r tqr gtv' "h'p'g0 Wkrk' kpi "c" uko kct" o cvgtken' y qwf "dg" kp
nggr kpi "y kj "y g' g' z' k' kpi "ej ct'cev' t' qh' y g' p'gki j dqt j qqf 0

Vj g' r tqr qugf "o qf khlec'v' ku' hqt "c' h'peg" kv' gcf "qh' c" y cm' cpf "ugvdcen' j cxg" pq' hqt guggcdrg
ko r cev' qp' tchke' eqpi gukqp. "r wdike" j gcnj . "uchgv' "qt' y g' i gpgtcn' y grhctg0 C' ukpi ng/hco kn' j qo g
ku' eqpukv' gpv' y kj "y g' I gpgtcn' Rrcp' au' Nqy "F gpuk' T' gukf gpvcn' f guki pcv' qp' cpf "c' h'peg. "y j kej
ku' c' p'qto "kp' t' gukf gpvcn' | qpgu. "ku' eqpukv' gpv' y kj "y g' Ncpf "Wug' Gng' o gpv' u' h'ku' v' qcn' v' q' r t qo qvg
cp' q' t' f' g' t' r' c' w' g' t' p' q' h' f' g' x' g' r' o' g' p' v' k' p' y' g' E' k' f' 0

50 Vj g' f gxgnr o gpv' f guki p' ku' uwkcdrg" cpf "h'p'ev' kv' c' r' 0Vj ku' tgs wkt go gpv' u' j cm' pqv' dg' kv' g' tr t' g' v' f
v' t' g' s' w' k' t' g' c' r' ct' kwrc' t' u' v' r' g' t' v' r' g' qh' c' t' e' j' k' g' e' w' t' g' 0

Vj g'f gxgnr o gpv'f guki p'ku'dqy 'uwxcdrg'cpf 'hwpevkqpcn'ht "Nqv'30Vj g'39/hqqv'f ggr 'tget' { ctf " y km'dg'93072'hggv'iqpi 'cpf 'j cxg'cp'ctgc'qh'3.437'us wctg'hggv'y j lej 'gzeggf u'vj g'tget' { ctf 'ctgc' qh'c' 'tcf kkpqcn'72/hqqv'y kf g'nv'y kj "c'42/hqqv'tget' { ctf 'ugvdcen'0'cmqy kpi "c'hgpeg"qr vkqp." kpuvcf 'qh'c'o cuqpt { 'y cm'ku'cuq'uwxcdrg'cpf 'hwpevkqpcn'q'vj ku'j kmkf g'r tqr gtv' 0Vj g'gcuvgtn' " r tqr gtv' 'ctgcf { 'j cu'c'y j kg'hgpeg'cmqi 'ku'tget'r tqr gtv' 'kpg'cpf 'vj ku'o qf kkecvkqp'y km'cmqy " vj g'hgzkdkk' { 'v'eqo r ngo gpv'vj g'iqm'icpf "o cvgtkcn'qh'vj g'gzkukpi 'pgki j dqtj qqf 'ej ctcevt0"

60 Vqr qi ter j le'hgcwt gu.'uwdf kxkukqp'r rcpu.'qt'qy gt'eqpf kkpqpu'etgevg'cp'wppgeguuct { 'j ctf uj kr 'qt wptgcuqpcdrg'tgi wcvkqp'qt'o cng'k'qdxkqum' { 'ko r tcevekn'v'tgs wktg'eqo r rkepeg'y kj 'vj g' { ctf tgs wktgo gpw'qt'ugvdcen'kpg0

Y kj "tgi ctf "v'Nqv'30'tget' { ctf "ugvdcem"vj g'eqo dlp'gf "ghge'v'qh'vj g'r cuv'rcpf "f kxkukqpu."vj g tgrv'xgn' 'lj cmqy pguu'qh'vj ku'iqv'icpf 'vj g'ctgc'v'x'kgy 'r tqv'evkqpu'qp'vj g'dw'kf kpi v'j g'ki j v'ew'vkn vj g'dw'kf cdrg'gpxgnr g0Y j gp'cf l'wukpi 'hqt'vj g'i ctei g'v'us wctg'hqqvci g.'vj g'r tqr qugf 'qpg/uqf { j qo g'j cu'.' 'hguu'us wctg'hqqvci g'vj cp'vj g'HCT'cmqy u0Hqt 'vj gug'tgeuqpu.'vj g'42/hqqv'tget' { ctf tgs wktgo gpv'ku'cp'wppgeguuct { 'j ctf uj kr 0

Vj g'diqem'y cm'tgs wktgo gpv'ku'cp'wptgcuqpcdrg'tgi wcvkqp'hqt'vj g'gpv'ktg'r g'tko gvg't'qh'vj g r tqr gtv' 0'Diqem'y cm'ctg'iqpi 'rcukpi 'cpf 'eqo o qpn' { 'wktk' gf "cmqi 'vj g'r g'tko gvg't'qh'c'r ctegn o cr 'v'q'tgf weg'uqwpf 'cpf 'r tqv'ev'vj g'p'gy 'ukpi ng/hco kn' 't'gukf gpegu'htqo 'o qtg'k'p'v'pug'rcpf 'wugu vj cv'o c { 'dg'iqecv'gf 'pgctd' { 0'k'vj ku'ecug.'cm'qh'vj g'uwtqwpf kpi 'r tqr gtv'ku'icpf 'cuuqekv'gf 'wugu ctg'gkj gt'tgukf gpv'icn'qt'r cuuk'g' *Ej gxtq'p'v'r kr k'p'g'+'uq'c'tgs wktgo gpv'v'q'kpuvcn'c'diqem'y cm hqt'r qv'p'v'icn'p'q'kug'o kki cvkqp'ku'p'q'v'p'geguuct { 0

Ugevkqp'50'Dcu'gf "qp'vj g'cdq'xg'h'p'f kpi u.'vj g'Rrcppkpi "Eqo o kuukqp'qh'vj g'Ek' { 'qh'Nqo kc"j gtgd' { " cr r tqxgu"Ukg'Rrcp"Tx'kgy "P q0'34330'v'tgs wguv'v'uwdukw'w'c'r g'tko gvg't'hgpeg'k'p'rk'w'qh'c"u'q'kf " o cuqpt { 'r g'tko gvg't'y cm'icpf 'cmqy 'hqt'c'vj tgg/hqqv'tget' { ctf 'ugvdcem'o qf kkecvkqp'qp'Nqv'3'uwdlgev' v'vj g'hqmqy kpi 'eqpf kkpqpu'<

I GP GTCN'RTQLGEV'E QPF KWQP U'

30 Vj ku'r gto k'ku'i tcv'gf 'hqt'vj g'r tqr gtv' { 'f guet'kd'gf 'k'p'vj g'cr r rkecvkqp'qp'hkr'g'y kj 'vj g'Rrcppkpi F kxkukqp.'cpf 'o c { 'p'q'v'dg'v'cpuh'gtt'gf 'htqo 'qpg'r tqr gtv' { 'v'cp'q'vj gt0

40 Vj ku'r gto k'ku'i tcv'gf "hqt'vj g'r rcpu'f cv'gf "Cr tki'3; .4243" *öGzj kdk'v'cö-"qp'hkr'g'y kj "vj g Rrcppkpi "F kxkukqp'0' Vj g'Eqo o v'p'kv' { 'cpf "Geqqo ke" F gxgnr o gpv' F ktgevt' "o c { " cr r tqxg o k'p'qt'ej cpi gu'cuuqekv'gf "y kj "vj g'cte'j k'gewt'g.'ukg'f guki p'cpf 'dw'kf kpi u'v'vj g'cr r tqxgf O qf k'k'gf "Rrcpu'0' Hqt" pwo g'tk'cni' u'icpf ctf u." vj g'Eqo o v'p'kv' { 'cpf "Geqqo ke" F gxgnr o gpv F ktgevt' "o c { " cr r tqxg" f g'x'k'v'k'p'u' wr " v'q' 32' " r tqx'kf gf " vj cv' Nqo kc" O v'p'k'c'ni' Eqf g tgs wktgo gpw'ctg'o g'00 qf kkecvkqpu'gzeggf kpi 'c'32' " f g'x'k'v'k'p'uj cm'dg't'ghgtt'gf 'dcem'v'vj g Rrcppkpi "Eqo o kuukqp'0' C" o k'p'qt' "o qf kkecvkqp" o c { " dg"i tcv'gf "hqt" o k'p'ko cni' ej cpi gu' qh ut wewt gu'qt'qh'vj g'f guki p.'o cvgtkcn'qt'eqm'v'qh'ut wewt gu'qt'o cuqpt { 'y cmu0

50 Vj ku'r gto k'ku'ij cm'cwqo cv'k'cm' { 'd'geqo g'p'w'ni'icpf 'x'q'kf '46'o q'p'vj u'htqo 'vj g'f cv'g'qh'ku'kuu'w'c'peg. w'p'guu'F gxgnr gt'j cu'f kki gpw' { 'f gxgnr gf 'vj g'r tqr qugf 'r tq'lg'ev.'cu'uj qy p'd { 'vj g'kuu'w'c'peg'qh c'i tcf kpi . 'h'q'wp'f cvkqp.'qt'dw'kf kpi 'r gto k'v'icpf 'vj g'eq'p'ut w'ev'k'p'qh'u'w'uc'p'v'icn'ko r tqxgo gpw. qt'vj g'dgi k'p'kpi 'qh'vj g'r tqr qugf 'wug0

60 Cm'tgs wktgf 'q'hh'ukg'cpf 'qp'ukg'ko r tqxgo gpw'ht'vj g'r tq'lg'ev.'k'p'ew'f kpi 'ut wewt gu.'r cv'k'p'i .

- 390 Cm'vtggul' rcpv'f "qt'r rceg'f "qp'yj g'r tqlgev'r tqr gtv' d{ 'F gxgnr gt'uj cm'dg'cv'rcu'46/kpej /dqz uk' g'OCm'uj twdu'cpf 'xkpgu'uj cm'dg'cv'rcu'hkxg/i cmqp'uk' g. "gzegr v'cu'qj gty lug'ur gekh'gf "d{ yj ku'r gto k0
- 3: 0 Cv'yj g'emug"qh'guetqy "qt'cv'yj g"ko g'qh'qeerw cpe{ "qh'gcej "fy gmkpi "wpx."F gxgnr gt'uj cm t'g'x'ky "y kj "cpf "r t'q'x'f g"kp'ut w'ek'q'pu" vq" gcej "dw' gt "eq'pe'gt'p'kpi "yj g"kt'ki c'v'k'q" eq'p't'q'm'g' q' r g't'c'v'k'q" c'p'f "y' g'y' c'v'g't'k'p'i "u'ej g'f w'gu'0
- 3; 0 Vj g'r tqlgev'uj cm'o gg'v'yj g'o czko wo "cm'qy cdng'y cvgt"wuci g'tgs wktgo gpw'cu'ecre'w'cv'gf "d{ yj g'O qf gr'Y cvgt'G'h'k'ep'v'N'cp'f uecr g'Q't'f k'p'c'p'eg"4237-0Vj g'ecre'w'cv'k'p'u'uj cm'dg'uj qy p"qp yj g'uwo kwgf "rc'p'f uecr g'r r'p'u'h'q't'x'g't'k'k'ec'v'k'q'p'0
- 420 F gxgnr gt'uj cm'uwo k'h'q'w't'ug'u'q'h'o g'f k'c'p'c'p'f "r ct'ny c{ 'rc'p'f uecr g'c'p'f 'kt'ki c'v'k'q'r r'p'u'y kj yj g'h'k'ut'u'w'ud'o k'x'c'n'q'h'r w'd'rk'e'k'o r t'q'x'g'o gp'v'r r'p'u'0Vj g'Ek'k' "uj cm'c'r r t'q'x'g'o g'f k'c'p'c'p'f "r ct'ny c{ r'c'p'f uecr g'c'p'f 'kt'ki c'v'k'q'r r'p'u'y j gp'yj g'Ek'k' "c'r r t'q'x'g'u'r w'd'rk'e'k'o r t'q'x'g'o gp'v'r r'p'u'0D'g'h't'g'yj g'Ek'k' "k'u'w'g'u" c" d'w'k'f k'p'i "r g'to k."yj g'kt'ki c'v'k'q'r r'p'u'o w'u'v'd'g'c'r r t'q'x'g'f "h'q't" r t'q'r g't'o g'v'g't'uk' g. d'c'e'n't'm'y "r t'g'x'g'p'v'k'q'p'f g'x'k'eg."c'p'f "e't'q'u'i"e'q'p'p'g'v'k'q'p"e'q'p't'q'n'd{ "yj g'R'w'd'rk'e"Y q't'm'i'F k't'g'e'v'q't' q't f g'uk'i p'g'g'0
- 430 D'g'h't'g'yj g'Ek'k' "c'e'eg'r u'u'o g'f k'c'p'u" c'p'f "r ct'ny c{ u"ht'qo "F gxgnr gt."yj g"rc'p'f uecr k'p'i "yj g't'g'q'p' o w'u'v'e'q'o r r'g'v'g'c'r r'p'v'g'u'c'd'rk'uj o gp'v'r g't'k'q'f "q'h"; 2'f'c{ u'q't'u'w'ej "q'yj g't'ko g'cu'ur gekh'gf "k'p'yj ku r gto k0

RNCPPKI 'UVCPTF 'EQPFK'KQP U'

- 440 Vj g'h'k'p'c'n'd'w'k'f k'p'i "r r'p'u'u'w'd'o kwgf "d{ 'F gxgnr gt'y kj "yj g'd'w'k'f k'p'i "r g'to k'c'r r r'k'ec'v'k'q'p'uj cm f gr k'v'c'm'd'w'k'f k'p'i "o c'v'g't'k'c'n'c'p'f "e'q'm't'u'v'q'd'g'w'ug'f "k'p'eq'p'ut w'ek'q'p'0
- 450 D'g'h't'g'yj g'Ek'k' "k'u'w'g'u" d'w'k'f k'p'i "r g'to k'u."F gxgnr gt'uj cm'k'p'en'w'f g" c" t'g'r t'q'f w'ek'q'p" qh'cm eq'p'f k'k'q'p'u'q'h'yj ku'r g'to k'cu'c'f q'r v'g'f "d{ 't'g'u'q'm'w'k'q'p'q'h'yj g'R'nc'p'p'k'p'i "E'q'o o k'u'k'q'p'c'p'f l'q't'yj g'Ek'k' "E'q'w'p'ek'n'k'p'c'm'ug'u'q'h'eq'p'ut w'ek'q'p'f q'ew'o gp'w'c'p'f "ur gekh'ec'v'k'q'p'u'h'q't'yj g'r t'q'l'g'e'v'o
- 460 F gxgnr gt'uj cm' r t'q'x'f g" w'k'k'v{ "o g'v'g'tu." o c'k'rd'q'z'g'u" c'p'f "c'f f t'g'u" f k't'g'e'v'q't'k'g'u." r r'ceg'f "k'p' f g'e'q't'c'v'k'g"e'c'd'k'p'g'u" c'p'f "e'n'w'ug't'g'f "h'q't'g'h'k'ep'v'c'e'eg'u" h'q't' t'g'u'k'f gp'w'c'p'f "u'g't'x'k'eg"r g'tu'q'p'u'OCm f g'uk'i pu'o w'u'v'd'g'c'r r t'q'x'g'f "d{ "yj g"E'q'o o w'p'k'v{ "c'p'f "G'e'q'p'q'o k'e" F gxgnr o gp'v'F k't'g'e'v'q't." yj g' c'r r t'q'r t'k'c'v'g'w'k'k'v{ "u'g't'x'k'eg"r t'q'x'k'f g't'c'p'f "yj g'W'p'k'g'f "U'c'v'g'u'R'q'u'w'c'n'U'g't'x'k'eg."cu'c'r r r'k'ec'd'ng'0
- 470 F gxgnr gt'uj cm't'g'eg'u" q't" u'et'g'g'p" t'q'q'h' j g'c'v'k'p'i "c'p'f "e'q'q'k'p'i "u{ u'v'g'o u" c'p'f "q'yj g't" g'z'v'g't'k'q't' o g'ej c'p'k'ec'n'g's w'k'r o gp'v'ht'qo "c'f l'q'l'k'p'k'p'i "r t'q'r g't'v' "c'p'f "r w'd'rk'e' u't'g'g'w'u."cu't'g's w'k't'g'f "d{ "y' ku'r g'to k0 R'w'o d'k'p'i "x'g'p'u."f w'ew'u" c'p'f "q'yj g't" c'r r w't'g'p'c'p'eg'u'r t'q't'w'f k'p'i "ht'qo "yj g't'q'q'h'q'h' u't'w'ew't'g'u'uj cm dg'r r'ceg'f "u'q'yj c'v'yj g'f "y' k'n'p'q'v'd'g'x'k'k'd'ng'ht'qo "yj g'ht'q'p'v'q'h'yj g'r t'q'r g't'v' "q't"q'yj g't'o c'l'q't'r w'd'rk'e' x'c'p'v'c'i g'r q'l'p'w'0F gxgnr gt'uj cm'k'p'en'w'f g" c" p'q'v'g" q'p'yj g'eq'p'ut w'ek'q'p'r n'w'o d'k'p'i "f t'c'y k'p'i u'q'h' g'z'v'g't'k'q't' g'g'x'c'v'k'q'p'u'v'q' k'p'f k'ec'v'g'v'q'eq'p'v'c'ev'q't'u'yj c'v't'q'q'h'h'g'c'w't'g'u'uj cm'd'g'i t'q'w'g'f "c'p'f "r'q'ec'v'g'f k'p'yj g'f g'u'et'k'd'g'f "o c'p'p'g't'0T'q'q'h'x'g'p'u'uj cm'd'g'uj qy p"qp'eq'p'ut w'ek'q'p'f t'c'y k'p'i u'c'p'f "r c'k'p'v'g'f "v'q' o c'v'ej "t'q'q'h'o c'v'g't'k'c'n'eq'm't'0
- 480 Vj g'j' g'k'i j v'q'h'yj g'ut'w'ew't'g'k'p'en'w'f k'p'i "t'q'q'h'o q'w'p'v'g'f "g's w'k'r o gp'v'uj cm'p'q'v'g'z'eg'g'f "38ø2ö"ht'qo c'x'g't'c'i g'p'c'w't'c'n'g'x'c'v'k'q'p'0

Geqqo ke'F gxgnr o gpv'F ktgevq't'cpf 'yj g'Dwkrf kpi 'Qhlekrf'

650 F gxgnr gt'uj cm'j cxg' c' r tg/eqputwekqp" o ggkpi " y kj " yj g" j gcf " qh' yj g" Rwdrke" Y qtmu
F gr ctvo gpv'q'f luewu'cpf 'uwo k'c'eqputwekqp'uej gf wrg0

GPI RGGTRPI 'UVCPTF'EQPFKIKPU*EKI 'QH'NQO K/C+'

660 Cm' r wdrke" ko r tqxgo gpw." kpenf kpi " pgy " y cvgt" ugtxleg" rkgu." o gvgtu." cpf " htqpvci g
ko r tqxgo gpw' uj cm' dg" eqputwevgt " r gt " yj g" Ekf {a} Ucpf ctf " Ftcy kpi u" cpf " Ucpf ctf
Ur gekhlecwqpu0Cm'pgy "cpf "o qf hkgf "wkrk\ 'rkpu'uj cm'dg'r rnegf "wfp gti tqwfp 0

670 Vj g'f gxgnr gt'uj cm'uwo k'ecrewekqpu." r tgr ctgf "d { "c' rkegpugf "ekkl'gpi kpggt." f gvgto kpkpi
yj g'uk' g'qh' yj g' y cvgt " ugtxleg" rvgtcn." y cvgt "o gvgtu" cpf " dcentmry " f gxleg0' C" ugr ctcvg" hkg
ugtxleg'rkpg'uj cm'dg'tgs wkt gf 0

680 Vj g'f gxgnr gt'uj cm'kpuem'ugr ctcvg'y cvgt "o gvgtu'ht' gcej "wpk'y kj " yj g'dtepf k{ r g'qh'o gvg
uwlgev' vq' yj g' F gr ctvo gpv'qh' Rwdrke" Y qtmu' cr r tqxcn0' Rtkqt " vq' tgegk kpi " Egt wkecvg" qh
Qeewr cpe { . f gxgnr gt'uj cm'igr ct' k' "ceeqt cpegy kj " yj g'ucpf ctf u'cpf "ur gekhlecwqpu'qh'yj g
Rwdrke" Y qtmu' F ktgevq." cp { " f co ci gf " eqpetvg" ewtdu." i wvgtu" cpf " ukf gy cmu' r ctcmg' cpf
cf lcegpv' vq' yj cv' r qt vqp" qh' yj g' gpvt g' r gto gvg " qh' yj g' m'v' y j kej " cf lqkpu' yj g' utggv." cv' pq
gzr gpug' vq' yj g' ekf 0

690 Cm'y cvgt "o gvgtu'uj cm'dg'mecvgt "qwukf g'qh'yj g' f tkxy c { "cr tqp0'Vj g'pgy "mecvqp'uj cm'dg
vq' yj g' ucwukcevqp'qh'yj g' Ekf 0

6: 0 Cm'wpwgf "cr r tqcej gu' b wv'dg'tgo qxgf "cpf "tgr rnegf "y kj "ukf gy cm'r ctny c { "ko r tqxgo gpw
vq' o cvej "gzkukpi "cpf "r wuwpv'vq' Co gtlecp'F kucdkrkku' Cev'tgs wkt go gpw0

6; 0 Cm'r tqlgev' f tkxy c { u." cr r tqcej gu." kpenf kpi " cmg { ." cpf " cf lcegpv' ukf gy cm' ctgc" uj cm' dg
eqputwevgt "vq' o gg'Co gtlecp'F kucdkrkku' Cev'tgs wkt go gpw0

720 Ekkl'gpi kpggtkpi "r rpu'uj cm'dg"uwo kwgf "ht'cm'tki j vqh/y c { "ko r tqxgo gpv'r tkqt "vq' r rcp
uwo kukqp "vq' yj g'Dwkrf kpi "cpf "Uchgf "F kkkukqp0

730 Vj g'f gxgnr gt'uj cm'qdvclp"cp"gpctcej o gpv'r gto k' "cpf "r rneg'dqpf u'cu'pgeguct { "htqo "yj g
Ekf { "qh'Nqo kc"ht'cm'r tqr qugf "r wdrke"ko r tqxgo gpw." kpenf kpi "r c { o gpv'qh'cm'r rcp"ej gem
cpf "kpur gevqp'hgu0

740 Rtkqt "vq' kuw kpi "c" i tcf kpi "r gto k'qt "hpcn'Rctegn'O cr "cr r tqxcn'yj g'f gxgnr gt'uj cm'gkj gt
eqputwev'qt "r quv'ugewk\ "ht'cm'tgs wkt gf "r wdrke"ko r tqxgo gpw0

750 Uj qwf "yj g" r tqr qugf "f gxgnr o gpv'tgs wkt g" c" Ucpf ctf "Wdcp"Uqto y cvgt "O kki cvkqp"Rrcp
*UWUO R+"cpf "c"Nqy "K r cev'F gxgnr o gpv'Rrcp" *NKF + "yj g'Cr r rkecp'uj cm'eqo r n\ "y kj "yj g
tgs wkt go gpw'cpf "ur gekhlecwqpu'cu' r tguetkdgf "d { "yj g'Nqu" Cpi gnu'Eqwv\ "F gr ctvo gpv'qh
Rwdrke" Y qtmu'cpf lqt "yj g' Ekf 0

RNCPPPI 'URGEKCN'E QPF KWQPU'

760 Vj cv." kp" vj g" gxgpv" qh' c" f kuci tggogp" kp" vj g" kpvgtr tgvckqp" cpf lqt" cr r necvckqp" qh' vj gug eqpf kkpqu. "vj g"kuuwg'uj cm'dg'tghettgf "dcm'vq"vj g'Rrcppkpi "Eqo o kuukqp" hqt" c" f gekukqp" r tkqt vq"vj g'kuuwpeg"qh'c" dwkf kpi "r gto k0

770 K'ku'j gtgd{ "f gemtgf "vq"dg'vj g'kpvgpv'vj cv'kh'cp{ "r tqxkukqp"qh'vj ku'r gto k'ku'j grf "qt" f gemtgf kpxcrkf. "vj g'r gto k'uj cm'dg'xqkf "cpf "vj g'r tkxkrgi gu'i tcpvgf "j gtgwpf gt'uj cm'hr ug0

780 Vj ku'cr r tqxcr'ku'uwdlgev'vq"vj g'tgeqtf cvkqp"qh'Xgukpi "Vgpvc'xg'Rctegn'O cr "P q0': 524; "cpf vj g'o cr ø'eqpf kkpqu"qh'cr r tqxcr0

790 Dwkf kpi "r gto ku'uj cm'pqv'dg'kuuwgf "r tkqt "vq"tgeqtf kpi "qh'vj g'kpcn'o cr 0

RCUUGF "cpf "CF QRVGF "d{ "vj g'Rrcppkpi "Eqo o kuukqp"qh'vj g'Ekv{ "qh'Nqo kc"qp"vj ku'36'j "f c{ "qh' Lxpg."4243"d{ "vj g'hqmqy kpi "xqvg<

C[GU<" Eqo o kuukqpgtu<"

P QGU<" Eqo o kuukqpgtu<

CDUGP V<" Eqo o kuukqpgtu<

TGEWUG< Eqo o kuukqpgtu<"

Ugxgp'Eco o ctvc.'Ej ckr gtuqp"

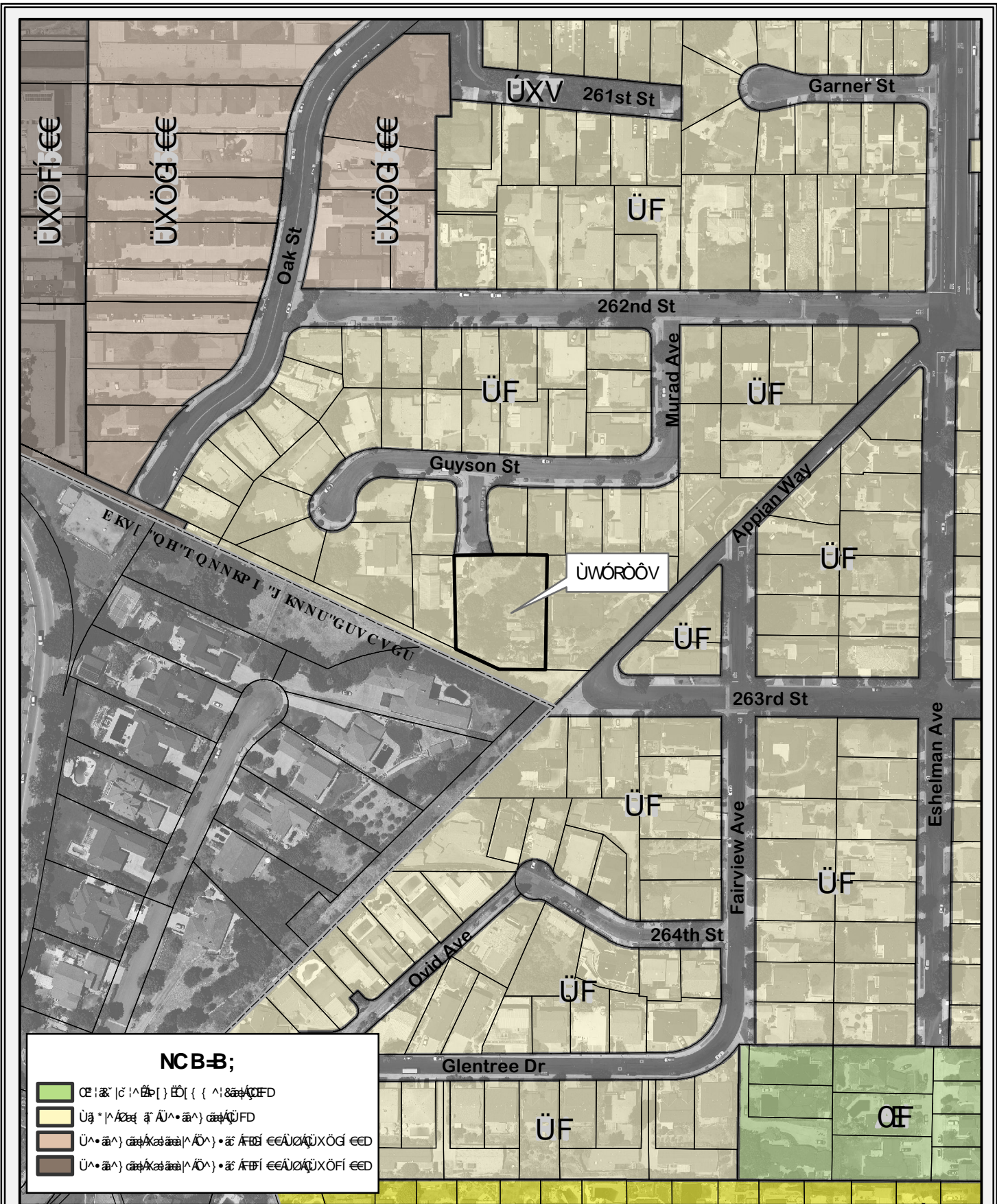
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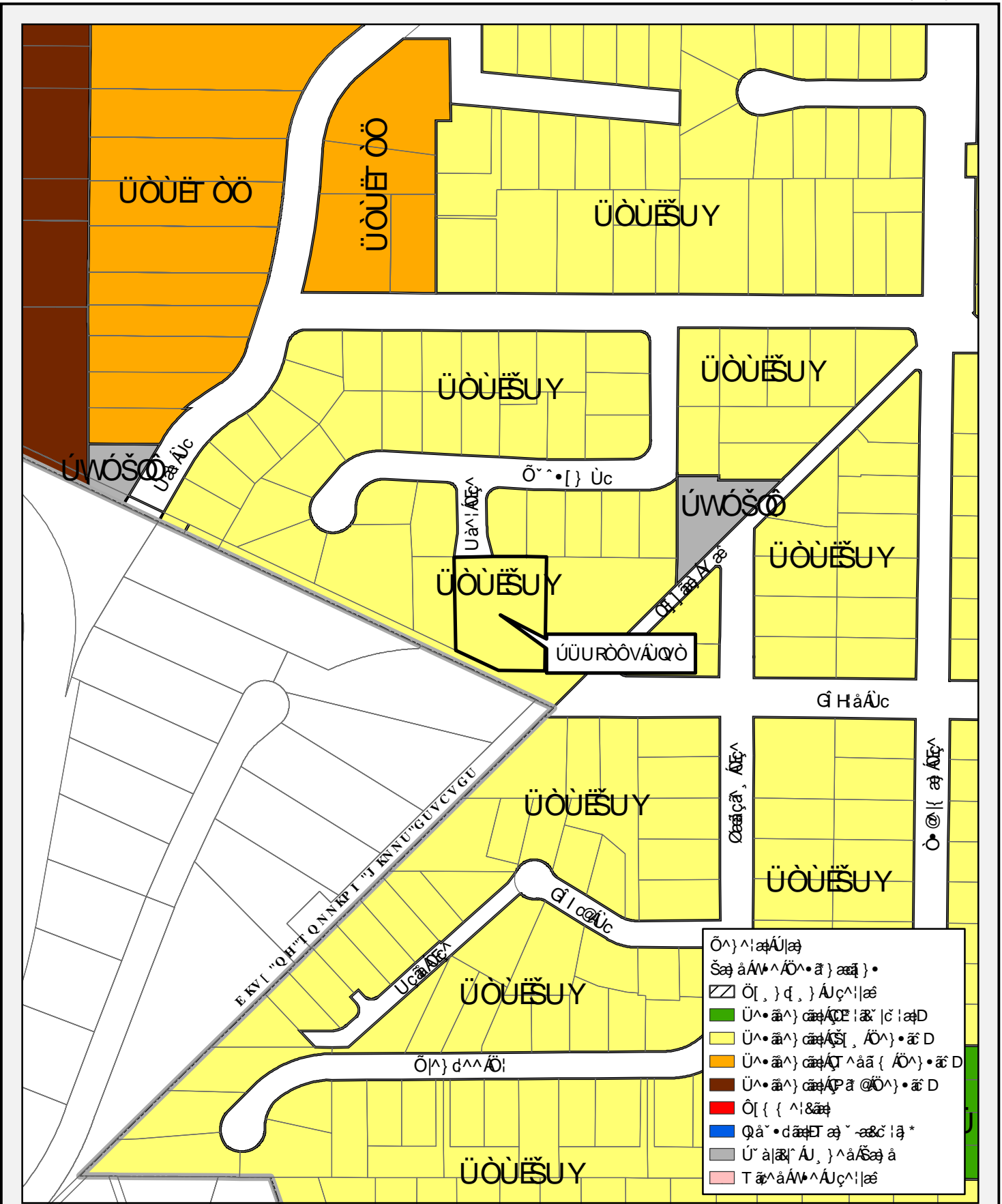
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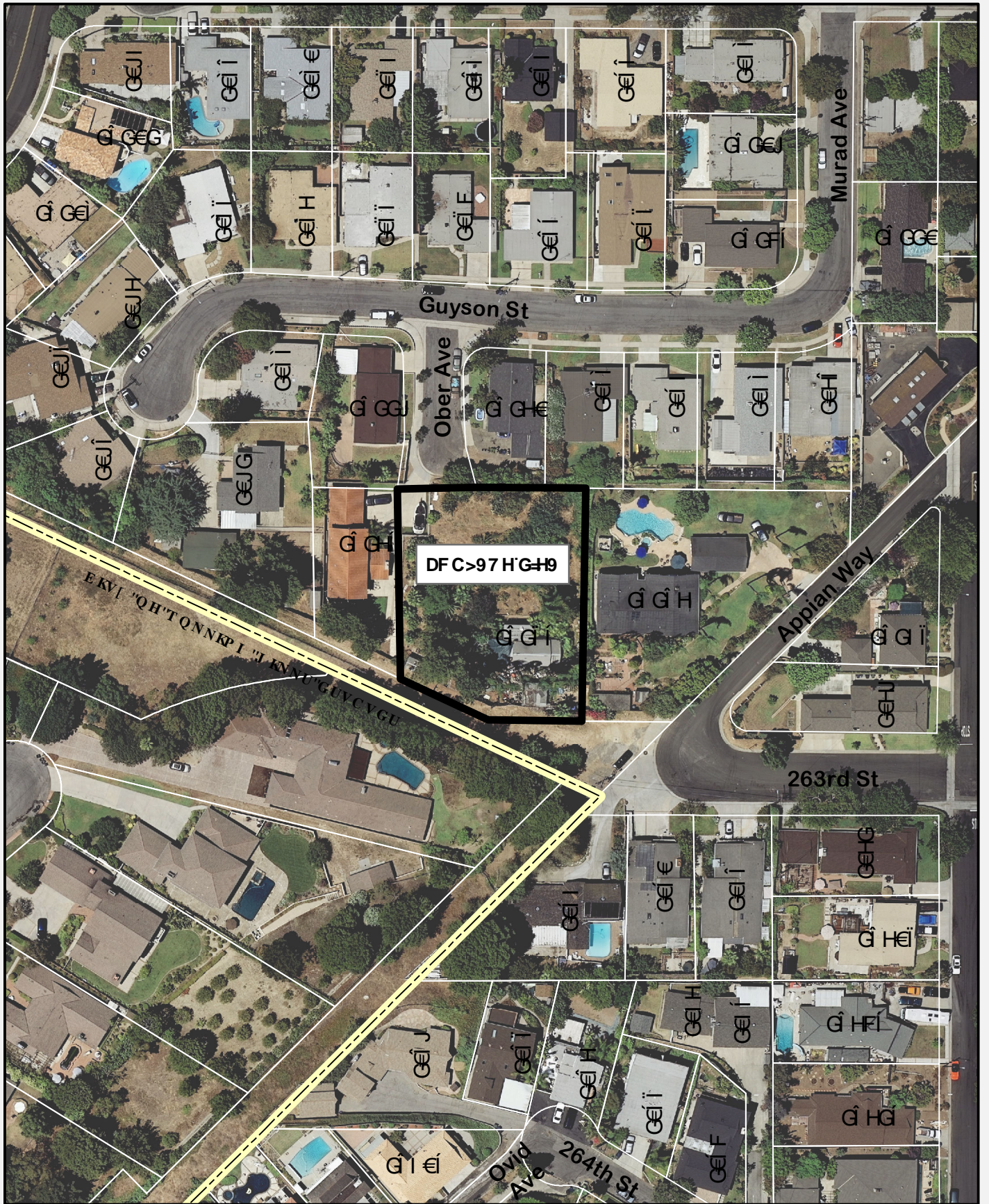
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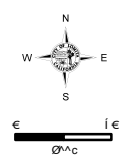


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Lomita

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- Ecvgi qtkecn'Gzgo r vkqp'*EGS C'I w'f grkpgu.'Ugevkqp'37525*c+*P gy 'Eqputwekqp'cpf 'Eqpxgtukqp'qh'
Uo cm'Utwewtgu+'("Ugevkqp'37537"*O kpat'Ncpf 'F kklkqpu+')
- Ucwwt { 'Gzgo r vkqp'
- Go gti gpe { 'Rtqlgev'
- S weni'F kcr r tqxcn']EGS C'I w'f grkpgu.'Ugevkqp'37492_"
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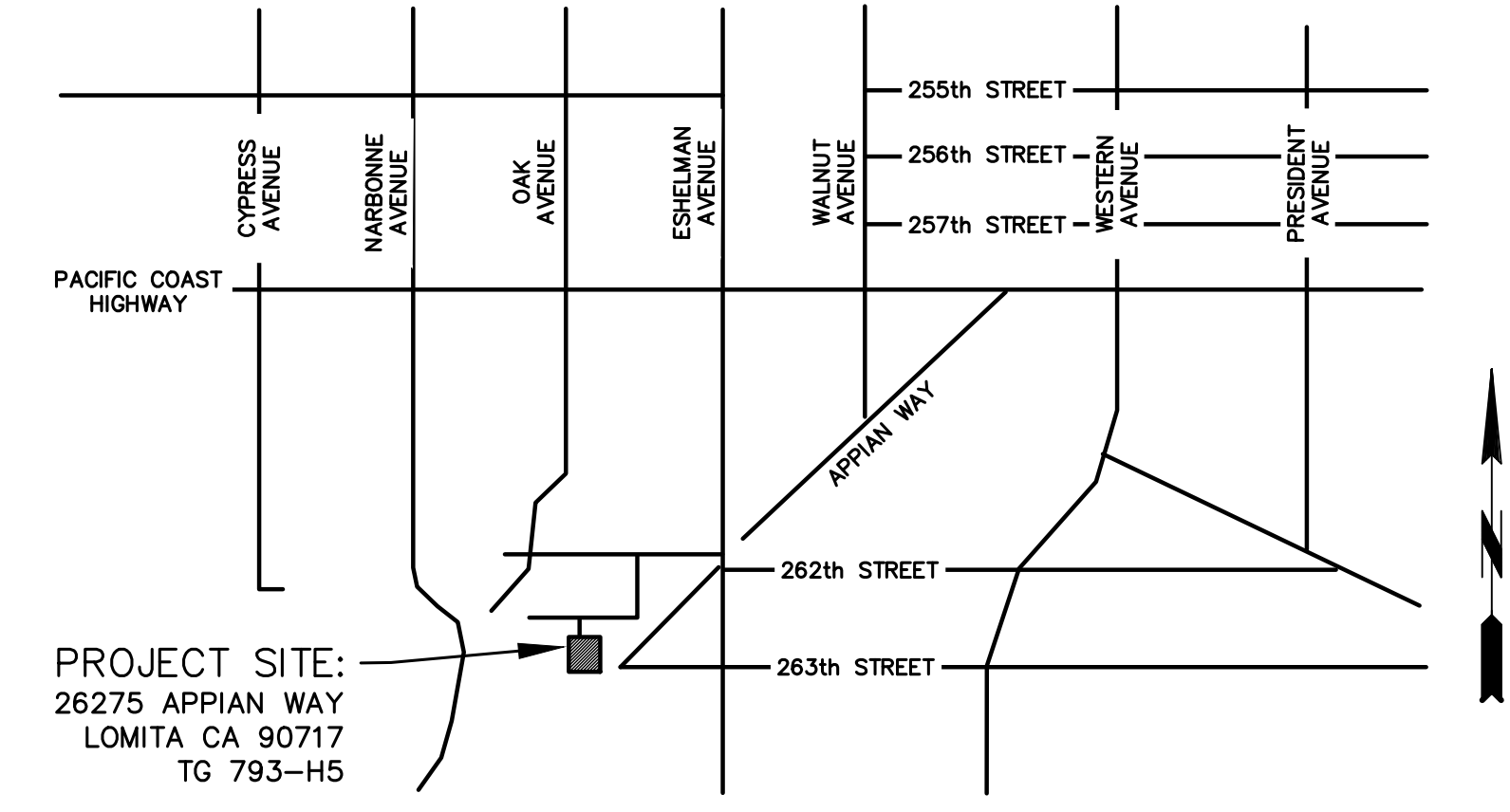
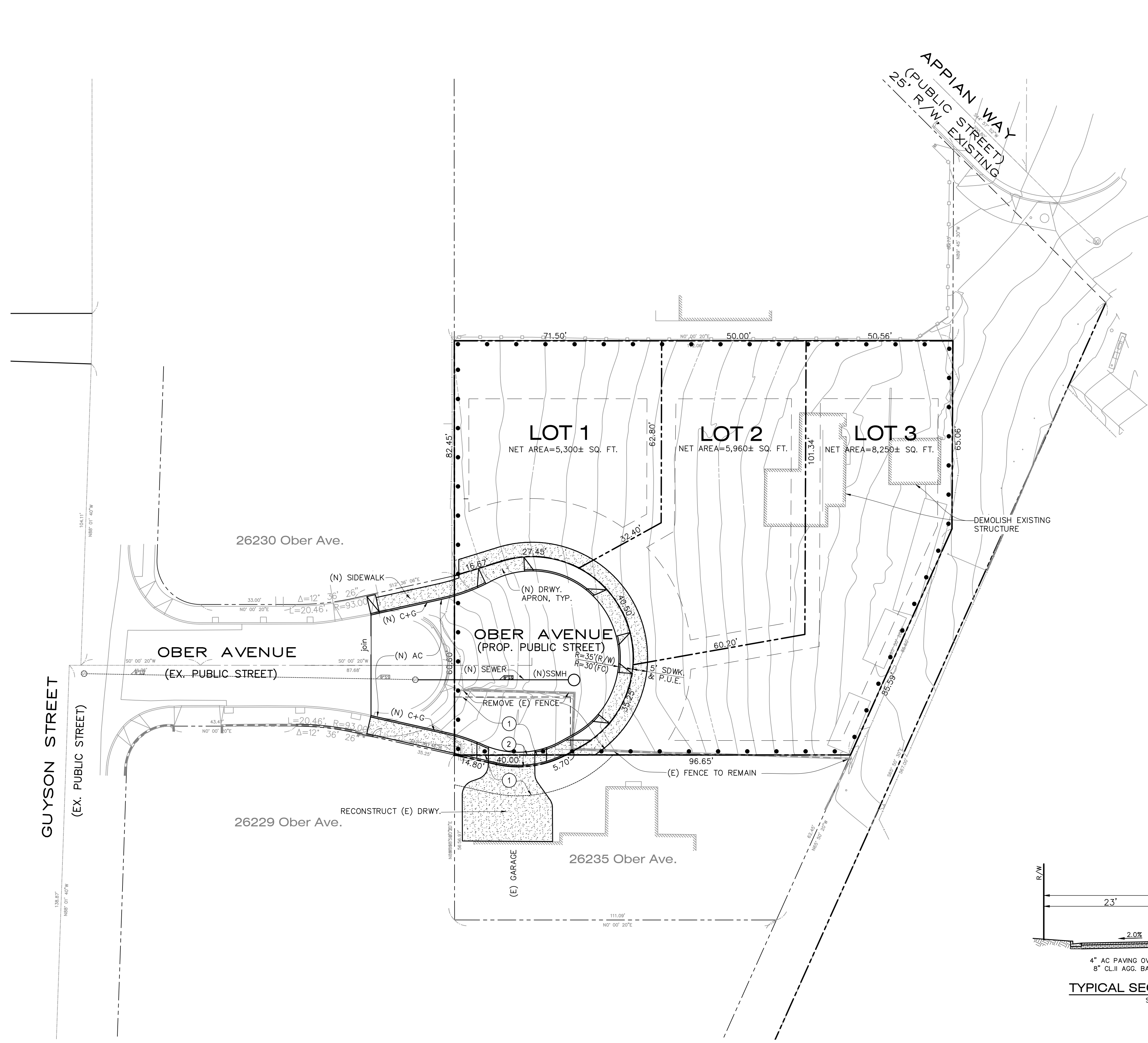
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ceegu'v'q'v'j g'r tqr qugf 'r ctegn'v'q'htecnlucpf ctf u'ctg'cxckrdng.'v'j g'r ctegn'y cu'pqv'lxqrx'gf 'lp'c'f kklkqp'qh'c"
r'cti gt 'r ctegn'y kj k'p'v'j g'r tgxkqwu'4" { gctu.'cpf "v'j g'r ctegn'f qgu'pq'v'j cxg'cp'cxgtci g'unqr g'i tgevt'v'j cp'42"
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o c { 'j cxg'c'uki p'khecpv'Ghgev'qp'v'j g'gpxktqpo gpv'0"**

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F ktgev't"

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021



PROPERTY ADDRESS:
 26275 APPIAN WAY, LOMITA, CALIFORNIA
 ASSESSOR'S PARCEL NO: 7549-004-035

APPLICANT/DEVELOPER:
 Kevin McMin
 3702 Ocana Avenue
 Long Beach CA 90808

LEGAL DESCRIPTION:
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
 PORTION OF LOT 21, OF TRACT 954, AS SHOWN ON A MAP RECORDED IN BOOK 17, PAGE 16 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ENGINEER / MAP PREPARED BY:
 BOLTON ENGINEERING CORP.
 25834 Narbonne Ave #210
 Lomita, CA 90717
 Phone: (310) 325-5580
 Contact: Daniel J. Bolton
 RCE 63290 EXP. 6/30/22

EXISTING USE:
 THE TOTAL AREA OF LAND CONSISTS OF:
 GROSS = 23,200± SQ. FT.

THE SITE IS CURRENTLY DEVELOPED WITH A SINGLE FAMILY RESIDENCE.

ZONING: R1 (SINGLE FAMILY RESID.)
LAND USE (EXISTING): SINGLE FAMILY RESID.
LAND USE (PROPOSED): SINGLE FAMILY RESID.

FLOOD ZONE:
 THE SUBJECT PROPERTY IS MAPPED AS ZONE "X".

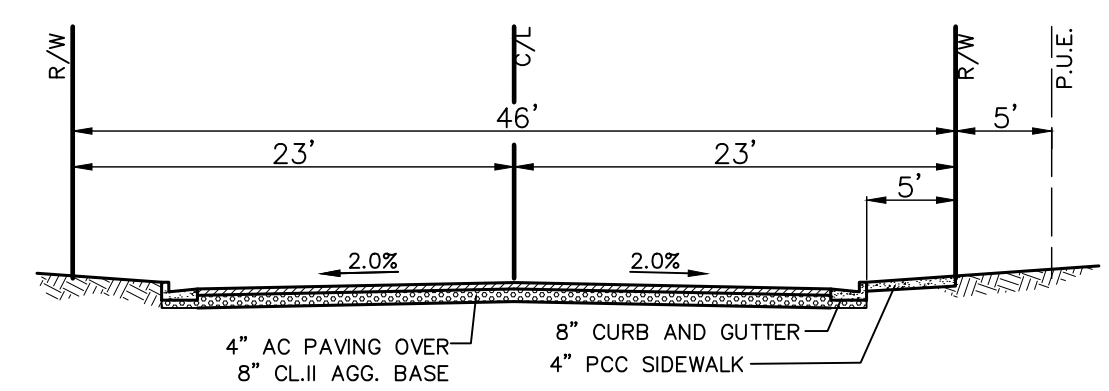
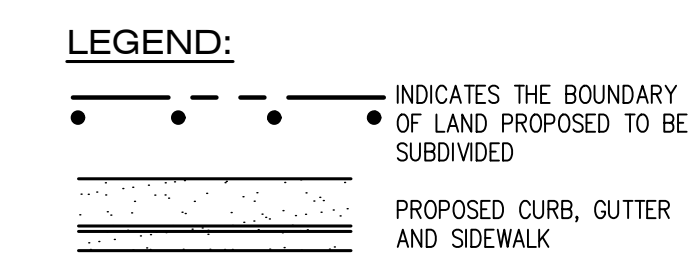
BOUNDARY LINES ARE ESTABLISHED BY RECORD PER SAID TRACT MAP.

SUBDIVISION SUMMARY:
 THE SUBDIVISION PROPOSES CREATION OF THREE (3) SINGLE FAMILY RESIDENTIAL LOTS. PUBLIC RIGHT OF WAY AND PUBLIC IMPROVEMENTS FOR OBER AVENUE SHALL BE DEDICATED AND CONSTRUCTED.

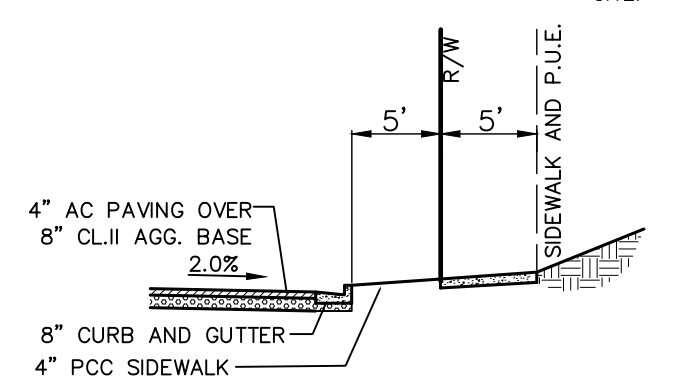
EARTHWORK QUANTITIES:
 ESTIMATED GRADING FOR THE SUBDIVISION:
 CUT: 189cy
 FILL: 140cy (RAW)
 156cy (10% SHRINKAGE)
 NET: 33cy EXPORT

EASEMENTS:
 FROM A TITLE REPORT BY PRIORITY TITLE COMPANY DATED NOVEMBER 28, 2016:

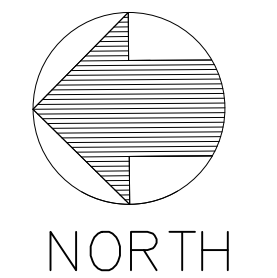
- 1 AN EASEMENT FOR RECIPROCAL INGRESS/EGRESS PER INST. NO. 15-629533.
- 2 IRREVOCABLE OFFER OF DEDICATION OF PUBLIC RIGHT OF WAY PER INST. NO. 78-1015963.
- 3 IRREVOCABLE OFFER OF DEDICATION OF SLOPE EASEMENT PER INST. NO. 78-1015963.
- 4 NEW PUBLIC RIGHT OF WAY FOR OBER AVENUE TO BE DEDICATED AS SHOWN. EASEMENTS SHALL BE DEDICATED OR RESERVED FOR RECIPROCAL INGRESS/EGRESS, UTILITY PROVISION AND MAINTENANCE, AND EMERGENCY VEHICLE ACCESS, AS NECESSARY.
- 5 ALL SQUARE FOOTAGES SHOWN ARE APPROXIMATE AND SUBJECT TO REVISION DURING DESIGN PROCESS.
- 6 NO WELLS ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- 7 NO OAK TREES ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY. ALL EXISTING TREES ON SITE TO BE REMOVED.
- 8 NO HAZARDOUS CONDITIONS ARE KNOWN TO EXIST ON SITE.



TYPICAL SECTION-OBER AVENUE
 SCALE: 1"=10"



TYP. SECTION-OBER CUL DE SAC
 SCALE: 1"=10"



TENTATIVE MAP
 Scale: 1" = 20'-0"

Basis Of Bearings
 THE BASIS OF BEARINGS FOR THIS SURVEY, South 00° 00' 20" West BEING THE CENTERLINE OF OBER AVE., IN THE CITY OF LOMITA, CALIFORNIA. PER TRACT 21798, BM 600, PG. 2

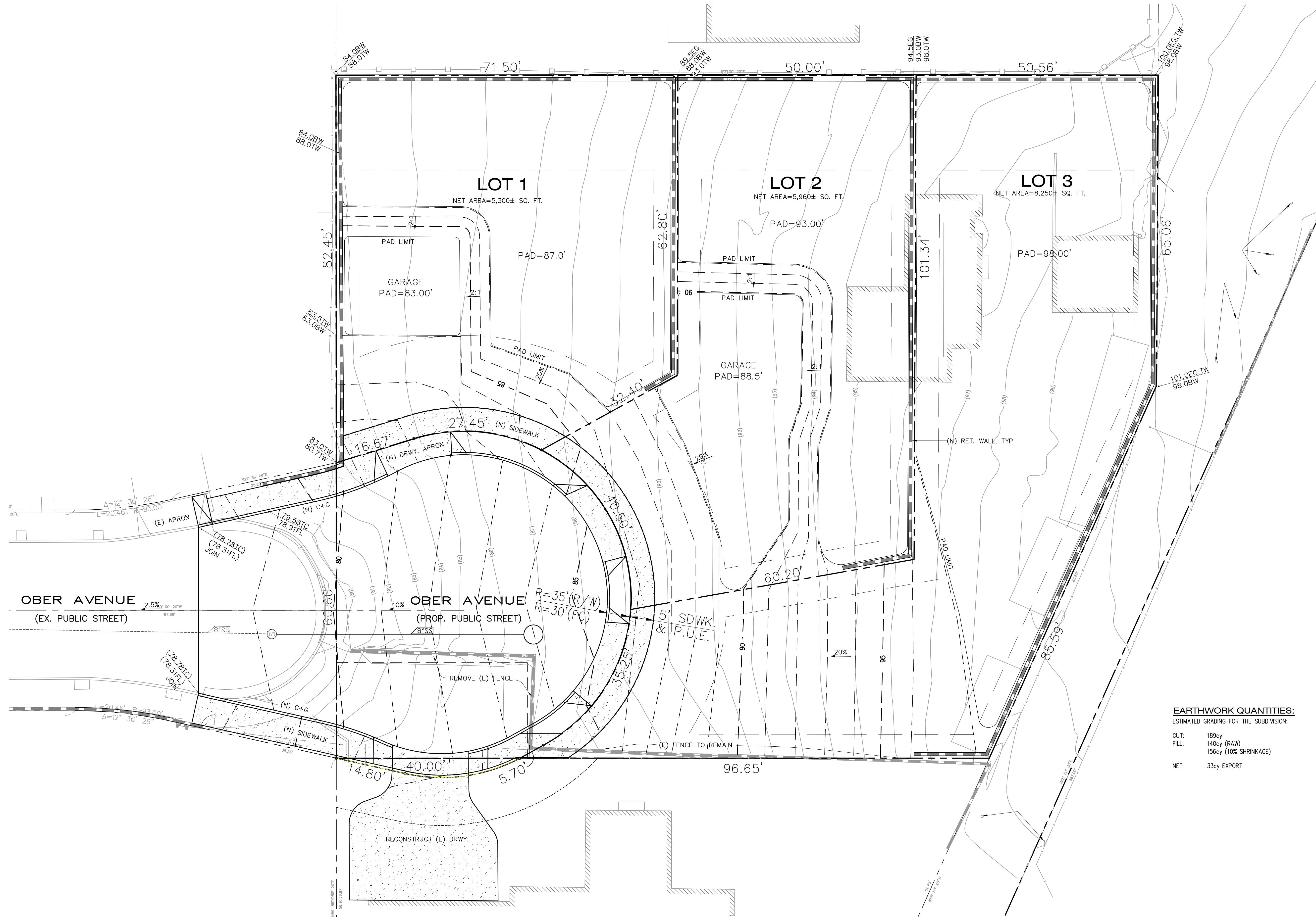
BENCHMARK:
 BEING A LT ON CURB AT APPIAN WAY & 263RD ST. ASSUMED ELEV. 100.

Bolton Engineering Corp.
 Civil Engineering & Surveying
 25834 Narbonne Avenue Ste. 210
 Lomita, CA 90717
 BEC JOB NO. 19128

SHEET 1 of 3

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021



APPLICANT/DEVELOPER:

Kevin McMinn
 3702 Ocana Avenue
 Long Beach CA 90808

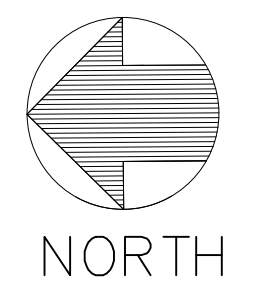
ENGINEER / MAP PREPARED BY:

BOLTON ENGINEERING CORP.
 25834 Narbonne Ave #210
 Lomita, CA 90717
 Phone: (310) 325-5580
 Contact: Daniel J. Bolton
 RCE 63290 EXP. 6/30/18

EARTHWORK QUANTITIES:

ESTIMATED GRADING FOR THE SUBDIVISION:

CUT: 189cy
 FILL: 140cy (RAW)
 156cy (10% SHRINKAGE)
 NET: 33cy EXPORT



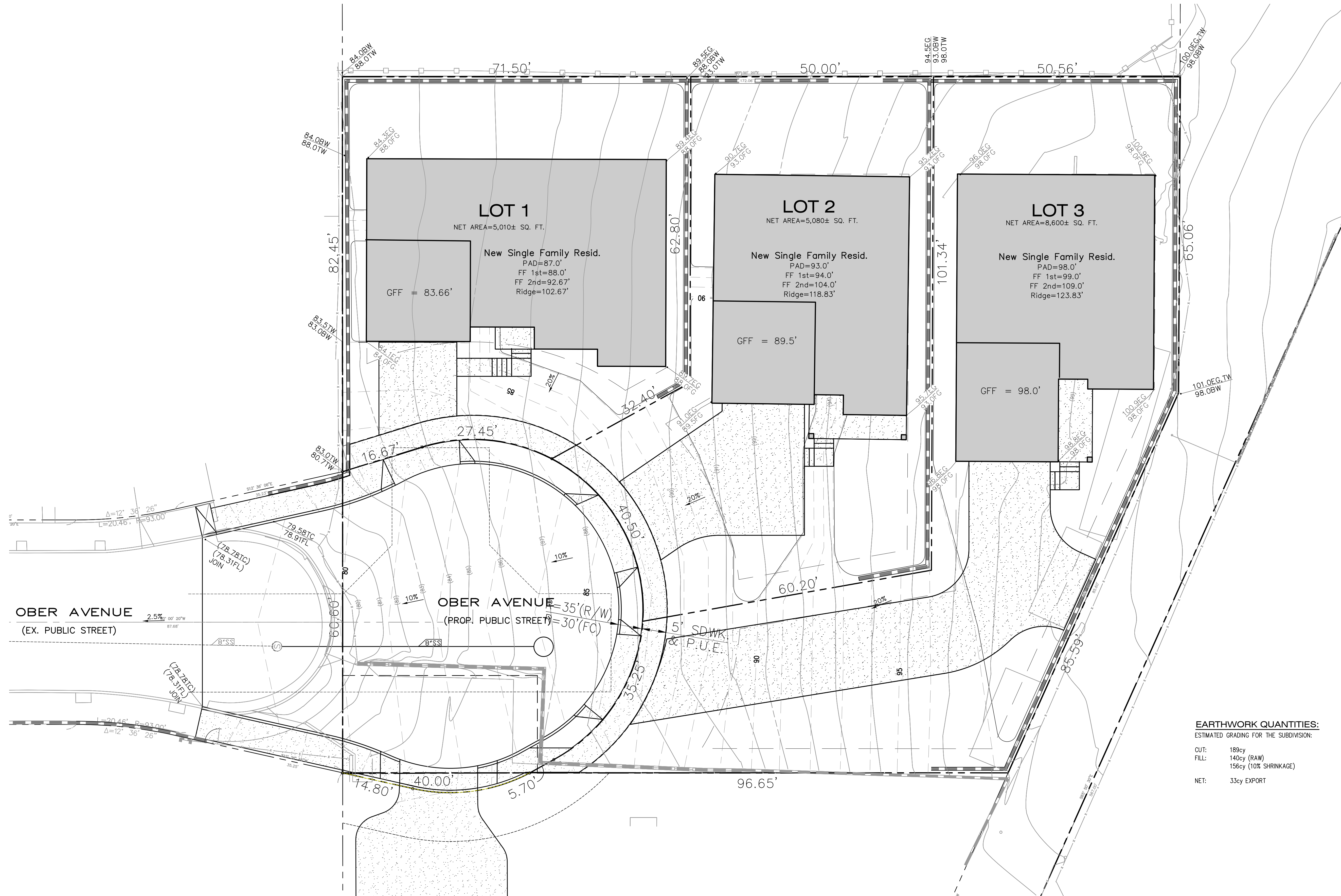
CONCEPT GRADING PLAN

Scale: 1" = 10'-0"

Bolton Engineering Corp.
 Civil Engineering & Surveying
 25834 Narbonne Avenue Ste. 210
 Lomita, CA 90717
 BEC JOB NO. 19128

MINOR LAND DIVISION
Vesting Tentative Parcel Map #83029
 Located in the City of Lomita, County of Los Angeles, State of California

April 21, 2021

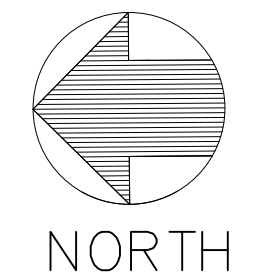


APPLICANT/DEVELOPER:
 Kevin McMinn
 3702 Ocaña Avenue
 Long Beach CA 90808

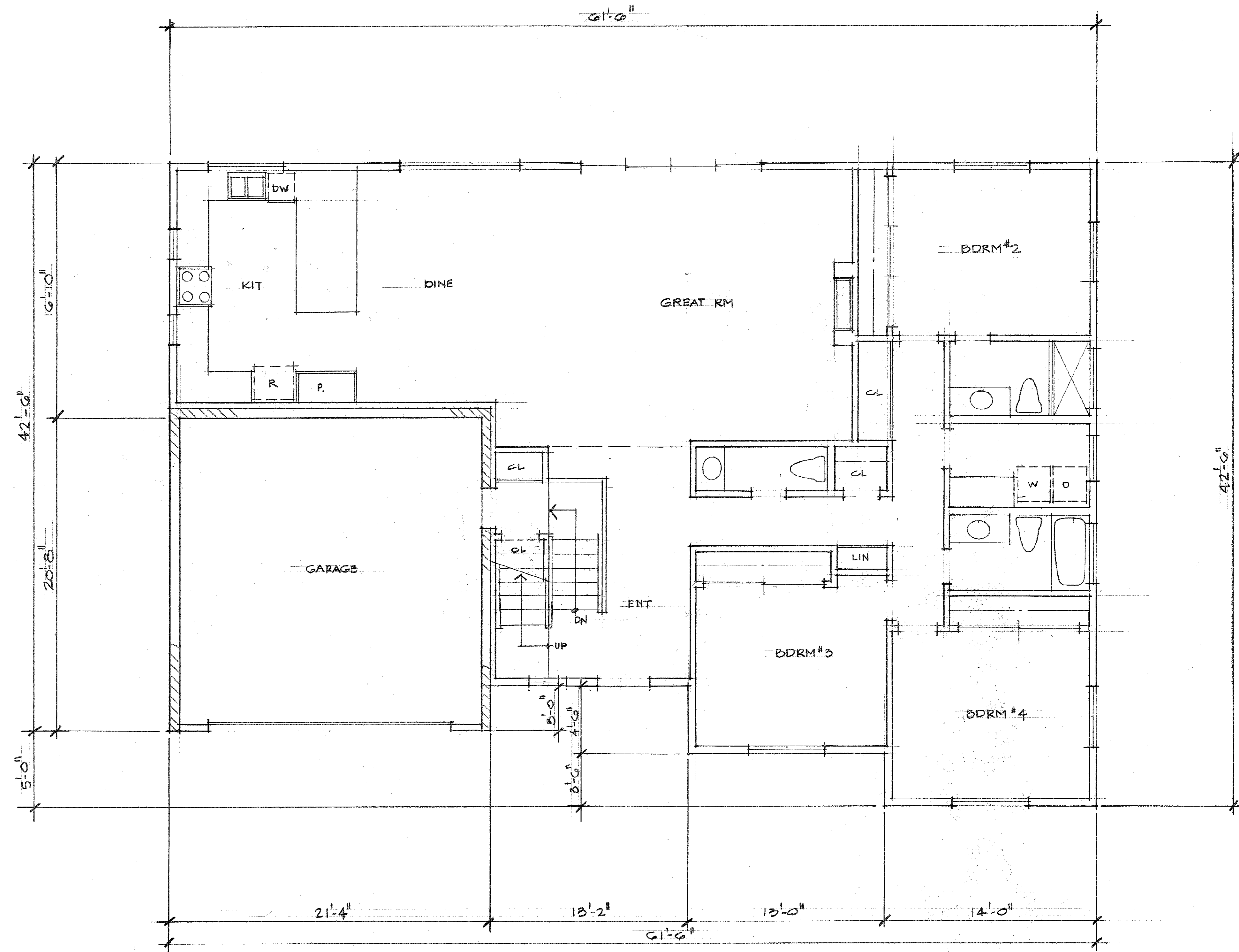
ENGINEER / MAP PREPARED BY:
BOLTON ENGINEERING CORP.
 25834 Narbonne Ave #210
 Lomita, CA 90717
 Phone: (310) 325-5580
 Contact: Daniel J. Bolton
 RCE 63290 EXP. 6/30/18

EARTHWORK QUANTITIES:
 ESTIMATED GRADING FOR THE SUBDIVISION:

CUT:	189cy
FILL:	140cy (RAW)
	156cy (10% SHRINKAGE)
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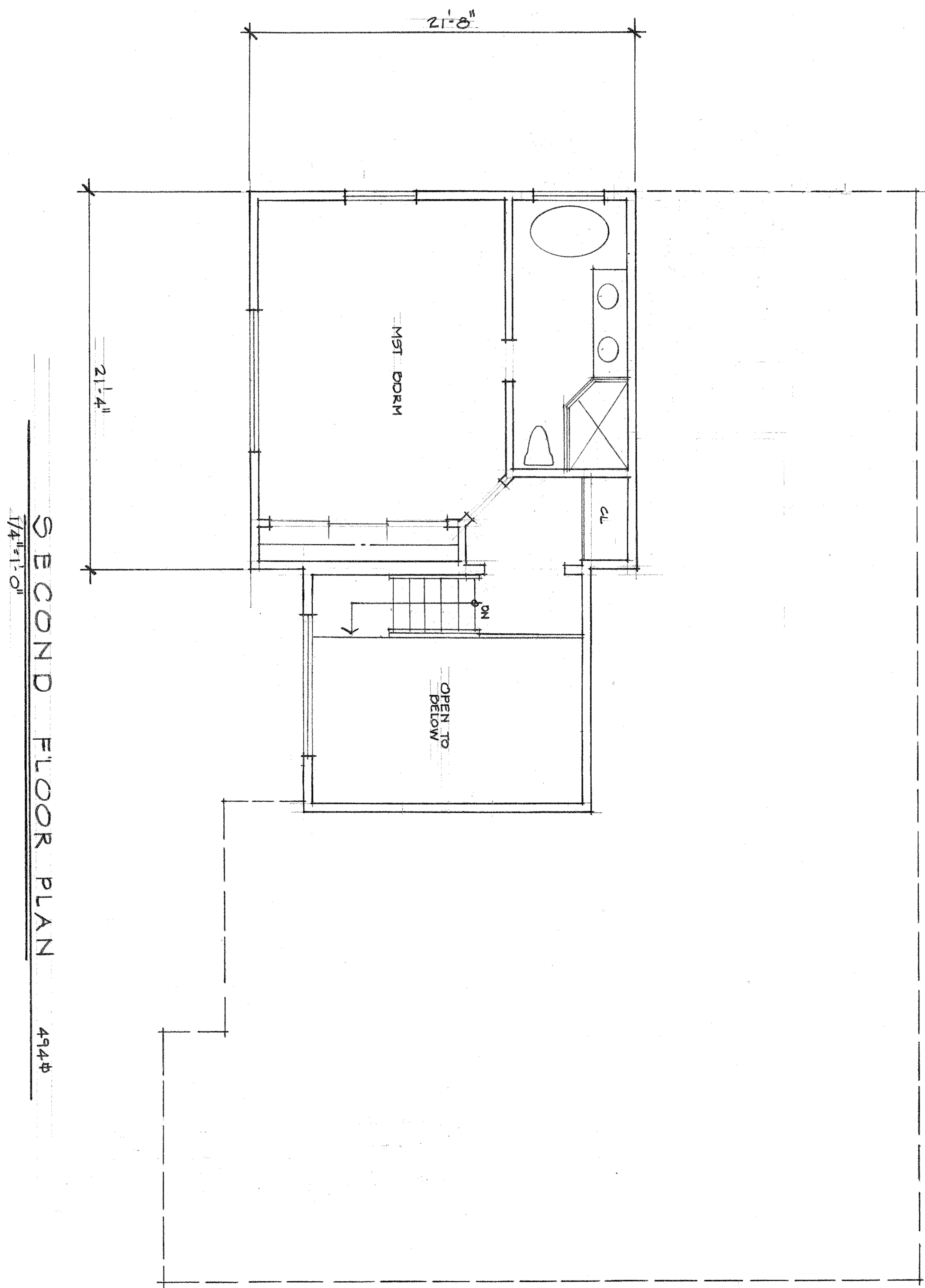
CONCEPT SITE DEVELOPMENT PLAN
 Scale: 1" = 10'-0"



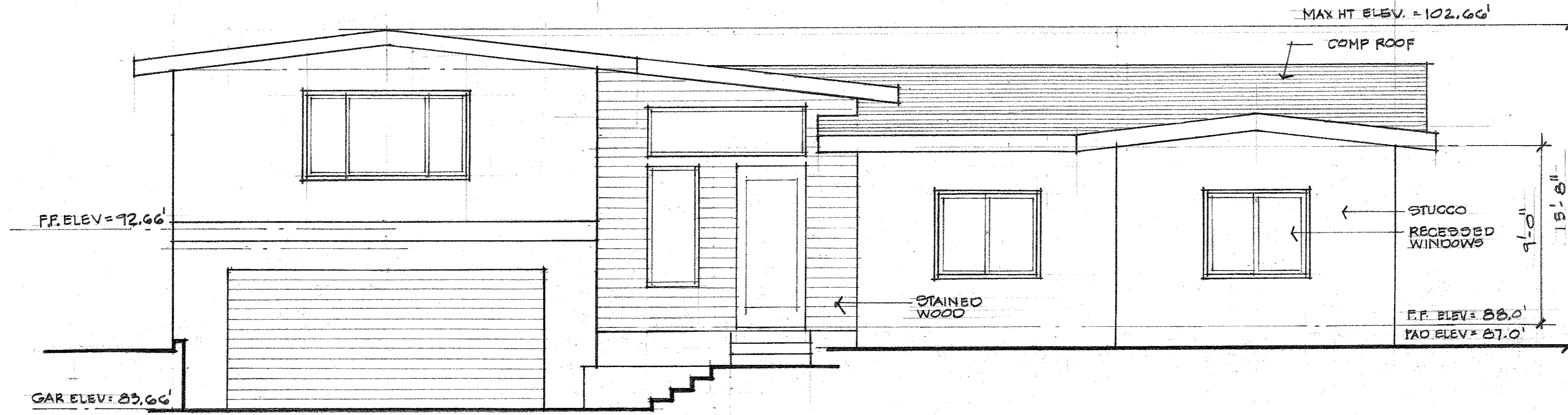
FIRST FLOOR PLAN

1/4" = 1'-0"

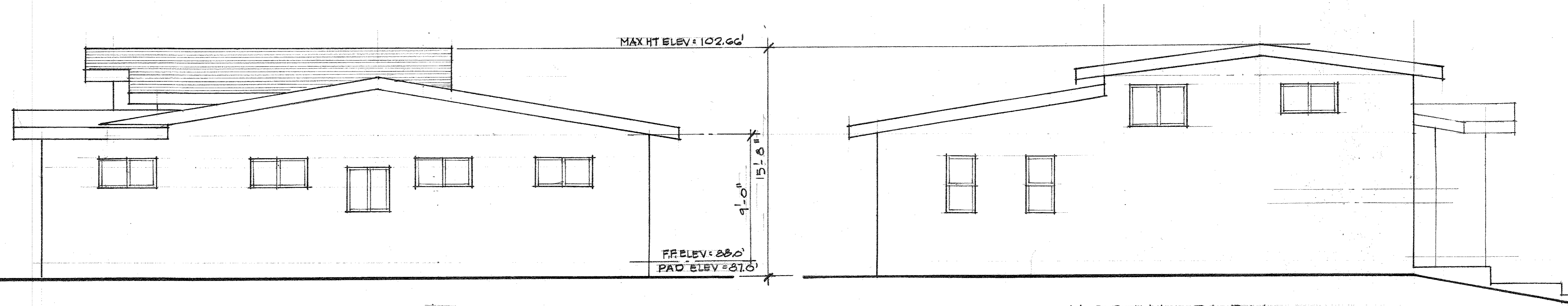
1ST FLR	1915 #
2ND FLR	494 #
TOTAL	2409 #
GARAGE	441 #



SECOND FLOOR PLAN
 1/4"=1'-0"
 494#

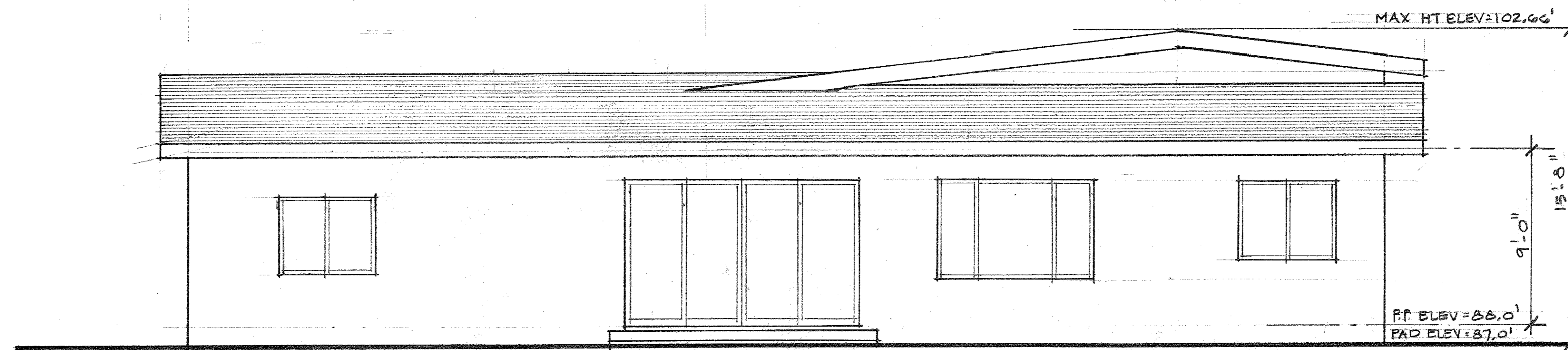


WEST ELEV.
1/4" = 1'-0"



SOUTH ELEV

NORTH ELEV.



EAST ELEV.

REVISED HT 4-15-21

Recording Requested by
CITY OF LOMITA
When Recorded Mail to
CITY OF LOMITA
24300 Narbonne Avenue
Lomita, California
90717

78-1015963

ATTACHMENT 10

RECORDED IN OFFICIAL RECORD
OF LOS ANGELES COUNTY, CA
41 MIN. PAST 10 A.M. SEP 13 1978
Recorder's Office

Documentary Transfer T. & S. NONE
County of Los Angeles - Department
of County Engineer Thomas Quinn
By _____

IRREVOCABLE OFFER OF DEDICATION

FREE 1G

I/We, the record owners of the following described property in the City of Lomita, County of Los Angeles, State of California:

SEE LEGAL DESCRIPTIONS ON EXHIBIT "A"
ATTACHED HERETO AND BY THIS REFERENCE
MADE A PART HEREOF.

Do hereby offer to dedicate to the City of Lomita, a municipal corporation an easement for public road and highway purposes in, upon, over and across the parcel designated as Parcel A, and an Easement for Slope Purposes over the parcel designated as Parcel B.

The undersigned agrees to execute an easement deed for public road and highway purposes and for slope purposes over said property whenever the road easement form bearing the precise legal descriptions of the road easement and the slope easement is presented for execution. It is understood that upon its acceptance and recordation, the easement deed shall supersede this agreement and any portion of this agreement that is inconsistent with said easement deed shall cease and terminate and be of no further effect.

It is further understood that this agreement shall be irrevocable upon its acceptance by the City of Lomita and it shall be binding upon the undersigned's successors or assigns.

Dated: 8/27/78

X [Signature]
Jeffrey W. Faver
X _____

TO 447 C
(Individual)

78-1015963

(TI)

STATE OF CALIFORNIA
COUNTY OF Los Angeles } ss.

On August 28, 1978 before me, the undersigned, a Notary Public in and for said State, personally appeared Jeffrey W. Faver

to be the person _____ whose name is subscribed to the within instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.
Signature [Signature]

OFFICIAL SEAL
DARRYL E. DALCIN
Notary Public - California
LOS ANGELES COUNTY
My Commission Expires July 21, 1979

Darryl E. Dalcin
Name (Typed or Printed)

"EXHIBIT "A"

PART A (Road Easement)

That portion of Lot 21, Tract No. 954, as shown on map recorded in Book 17, page 16, of Maps, in the office of the Registrar-Recorder of the County of Los Angeles, within the following described boundaries:

Beginning at a point in the southerly line of the northerly 350.00 feet of said Lot, easterly thereon 56.97 feet from the westerly line of said Lot, said point being the southeasterly corner of Lot 25, Tract No. 21798, as shown on map recorded in Book 600, pages 1 and 2, of Maps, in the office of said Registrar-Recorder; thence S 12°36'46"W along the southerly prolongation of the easterly line of said Lot 25 a distance of 14.74 feet to the beginning of a curve concave to the east, having a radius of 35.00 feet and being tangent to said southerly prolongation; thence southerly along said curve through a central angle of 40°28'43" an area distance of 24.73 feet to a point in a line which passes through the point of beginning and which is parallel to the southerly prolongation of the centerline of Ober Avenue, as shown on said Map of Tract No. 21798; thence N 0°00'20" E along said parallel line 38.38 feet to the point of beginning.

To be known as OBER AVENUE.

PARCEL B (Slope Easement)

That portion of above mentioned Lot 21 within a strip of land 10.00 feet wide, the easterly line of which is the westerly line of above described Part A, the westerly line of said 10 foot strip being parallel with and concentric with said westerly line, the northerly terminus of the westerly line of said 10 foot strip shall terminate in the southerly line of the northerly 350 feet of said lot, the southerly terminus of said last mentioned westerly line shall terminate in the southerly prolongation of the easterly line of above described Part A.

78-1015963

CONSENT TO RECORDATION 78-1015963

The City of Lomita consents to the recordation of the attached offer of dedication pursuant to Section 11535 of the Business and Professions Code. This consent is not an acceptance of the offer to dedicate.

Dated: 9/11/78

By: M. B. Uma
City Administrator

CITY OF LOMITA

1277-12



CITY HALL OFFICES

LOMITA, CALIFORNIA 90717 • (213) 325-7110

RECEIVED: DATE Sept. 11 1978

FROM J. H. Edwards Co Inc

STREET 18811 Crenshaw Place

CITY Torrance Calif 90504

THE AMOUNT OF:				
<u>Fifty and no</u>				100
				DOLLARS
ON ACCOUNT NO.	IN FULL	PARTIAL	\$	<u>50 00</u>

OFFICE	MAIL	CASH	CHECK	OTHER
			<u>90-2099</u>	

REMARKS Dea Prep Fee
Certificate of Compliance

PREVIOUS BALANCE	<u>None</u>	AMOUNT PRESENTED	
AMOUNT PAID	<u>Over Due</u>	AMOUNT OF PAYMENT	
NEW BALANCE		CHANGE REFUNDED	

23396

THANK YOU
REC'D BY Manak



STEPHEN J. KOONCE
COUNTY ENGINEER

COUNTY OF LOS ANGELES
DEPARTMENT OF COUNTY ENGINEER-FACILITIES
550 SOUTH VERMONT, LOS ANGELES, CA 90020



BOARD OF SUPERVISORS

RAYMOND W. LOOMIS
Assistant County Engineer

(213) 974-1511

PETER F. SCHABARUM
KENNETH HAHN
EDMUND D. EDELMAN
JAMES A. HAYES
BAXTER WARD

JAMES T. ROSTRON
Assistant County Engineer

August 21, 1978

Mr. Darryl E. Dalcin
3754 Falconhead Drive
Rancho Palos Verdes, CA 90274

Dear Mr. Dalcin:

OBER AVENUE DEDICATION

Enclosed are an original and one copy of the Irrevocable Offer of Dedication for your use in processing the required future dedication of road easement and slope easement along the southerly extension of Ober Avenue in the City of Lomita.

Please have Mr. Jeffrey W. Faver execute the document before a notary public and return the original to this office for processing. Please also submit a check in the amount of \$50.00, payable to the City of Lomita, to cover the processing fee.

A right of way map and a return envelope are enclosed for your convenience. Please contact me at 974-1795 if you require additional information or material regarding this matter.

Very truly yours,

STEPHEN J. KOONCE
County Engineer

Thomas Quan
Real Property Agent

SJK:TQ:jc

Enclosures

cc: Mr. Philip Wikoff
Public Works Department
City of Lomita

Recording Requested by

CITY OF LOMITA

When Recorded Mail to
CITY OF LOMITA
24300 Narbonne Avenue
Lomita, California
90717

IRREVOCABLE OFFER OF DEDICATION

I/We, the record owners of the following described property in the City of Lomita, County of Los Angeles, State of California:

SEE LEGAL DESCRIPTIONS ON EXHIBIT "A"
ATTACHED HERETO AND BY THIS REFERENCE
MADE A PART HEREOF.

Do hereby offer to dedicate to the City of Lomita, a municipal corporation an easement for public road and highway purposes in, upon, over and across the parcel designated as Parcel A, and an Easement for Slope Purposes over the parcel designated as Parcel B.

The undersigned agrees to execute an easement deed for public road and highway purposes and for slope purposes over said property whenever the road easement form bearing the precise legal descriptions of the road easement and the slope easement is presented for execution. It is understood that upon its acceptance and recordation, the easement deed shall supersede this agreement and any portion of this agreement that is inconsistent with said easement deed shall cease and terminate and be of no further effect.

It is further understood that this agreement shall be irrevocable upon its acceptance by the City of Lomita and it shall be binding upon the undersigned's successors or assigns.

alordad

[Handwritten signature]

TO 447 C
(Individual)

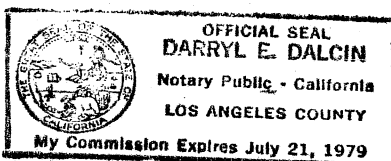
STATE OF CALIFORNIA
COUNTY OF Los Angeles } SS.

On August 28, 1978 before me, the undersigned, a Notary Public in and for said State, personally appeared Jeffrey W. Faver

_____, known to me
to be the person whose name is subscribed
to the within instrument and acknowledged that he
executed the same.

WITNESS my hand and official seal.

Signature: *[Handwritten Signature]*
Darryl E. Dalcin
Name (Typed or Printed)



(This area for official notarial seal)

STAPLE HERE

"EXHIBIT "A"

PART A (Road Easement)

That portion of Lot 21, Tract No. 954, as shown on map recorded in Book 17, page 16, of Maps, in the office of the Registrar-Recorder of the County of Los Angeles, within the following described boundaries:

Beginning at a point in the southerly line of the northerly 350.00 feet of said Lot, easterly thereon 56.97 feet from the westerly line of said Lot, said point being the southeasterly corner of Lot 25, Tract No. 21798, as shown on map recorded in Book 600, pages 1 and 2, of Maps, in the office of said Registrar-Recorder; thence S 12°36'46"W along the southerly prolongation of the easterly line of said Lot 25 a distance of 14.74 feet to the beginning of a curve concave to the east, having a radius of 35.00 feet and being tangent to said southerly prolongation; thence southerly along said curve through a central angle of 40°28'43" an area distance of 24.73 feet to a point in a line which passes through the point of beginning and which is parallel to the southerly prolongation of the centerline of Ober Avenue, as shown on said Map of Tract No. 21798; thence N 0°00'20" E along said parallel line 38.38 feet to the point of beginning.

To be known as OBER AVENUE.

PARCEL B (Slope Easement)

That portion of above mentioned Lot 21 within a strip of land 10.00 feet wide, the easterly line of which is the westerly line of above described Part A, the westerly line of said 10 foot strip being parallel with and concentric with said westerly line, the northerly terminus of the westerly line of said 10 foot strip shall terminate in the southerly line of the northerly 350 feet of said lot, the southerly terminus of said last mentioned westerly line shall terminate in the southerly prolongation of the easterly line of above described Part A.

BRUNSON

STREET

FD. S & T PER TR.
NO. 21798, M.B. 600/1-2

S'LY LINE OF LOT 25, TR.
NO. 21798, M.B. 600/1-2.

OBER AVENUE

FD. S & T PER TR. NO.
21798, M.B. 600/1-2.

N. 89° 58' 20" E.
56.71

87.91

S 12° 36' 46" W 35.25

30.94

20.00

N. 0° 00' 20" E.

20' x 40' INGRESS-EGRESS ESMT FOR
THE BENEFIT OF PARCEL 1 PER

SLOPE
EASEMENT

35.00

N. 89° 58' 20" E
20.00

40.00

136.65

E'LY LINE OF INST. NO. 77-1435038
REC. 12-29-77.

N. 0° 00' 20" E.

E'LY LINE OF LOT 20, TR.
NO. 954, M.B. 117/16.

N. 0° 00' 20" E. 111.09'

1

42'

21'

21'

We, the undersigned, oppose the development at 26275 Appian Way, Lomita, California (Site Plan Review No. 1211 and Vesting Tentative Parcel Map No. 83029), for these reasons:

- Harmful effect on the neighborhood's quality of life
- Increase in traffic
- Loss of privacy to nearby residents
- Detrimental changes to parking on Guyson Avenue and Ober Avenue due to the addition of more homes
- Safety issues related to the accessibility of emergency medical services and fire vehicles
- Costs incurred by nearby residents to upgrade their property to accommodate the development
- Unpermitted changes to the soil and grading and the unpermitted removal of a retaining wall, which have created unabated flooding and mudslides onto Ober Avenue and nearby residents' property
- Unpermitted removal of trees and flora during the nesting season
- Noise and disruption to city services due to construction over the next two to three years
- Disruption to street parking during construction

Name (print)

Signature

Address

BRIAN KEITH



26220 MURAD AVE. LEANITA

JUAN TRUJILLO



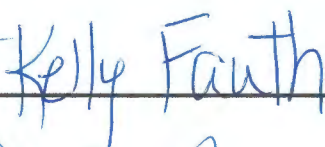
2036 GUYSON ST. LEANITA

Diane Richardson



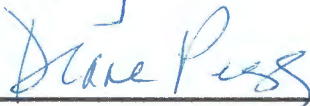
2036 Guyson St.

Kelly Lee Fauth



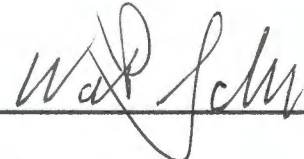
2036 Guyson St.

Diane Pegg



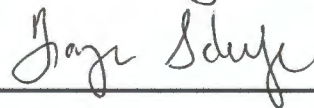
26215 Murad Ave

Walt Schulze



2054 Guyson St

Tanya Schulze



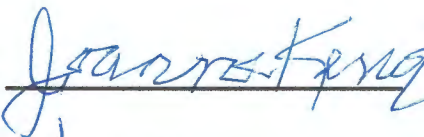
2054 Guyson St

Elizabeth Kenoff



2057 Guyson St

Joanne Kenoff



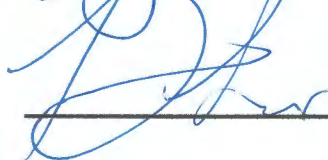
2057 Guyson St.

Kelly Konrady



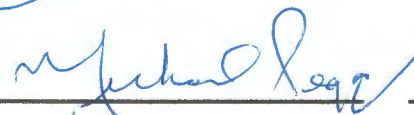
26230 Ober Ave.

Dharam Singh



2065 Guyson St.

MICHAEL PEGG



26215 MURAD AVE

Patricia Hunter



2058 Guyson St.


Denise Mutschke




Name (print)

Signature

Address

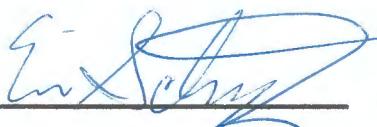
JIM MORSE  2088 GUYSON ST

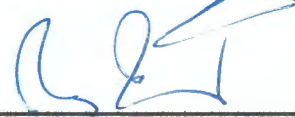
Deborah Allison Deborah Allison 2096
~~2088~~ GUYSON ST.

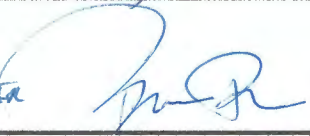
Keith Allison  2096 GUYSON ST.

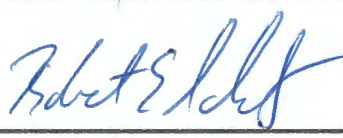
Maria Morse Morse 2088 GUYSON ST

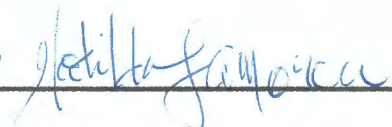
Amanda Morse Ame 2088 GUYSON ST

Erica Schatz  2092 GUYSON ST.

MICHAEL ROSENBERG  2087 GUYSON ST

BARBARA ROSENBERG  2087 GUYSON ST.

Robert Schatz  2092 GUYSON ST.

MATILDA TAMORCA  26230 Ober AVE

Steven Konrad  26230 Ober Ave

Linda Abbott

From: Nicole O'Lionain <nicrofive@gmail.com>
Sent: Monday, May 10, 2021 4:40 PM
To: Linda Abbott
Subject: Proposed project on 26275 Appian Way

Regrading proposed subdivision project at 26275 Appian Way.

Approval of this is a bad idea. It would negatively impact the character of this neighborhood. This area was designated for single family homes for a reason. The area is already too congested. This would just be ugly. Developers are ruining this city with over development. We need to do what's best for Lomita, not just approve every multi family residence proposed because it brings in revenue.

Eventually all lots would be developed and it would increase congestion and parking problems in the area. Appian Way is a very narrow street with limited parking and we can not accommodate more cars in this area.

N. Rutan.

May 10, 2021

To Whom It May Concern:

I am unable to participate in tonight's zoom meeting. Thank you for taking the time to read my statement.

I have been a resident of Ober Avenue since 2005. A nice, quiet cul de sac with 3 homes.

Hearing of the construction and development that is proposed at 26275 Appian Way, which will have the entrance at the terminus of Ober Avenue, brings many concerns.

1. Privacy – The proposed home is allowed to be 16 feet from the natural grade. My question is what is considered the natural grade as the property is not leveled. Dirt has been added, removed and moved around on the property. Would a permit have been necessary for any of the dirt and gravel that was brought on to the property? What is 16 feet in one section will not be 16 feet in the next section. Grading will need to be done to make a leveled foundation. My home adjoins this property and any windows facing north will look directly into my backyard and bedroom. Any modifications especially the request for a rear yard setback will invade my privacy even more.
2. Safety and Accessibility for EMS vehicles – Ober Avenue is approximately 30 feet wide. Vehicles are always parked on both sides of the street. This alone lessens the width of the street. Trash trucks often have difficulty going to the end of the cul de sac because of all the cars parked on the street and being a tight fit. Has the Fire Department done a review of the proposed development regarding access for emergency vehicles with proposed structures? According to the paperwork in the agenda, the last review done in March 2020, there were no structures.
3. Compliance – Department of Fish and Wildlife biologists have defined nesting season as February 1 to August 15. Tree removal, grading and removal of other bushes, trees and plants that have been home to many birds and other animals have taken place during the nesting season. Since the removal of trees, plants, cacti, etc. there has been an influx of rodents running around my property. Please see attached photos with dates.
4. Entry on Ober – According to the paperwork provided with this project, the entrance will be on Ober Ave versus Appian Way (where it has been for many years) due to no frontage on Appian Way. The initial home on the property was located closer to Appian Way than Ober Avenue and had been the entry for many years. There is a home on 263rd St that is directly across from 26275 Appian Way that appears to have had a frontage made to allow for a driveway to reach their home as it is also not directly on a street. Why couldn't this be done for this project? See attached photos.

5. Question of Property Lines – February 26, 2019 a retaining wall and tree at the terminus of Ober Ave was removed. Was a permit needed and granted to remove the retaining wall which essentially changed the grade of the property? Removal of this wall has proved to be a nightmare with mudslides during the rainy season. A bigger question, was the retaining wall/tree actually a part of the 26275 Appian Way address? According to the assessor maps the lines for the property go in a straight line along many homes. The wall and tree that was removed are outside of the straight line and the property fence. Other homes in the area on the map show where a property is narrower and does not fall in the straight line with the rest of the homes. See attached.

I understand that building a home is the right of the developer. However, I along with many of my neighbors oppose any modifications whether to the plans or to the existing street to accommodate this new project. When one asks for a variance or modification, they are essentially asking to bend the rules for personal gain and/or benefit. Something that is not really normal or could not be done with the current rule set.

One thing is evident, we all love living in Lomita and want the best for our city and neighborhoods. I trust the Planning Commission will take everyone's concerns, questions and opinions into consideration when making their final decision.

Thank you for your time and this opportunity.

Kelly Konrady

Linda Abbott

From: wavewalker11@aol.com
Sent: Monday, May 10, 2021 10:13 AM
To: Linda Abbott; gtredwhit@sbcglobal.net; wavewalker11@aol.com
Subject: Fwd: Height Variation #113&Site plan review#1211 Parcel map 83029

Subject: Height Variation #113&Site plan review#1211 Parcel map 83029

Ms. Laura Macmorran,

Sorry for the late correspondence, I was out of town and not notified of the Zoom meeting.

My name is Dennis Addington, I live at 2046 263rd Street and am the original owner of a property effected by Mr. McMinn's project. My opposition to his Height Variation request is on file with you office.

Mr. McMinn purchased a 23,000 square lot and is attempting to develop, three residential homes on a existing R-1 lot with many requested variances of City/County ordinances which negatively affect long time Lomita residents and don't comply with existing rules/regulations.

Site plan review No. 211. McMinn, requests a 3 lot split plan, with setback modifications and alternative fencing, instead of a masonry block wall surrounding the south perimeter of his property, which abuts a Chevron oil right of way.

I oppose the numerous variance requests, which can be eliminated with proper planning on this large lot. Construction planning mandates, plans consistent with existing regulations, ensuring neighborhood harmony and safety. This, preserves privacy, views, and the property rights of residents. Requests to ease the burden of planning results in negative conflicts/outcomes.

Set backs for existing property lines, (side and back yards), are well established by code and are essential for noise abatement and privacy. McMinn has adequate space on this property to plan and protect public safety access, address trash removal and parking issues. As a developer he has the burden to abide by long term rules and regulations to maintain his neighbors rights/concerns regarding views, noise and privacy. His proposed project must be consistent with existing residential standards and not be dependent on numerous variances to ease his construction budget.

Side and rear yard codes strongly suggest a necessary 5/10 foot setback surrounded by a solid masonry wall at least 6 foot in height. This is essential for this project because, his south property lines abuts' a Chevron easement with hazardous materials. The non- gated wall protects the Lomita water resource facility North on Appian Way in the event of a pipe failure/leak. It also prevents illegal overflow parking on the site.

I respectfully submit my opposition to his height variation, property line setback and alternative fencing materials request.

I remind the Commission, during the planning/construction of my home, the City/County required me to modify plans numerous times. Excavation of 16 feet elevation from my lot was required to comply with City view ordinances. In addition, I was required to build a 17 foot retaining wall and 110 feet of concrete wall around my property to maintain my neighbors views and privacy. Lot setback requirements were also mandated and a Chevron easement was established and 4 old Chevron pipes were removed at our expense. Mr. McMinn was my contractor and is familiar with City/County project ordinances and requirements in this area.

The above mentioned Codes are long established to ensure community harmony and protect property rights. The City of Lomita and County of Los Angeles made the right decisions 30 years ago requiring me to abide by existing city codes without variances. I didn't agree with them at the time but accepted the aforementioned requirements/expenses. I have lived here for 31 years and enjoyed my home, views and neighborhood. I respectfully request you uphold the same long term standards for development and help maintain one of the Jewels of your City, Lomita Pines.

Thank You

Dennis Addington

Privacy & Grading

Where is natural grade since the foundation is not leveled and the property has been altered with dirt and gravel



Lomita Pines
June 12, 2019 3:21 PM

Edit



Home
April 19, 2020 12:13 PM

Edit



Safety & Accessibility
Ober Ave width is approximately 30 feet wide without vehicles.



Entry on Appian Way versus Ober.
Why not do like the property also at the end of 263rd St?



Compliance

Removed trees, bushes, and performed grading during the nesting season determined by California Department of Fish and Wildlife February 1 – August 15



February 26, 2019 2:16 PM Edit



Compliance continued.
Pictures of property when acquired.



26275 Appian Way,
Lomita, CA 90717

Off Market



26275 Appian Way,
Lomita, CA 90717

Off Market



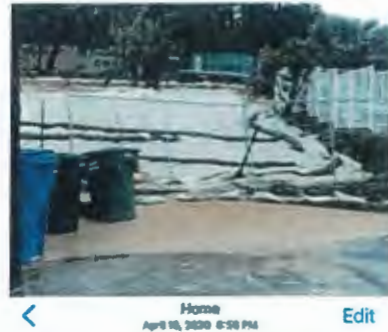
26275 Appian Way,
Lomita, CA 90717

Off Market

Property Lines/Retaining Wall
Where the white fence is, it aligns with the rest of the homes, their fences and in a straight line as shown in the map. The map does not narrow and elongate to accommodate the wall and tree.



Removal of the wall resulted in this anytime there was a rain system



Linda Abbott

From: Tanya Schulze <tvoigt@hotmail.com>
Sent: Sunday, May 9, 2021 8:35 PM
To: Linda Abbott
Cc: Tanya Schulze
Subject: Planning Commission hearing - May 10, 2021 - Site Plan Review No. 1211 and Vesting Tentative Parcel Map No. 83029

To Whom it may concern:

I am writing to provide comments and concerns regarding Site Plan Review No. 1211 (property located on the lot at Appian Way).

I am a long-time resident of 2054 Guyson Street and I have several concerns about the proposal:

1. Concerns about diminished personal/home privacy. It appears that the planned home(s) will have windows/visibility directly into my backyard due to the height, as well as the close proximity to the back fence line. One reason I love living on Guyson Street is for the quiet, peaceful nature of the neighborhood, along with the many trees and lack of huge houses obscuring my back view. My backyard is my quiet sanctuary and new, tall housing will deteriorate that view.
2. Concerns about increasing the traffic and the diminishing safety on Ober and Guyson streets if the development has a driveway/entrance on Ober. I have young children that are often playing and riding their bikes on Guyson Street, so I am concerned about their safety with potential increased traffic. I also have safety concerns about emergency vehicles being able to access any homes on the new development. It is already difficult for large vehicles to traverse on Guyson and Ober if there are cars parked along the curbs.
3. Concerns about why the access driveway is planned for Ober. The property address is Appian Way so that seems to be the appropriate location for the access. Appian Way would also provide more accessible access for emergency vehicles, increased traffic flow, and trash pickup.
4. Concerns about the developer following the proper permit and approval process and adhering to code requirements. The developer removed the vegetation, fencing and wall along the property line that adjoins Guyson Street, and nearly all of the property is just loose dirt. During the winter rains, this allowed for severe erosion and mudflow along the property line and down Guyson Street. Remedial action needs to be taken before it escalates to address the grading and deterioration of that property line, before any lots are approved for development. These things were not approved to be done and have continued to cause deterioration. Since that property sits higher than Guyson Street, it seems that a retaining wall is necessitated, along with vinyl fencing to match the rest of the other fencing.
5. Concerns about the close proximity of lot 1 with the property line. When the neighboring house on Appian Way replaced their vinyl fencing, the contractor for that work said the property line is back 18 inches from where the chain link fencing is. A site survey should be completed to ensure the correct property line is factored into the placement of the new lot. 18 inches is a significant factor, especially the lot is higher than ours, to help mitigate the privacy concerns.
6. Concerns about the overall plans as to how many lots will be built. While only one is being proposed now, I am concerned about what will be done with the other two lots in the interim, and whether approval of the first lot will lead to an easy approval to develop the other two lots.

Thank you for your attention and consideration to this matter.

Sincerely,
Tanya Schulze
2054 Guyson Street
Lomita, CA 90717
(310)528-4571
tvoigt@hotmail.com

Linda Abbott

From: Walt Schulze <wgschulze@sbcglobal.net>
Sent: Sunday, May 9, 2021 5:20 PM
To: Linda Abbott
Subject: Tentative parcel at 26275 Appian Way

To whom it may concern

My concerns and questions are as follows

- 1. Fire truck and emergency vehicle access would be greatly hindered on Guyson St due to the limited turning radius and resident vehicles**
- 2. Why is the address of the parcel Appian Way when the only access to the property is Ober (off of Guyson St)**
- 3. Is there a plan to control the flow of mud during rainy season? Many times the mud has flowed down Ober, Guyson, Murad, and down to 262nd St with no drains to stop it. A simple fence will not suffice for this problem.**
- 4. Major concerns by current residents of Guyson St concerning the height of the houses verses the privacy of current homeowners. How will this be addressed? I have no desire to have people peering into my backyard from the upper levels of these houses**

**Thank you
Walt Schulze
2054 Guyson St.**

Sent from my iPhone

Linda Abbott

From: gtredwhit@aol.com
Sent: Friday, May 7, 2021 2:33 PM
To: Linda Abbott
Subject: Planning Commission site plan review N. 1211 26275 Appian Way

My name is David Whitman and I live across the street from this planned housing project. I'm at 2050 263rd St. The flag poles that were erected to show the outline of the house blocked a substantial part of my existing view to the Northwest.

It also blocks the view of my next door neighbors, the Addington's. Another neighbor has told me that the plan for this house has been revised to a single story dwelling from the two story that was proposed, however I haven't been able to contact Laura MacMorran to confirm.

I have some concerns about this project, the biggest being the height of the structure and if it is in fact higher than code. When my property was built, excavation was required to meet the height code and required a 100 foot retaining wall. We bought our property because we wanted a city light view, and we would lose a good portion of that if this project is allowed to proceed with the code variance.

Is this in fact now a single story residence built to the height code or is it not to code?

What is the proposed height of the dwelling?

If the project has indeed been changed, will new flags be put up if the height is not to code so we can determine if it blocks our view?

There is also mention of the required masonry block wall requirement being changed to alternative fencing.

What kind of fencing is being proposed?

Will there be a gate or opening anywhere in the fencing?

Looking forward to the public hearing on Monday the 10th.

David Whitman
2050 263rd St/
Lomita, CA 90717
310-539-0212 H
310-809-5193 C

Linda Abbott

From: Superwoman Augusto <kananiluv@hotmail.com>
Sent: Thursday, May 6, 2021 4:37 PM
To: Linda Abbott
Cc: Superwoman Augusto
Subject: Site plan no. 1211 parcel 83029 public hearing

The attached photo is the view from my kitchen window. The beautiful view of pine trees and nature which is the reason we are called Lomita Pines.

I bought my house at 2071 Guyson St. Lomita CA 90717 April 1st of last year 2020. I was drawn to the trees, and the quiet cul de sac.

I fear that this large build would bring noise that would disturb the wildlife and trees in this area. My view of all this in this picture will probably disappear once a two story triplex is built on this lot, which is suppose to be a single family plot. I also am worried about the increase of traffic from this property onto Ober. Even though the address is on Appian Way I already see whomever entering that property from Ober St, which is a cross street with Guyson St. Please do not allow this build or the use of Ober St from this property.

Thank you,

Sara Augusto



**CITY OF LOMITA
PLANNING COMMISSION REPORT**

TO: Planning Commission June 14, 2021

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Vesting Tentative Tract Map No. 78233/Site Plan Review No. 1209/Zone Variance No. 245/Height Variation Permit No.105
26016 Oak Street in the Residential Variable Density (RVD)-2500 zone

APPLICANT'S REQUEST

The applicant is requesting a Vesting Tentative Tract Map and Site Plan Review for the development of nine townhome units on a 23,418 square-foot lot located at 26016 Oak Street. The request includes a setback modification to allow for reduced front and rear yard setbacks, a Variance to allow for a reduced distance between buildings, and a Height Variation Permit for a new structure over 16 feet in height. This project is categorically exempt from California Environmental Quality Act per Guidelines Section 15332. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer)

RECOMMENDATION

Staff recommends the Planning Commission adopt a resolution providing a formal positive recommendation that the City Council approve the Vesting Tentative Tract Map (VTTM) No. 78233 and adopt resolutions approving Site Plan Review No. 1209, Zone Variance No. 245, Height Variation Permit No. 105 and the corresponding CEQA Categorical Exemption, subject to the conditions of approval contained in the draft resolutions (Attachments 1 - 4).

BACKGROUND

Existing Conditions

The subject property is a flat 24,459 gross square-foot parcel. It contains one single-family home and one detached garage, which were built in the 1930s. The parcel is an irregular pentagon shape and possesses street frontage on three sides. Along Oak Street, the street frontage is approximately 210 feet, and there are two driveway aprons. 261st Street, which borders the property on the north and east, is a private road without any existing (or proposed) points of access to the subject site.

Additional Reviews

Prior to submission to the Planning Commission, the project received the following recommendations and approvals.

1. On January 8, 2021, the Los Angeles County Fire Department recommended project approval, subject to the public hearing process.

2. On February 22, 2021, the City of Lomita's consulting engineer, Quantum Quality Consulting recommended approval of Vesting Tentative Tract Map No. 78233, subject to conditions of approval that have been included in the draft resolution.

Project Description

The applicant proposes to raze the existing single-family residence to make way for nine, two-story townhomes ranging in size between 1,495 and 1,583 square feet. The nine townhome units are distributed between five new buildings and each of the units include an attached two-car garage. The first floor contains an entryway, one bedroom, one bathroom, a laundry closet, and the two-car attached garage. The second floor contains a living room, dining area, kitchen, bathroom, and two bedrooms, one of which is an ensuite master bedroom. Each unit connects to a private outdoor patio and/or deck area. Site access is provided via a proposed 26-foot-wide private drive that intersects with just Oak Street.

As specified in the development standards table below, setback modifications are requested for the front and rear yards and a variance is requested to reduce the minimum distance between buildings. Finally, new development in the RVD-2500 zoning district is limited to an overall height of 27 feet. While the proposed townhomes are 25 feet, 2 inches in height and adhere to the minimum height requirements of the zone, properties located south of Pacific Coast Highway require a Height Variation Permit for any structure with a height in excess of 16 feet. The intent is not to further limit overall height below 16 feet but rather to ensure project design preserves existing views on the hilly terrain typically found south of PCH. The project plans have been included in your packet as Attachment 9.

ANALYSIS

General Plan Designation

The General Plan Land Use designation for the subject property is Medium Density Residential. The Medium Density Residential Land Use designation applies to areas "*developed with multi-family residential land uses and mobile home communities.*" The proposed nine-unit condominium (townhome) development will result in a density of 16.47 units per acre, which is consistent with the General Plan's development density range of 8.7 to 19.8 units per acre.

Zoning Designation

The zoning designation for the subject property is RVD-2500 (Residential, Variable Density-2500). The RVD-2500 Zone is established to create variable density, limited height, multiple family residential areas. The net lot area (after right-of-way dedication) of the subject property is 23,418 square feet. New residential development in the RVD-2500 zoning district is allowed one unit for every 2,500 square feet of net lot area. Based on the net lot size, the maximum number of permissible units is 9 ($23,418/2,500 = 9.3$). Therefore, the proposed nine-unit project is consistent with the maximum density established by the RVD-2500 zoning district.

Adjacent Zoning and Land Uses

The subject property is surrounded by R-1 and RVD 2500 zoned properties.

North	RVD 2500 (Residential, Variable Density 2500) Land use: Mobile homes
South	RVD 2500 (Residential, Variable Density 2500) Land use: Multi-family dwellings
West	RVD 2500 (Residential, Variable Density 2500) Land use: Multi-family dwellings
East	R-1 (Residential, Single Family) Land use: Single-family dwelling

Development Standards Review

The project has been reviewed with §11-1.30.02, §11-1.30.04, §11-1.30.14, §11-1.66.03, MWEL0 (prior regulations§11-1.82) of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Zone	RVD-2500	RVD-2500	Yes
Minimum Lot Size	23,418 square feet (post-dedication)	5,000 sq. ft.	Yes
Minimum Lot Frontage	>200 feet	50 feet	Yes
Building Front Yard Setbacks	Unit 1: >20'	20'	Yes
	Unit 2: 20'10"	20'	Yes
	Unit 3: 20'10"	20'	Yes
	Unit 4: 18'9"	20'	No*
	Unit 5: 19'1"	20'	No*
	Unit 6: >20'	20'	Yes
	Unit 7: >20'	20'	Yes
	Unit 8: >20'	20'	Yes
	Unit 9: >20'	20'	Yes
Building Secondary Setbacks Front:	Unit 1: 10'6"	10'0"	Yes
Building Side Yard Setbacks:	Units 1,2,4-9: ≥5'0"	5'0"	Yes
	Unit 3: n/a	n/a	n/a
Building Rear Yard Setbacks:	Unit 1: 5'0"	20'	No*
	Unit 2: >20'	20'	Yes
	Unit 3: >20'	20'	Yes
	Unit 4: >20'	20'	Yes
	Unit 5: >20'	20'	Yes
	Unit 6: >20'	20'	Yes
	Unit 7: >20'	20'	Yes
	Unit 8: 14'11"	20'	No*
	Unit 9: 5'0"	20'	No*

Development Standard	Project	Allowed/Required	Compliance
Porch Setback	Unit 1: n/a Unit 2: 11'10" Unit 3: 11'10" Unit 4: 9'9" Unit 5: 10'7" Units 6-9: n/a	n/a 10' 10' 10' 10' n/a	n/a Yes Yes No* Yes n/a
Deck Setback	Unit 1: 5.0' Unit 2: 13.33' Unit 3: 13.33' Unit 4: 11.25' Unit 5: 11.83' Unit 6: n/a Unit 7: n/a Unit 8: 7'0" Unit 9: >15'	Secondary Front: 5'0" Front: 15' 0" Front: 15' 0" Front: 15' 0" Front: 15'0" n/a n/a Rear: 15' 0" Front: 15'0"	Yes No* No* No* No* n/a n/a No* Yes
Fireplace Setback	Units 5-8: 1'6"	2'6"	Yes
Height	25' 2"	27' 0"	Yes**
Distance Between Buildings	Units 1 & 2: 7'10"	10'	No****
3-bedroom Unit Size Min.	1,498 sf	1,150 sf min.	Yes
Off-Street Parking	2 enclosed parking spaces/unit = 18 total	2 enclosed parking spaces/unit = 18 total	Yes
Visitor Parking	2 spaces	1 guest space for every two units w/out street frontage	Yes
Driveway Width	26 feet	26 feet	Yes
Open Space Total: Rec./Patio/Deck Total:	>3,000 square feet 1,553 square feet	2,700 square feet 1,350 square feet	Yes Yes
Laundry Area	Hookups in every unit	1 washer & dryer/6 units	Yes
Waste Storage Area	5' x 21' enclosed common trash area	Adequate trash areas must be provided determined by PC and Building Official	Yes
Model Water Efficient Landscape Ordinance	Submission prior to plan check	Prescriptive Method	Required

* Site Plan Modification Requested

** Complies with RVD-2500 Maximum Height but is subject to a Height Variation Permit due to project location south of Pacific Coast Highway

***Zone Variance

Architectural Design

The proposed townhome development separates the nine units into five buildings, which consist of a three-unit building, two two-unit buildings, and two one-unit buildings. All the buildings' roofs have a pitch, and the maximum ridge height is 25'2". The exterior design includes vertical and horizontal elements. Units 1-5 have street facing entrances, porches, patios, and covered decks. The porches and covered decks are both functional and aesthetically pleasing. They occupy approximately 50% the unit's front and add dimension to what would otherwise be a nondescript facade.

Parking Analysis

The project meets the code-required parking for multi-family uses. Eighteen enclosed parking spaces are provided (two enclosed spaces per unit) and the interior dimensions of the garage are 20 feet by 20 feet. (§11-1.66.07). The site has an ample common trash area; therefore, the garages' floor space is free and clear for the vehicle parking.

Per Sec. 11-1.30.14, units with street frontage shall not be used to calculate the guest parking requirement. For this project, two 9-foot by 19-foot guest parking spaces are required and provided. Currently, there are two curb cuts on Oak Street. The project will only be requiring one curb cut and though slightly larger because of spacing, the reduction of one driveway apron should allow for an additional street parking space.

Circulation and Access

The project is located on Oak Street about a quarter mile south of Pacific Coast Highway. PCH is the only street that connects Oak Street to the greater roadway system. Vehicle access to the project site will be provided from a 26-foot-wide driveway that intersects with Oak Street. The project's ingress and egress route is designed to meet City engineering standards, and no safety issues have been identified.

261st Street is a dead-end private street and borders the property on the north and east. There is no access to or from the subject property to 261st Street.

262nd Street provides access for pedestrians and cyclists. As a result of the five-foot right-of-way dedication, the sidewalk along 26016 Oak Street will be widened, and a parkway created; these improvements will make the street more walkable.

Traffic Study

The City requires a major traffic study for projects with 10 or more units. This project falls below that threshold. For comparison, a recent traffic study for 25819 Eshelman Avenue's 10-unit project reported that that project would generate 60 trips/day. South of PCH, more than 375 housing units are along Oak Street, and it is close to being fully developed. An eight-unit net increase should not significantly affect congestion.

Landscape

Landscape is proposed along the projects' perimeter, adjacent to the buildings, and next to the driveways where feasible. The front yard's landscape area exceeds the 50% landscape area requirement. As a condition of approval, the applicant must submit a MWELO-compliant landscape plan for review and approval by the Community and Economic Development Department and a right-of-way landscape plan to the Public Works Director.

Site Plan Review No. 1209/Modification

Pursuant to Section 11-1.70.07, multi-family developments within the RVD Zone are subject to the site plan review requirements and require Findings #1-3 below. Pursuant to Section 11-1.70.08, yard setback modifications may be approved provided that Finding #4 is satisfied. Staff has analyzed the project and determined that it is consistent with the required findings, as follows:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the Development Standards table, the project complies with the maximum quantity of units, unit size, parking, driveway width, landscape, open space, onsite laundry, and common trash area development standards, as well as right-of-way requirements. The project seeks front and rear yard setback modifications, a height variation permit for a building height of 25'2", and one variance for the distance between Unit 1 and Unit 2. Further justification for the setbacks and height are provided below, but the project adheres to Title 11 in all other aspects.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is a suitable size for nine condominium units. The prescribed development standards are substantially adhered to and any proposed modification to setbacks will not adversely affect public health, safety, the general welfare, or have any adverse effects on neighboring properties.

With 18 enclosed parking spaces and two guest parking spaces, the project complies with the off-street parking requirement. The site has been designed with one 26-foot-wide driveway that provides direct access to Units 5-8's garages. A second driveway aisle branches off the main driveway aisle and provides access to Units 1-4 & 9's garages. Although Units 4 & 5, which are along the driveway, are requesting front yard setback modifications (1'3" and 11" respectively), the encroachment into the front yard is minor. It would not obstruct a driver's field of vision and is not a safety concern.

The project creates a net increase of eight units on this very well-developed street. The length of the street, the lack of any other intersecting through streets, and the approximately 375 units along Oak Street contribute to the existing traffic congestion. The traffic generated from this project will not add significantly to the existing traffic.

A common refuse area is positioned away from the neighboring properties and located along the property line shared with 261st Street. Exterior lighting will need to be provided. To ensure lighting does not impact neighboring properties, Condition of Approval No. 45 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 16.47 units per acre, which conforms to the density range (8.72 to 19.8 units per acre) specified in the General Plan. Also, to comply with the Circulation Element's local right-of-way standard, the project will dedicate five feet to provide a sidewalk and parkway within the Oak Street right-of-way.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design is both suitable and functional. The development's mass is divided into five buildings and creates a courtyard-like setting around the common driveways. The design is consistent with the neighborhood, which contains a mixture of one and two-story single-family dwellings, and one and two-story attached multi-family housing both in the form of condominiums and apartments.

Ten-foot-long patios and porches satisfy the recreation space requirement. Seven of the nine units will have decks that provide outdoor access from the main living area. This feature enhances many owners' enjoyment of their homes. The Code allows decks to project five feet into the 20-foot front yard setback, thereby allowing decks to be 15 feet from the front property line. In an attempt to create highly functional and meaningful outdoor spaces, the applicant increased the overall depth of the patios and seeks front yard setback modifications to allow for this amenity.

Specifically, Units 2-5 seek a front yard setback deviation ranging between 1'8" and 3'9" as measured to the decks. Units 2-4 decks are integrated into the porches' roofs and Unit 5's deck is located directly above the patio.

Unit 4 and Unit 5 seek a 1'3" and 11" front yard building setback modifications and Unit 4 seeks a 3" porch setback modification.

To foster the private outdoor space's optimal use, a condition has been added that all of the decks and Unit 6 and Unit 7's patios be equipped with water, gas, and electric utilities, and that all patios be equipped with a water spigot so that the area may be cleaned as needed.)

These front yard setback modifications will not be out-of-keeping with the area. Several nearby properties have buildings with existing front yard setbacks less than 20 feet. Due to the five-foot right-of-way dedication, Unit 4 and Unit 5's front yard setback modifications will not project past the building line of the adjacent property. To the north, 261st Street separates the property from a mobile home park, which situates the mobile homes less than 10 feet from the sidewalk, so there isn't a visual expectation of a 20-foot front yard setback line.

Unit 1, Unit 8, & Unit 9 propose rear yard setback modifications. All of these units are along the easternly property line and orientated north-south, which makes this property line function like a side yard instead a rear yard. Unit 1 & Unit 9 are freestanding buildings that share a property line with 261st Street and are situated five feet from the property line, instead of 20 feet. Unit 8 proposes a 5'1" building rear yard setback modification and an 8' rear yard setback modification for a deck. It shares a property line with 2070 261st Street, which is also orientated north-south, and its side yard abuts this property line.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

Partially due to street design and partially due to land division, the subject site (26016 Oak Street) is an irregular shape with an atypical long street frontage, which make it unique from neighboring properties. The shape and long street frontage make it impractical to require complete compliance with the typical setback requirements designed to regulate development on rectangular shaped lots with approximately a quarter of the street frontage. On Oak Street the property has over 200 lineal feet of street frontage, whereas the Code's minimum is 50 feet. The amount of area required for the front yard setback is four times more than a typical property would have to provide.

Also, the abutting properties (including 261st Street) were created from grant deeds prior the City's incorporation, and the resulting property lines created this oddly shaped lot. Instead of being perpendicular to the street, the southernly property line is on a diagonal. To the east along 261st Street, there is an extra 20-foot wide by 125-foot-long strip of land that is tied to the parcel; however, the easterly property line is 182 feet long. The lot's shape has affected the driveway layout. Instead of having one common driveway aisle, this development has two which adds to the lot's non-buildable area.

Due to these circumstances, complying with the front and rear setback requirements is an unreasonable regulation and the code provides flexibility mechanisms to account for unreasonable applications of code standards.

Zone Variance

A variance to allow a 7'10" distance between buildings (Unit 1 and Unit 2) where 10'0" is typically required is subject to review and approval by the Planning Commission under LMC Section 11-1.30.14(B)(1), pursuant to the provisions of Section 11-1.70.10 (Zone Variance). After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the following required findings for a variance:

1. *There are exceptional or extraordinary circumstances or conditions applicable to the property involved, including size, shape, topography, location, or surroundings, which do not generally apply to the surrounding properties in the same zone; and which deny the owner privileges enjoyed by other property owners in the vicinity and within the same zoning district;*

This property is subject to extraordinary circumstances and conditions that do not generally apply to the surrounding properties in the same zone. The property has a unique five-sided shape but is still generally the shape of a pentagon. It has greater frontage than it does depth, and it is more than two and a half times the depth at the lot's southerly portion than at the northerly portion. This irregular shape stems from how the land was subdivided before the City's incorporation, which includes the curved shape of Oak Street and 261st Street's curved street designs. It is common that other properties in the RVD-2500 can create dwelling units of similar or greater bed/bath combinations and sizes without having to contort the development's design.

2. *Because of the circumstances or conditions, the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties similarly situated but which is denied to the property in question;*

Due to the aforementioned land development history, and irregular lot and street designs, the Code's universal standards afford other properties in the RVD-2500 Zone an efficient use of their lot's area; however, those universal standards unintentionally create further restrictions on this atypical property's development.

3. *The granting of the variance will not be materially detrimental to the public welfare or injurious to the adjacent property; and*

Granting this variance has no foreseeable way to be material detrimental to public welfare or injurious to the adjacent property owner as it is limited to the space between two buildings on the subject property. Nor would it be materially detrimental to the future owners of Unit 1 and Unit 2. The distance between the buildings is greater than 10 feet for the vast length of both buildings. At the farthest point, the buildings are 21'8" apart and then taper to 7'10". The layout of each building has stairwells along these outside walls, so there's no foreseeable noise impacts or types of disruptive activity.

4. *The granting of the variance is consistent with the General Plan.*

The General Plan's Housing Element (2013) encourages a diversity of housing types, sizes, locations, and costs in accordance with the City's land use policies. Granting the variance is consistent as it removes a specific hardship to creating typical multifamily housing townhomes.

Review of the Height Variation Permit

The overall height requirement is 27 feet in the RVD-2500 zoning district. The proposed project includes five buildings with an overall height of 25 feet, two inches. While the proposed height of the townhomes is compliant with minimum development standards, properties located south of Pacific Coast Highway are subject to additional height review to ensure views are preserved. To be clear, the overall height requirement remains 27 feet. However, any proposed structure in excess of 16 feet in height is subject to additional review to ensure views are maintained. Section 11-1.70.11 of the City Code states that the intent and purpose of the view protection article is to provide for the public health, safety and welfare through the regulation of development in and adjacent to hillside areas in order to protect significant views.

Per the municipal code Section 11-1.15.22, a “significant view” contains at least 45 compass degrees as seen from a viewing area on the ground floor of a residence or from a patio, deck or similar accessory structure not more than 16 feet above natural grade and not in the required setback areas. Section 11-1.15.22 defines a view as a scene, not located within the immediate area, such as, but not limited to, the ocean, Los Angeles Basin, city lights, harbor, shoreline, off-shore islands, valley, ravine, equestrian trails or pastoral environment.

Height Variation Permits are first subject to administrative review by the Director of Community and Economic Development. Notices are sent to the surrounding community and if more than 5% of the neighbors oppose the proposed height, then the request is elevated to the Planning Commission for review. On May 16, 2019, property owners within 300 feet of the subject property were sent notices of the proposed development. Properties located directly adjacent were also sent reduced sets of plans of the proposal. Of those noticed (97 properties total), seven objection letters were received before the deadline, which meets the minimum 5% requirement for Commission consideration during a public hearing. The project’s slow progression was in part due to delays in completing required sewer and water studies. (Public Works staff has since found those studies satisfactory.)

Section 11-1.70.11 of the Zoning Code states that when considering a height variation permit, the Planning Commission may accept testimony relative to privacy, neighborhood compatibility, and other similar issues. Conditions may be attached to approvals to mitigate such problems but in approving a Height Variation Permit, the Planning Commission shall base approval on the following findings:

1. An existing significant view will not be obstructed by the proposed construction; or

Staff has visited the subject property and neighborhood several times. Within 300-feet of the subject property, the area possesses a very minor change in grade. Written objections (Attachment 13) primarily pertained to a host of issues other than view, such as parking, sunlight, loss of trees, and dust, which are concerns, but not qualifying reasons to deny the proposed 25’2” height. This area has a relatively flat topography, and staff did not observe any significant views as defined in the Code that would be impacted. Furthermore, the proposed height of 25’2” is below the maximum height requirement of 27 feet applicable to all other areas of the City with an RVD-2500 zoning designation.

2. The proposed construction is designed to be the least intrusive on the existing view of neighboring property owners or occupants.

Though the proposed development’s design is requesting setback modifications, those modified distances do not have any impact on any of the surrounding properties’ views. As a result of the absence of views as defined by the Code, the construction cannot possibly be considered intrusive.

Review of Vesting Tentative Tract Map

In February 2021, the City’s consulting engineer, Quantum Engineering, finalized their review and recommended approval of VTTM No. 78233 with conditions. The City Public Works and

Engineering staff also reviewed the tract map. The Los Angeles County Fire Department's Land Development Division reviewed the tract map and site plan, and recommended approval.

Findings

Pursuant to California Government Code Section 66410 *et seq.*, Section 66412.3, (Subdivision Map Act), Section 11-2.116 of the Lomita Municipal Code, and the City's General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision balances hardscaped and landscaped surfaces. Landscaped areas fill spaces not necessary for circulation and will provide shade for paved surfaces. A parkway will be created from the five-foot right-of-way dedication and street trees will be planted every 50 linear feet. The design of the westerly-facing units includes covered porches and deck spaces which shield several doors and windows from direct sunlight.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Medium Density Residential and the proposed condominium project is compatible with the surrounding uses which consist of single-family dwellings, multi-family dwellings and a mobile home park. The site is physically suitable for the density of development. The site has a density of 16.47 dwelling units per acre and accommodates a maximum of 9 units which is both consistent with the density range established by the Medium Density Residential Land Use designation of the \ General Plan and the density development standard of one unit for every 2,500 square feet of lot area, as outlined by the RVD-2500 zoning district.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract.* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development of a 9-unit condominium development. The proposed development will have adequate street access for pedestrians and vehicles, and also adequate capacity for parking and traffic. The parcel is an irregular pentagon shape and possesses street frontage on three sides. The development will have pedestrian and vehicular accessibility via one entry point located on Oak Street. The internal driveway will provide full access to the development. The proposed development requires two parking spaces within an enclosed garage for each unit and one guest parking space for each unit without direct street frontage. The proposed development provides a total of 18 enclosed parking spaces within garages and two guest parking spaces. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. A

condition of approval has been included for a five-foot dedication for a sidewalk and parkway to be established.

4. *The subdivision design and improvements proposed in the Tentative Tract Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The subject property is a flat 23,418-square-foot parcel developed with one single-family home and one garage, which were built in the 1930s. The vegetation on the site includes introduced shrubs and trees. There are several mature trees that provide significant canopy coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The existing rights-of-way remain intact and there is no foreseeable interference.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Tract Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66474.6.)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Multi-family townhome developments are typically a more affordable option to purchase/rent and maintain than single-family homes.

Therefore, pursuant to the Municipal Code and Government Code Sections 66473.5 and 66474 (A through G), the proposed tract map qualifies for approval.

Environmental Determination

Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment and has attached the Notice of Exemption as Attachment 9 to this staff report.

Public Notice

Notice of this hearing, dated June 2, 2021 were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, Lomita Park and on the web page. As of the date this staff report was prepared, several letters against the proposed project's height from 2019 were received, as well as, written objections to this application. They are presented in Attachment 12.

Recommended by:



Greg Kapovich
Community and Economic
Development Director

Prepared by:



Laura MacMorran
Assistant Planner

ATTACHMENTS:

1. Draft Resolution (SPR No. 1209) with Attachment “A” Quantum Consulting and LA County Fire Department’s Recommendation and Conditions of Approval
2. Draft Resolution (VAR No. 245)
3. Draft Resolution (Height Variation Permit No.105)
4. Draft Resolution (VTTM No. 78233)
5. Vicinity Map
6. Zoning Map
7. General Plan Map
8. Aerial Photograph
9. Notice of Exemption
10. Vesting Tentative Tract Map
11. Site Plan, Elevations, & Floor Plan
12. Letters of Objection to Height Variation Permit

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1209 TO ALLOW A NINE-UNIT MULTI-FAMILY RESIDENTIAL (TOWNHOME) DEVELOPMENT FOR THE PROPERTY LOCATED AT 26016 OAK STREET WITHIN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

Section 1. Recitals

- A. The City of Lomita received an application for a nine-unit multi-family residential (townhome) development with front and rear yard setback modifications for the property located at 26016 Oak Street within the RVD-2500 (Residential Variable Density) Zone filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278
- B. Pursuant to Section 11-1.30.1 of the Lomita Municipal Code, multi-family developments are subject to the Planning Commission's site plan review and approval.
- C. Pursuant to Section 11-1.30.02 of the Lomita Municipal Code, front yard and rear yard setback modifications are permitted, subject to Section 11-1.70.08 and approval.
- D. On May 10, 2021, the Planning Commission moved to reschedule a duly noticed public hearing to June 14, 2021.
- E. On June 14, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.
- F. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that

would disqualify it from the categorical exemption.

Section 2. Pursuant to Sections 11-1.70.07 (Site Plan Review) and 11-1.70.08 (Modifications) of the Lomita Municipal Code, the Planning Commission of the City of Lomita finds, after due study and deliberation that the following circumstances exist:

1. *The Site Plan complies with all applicable provisions of Title 11.*

As set forth in the Development Standards table, the project complies with the maximum quantity of units, unit size, parking, driveway width, landscape, open space, onsite laundry, and common trash area development standards, as well as right-of-way requirements. The project seeks front and rear yard setback modifications, a height variation permit for a building height of 25'2", and one variance for the distance between Unit 1 and Unit 2. Further justification for the setbacks and height are provided below, but the project adheres to Title 11 in all other aspects.

2. *The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.*

The subject site is a suitable size for nine condominium units. The prescribed development standards are substantially adhered to and any proposed modification to setbacks will not adversely affect public health, safety, the general welfare, or have any adverse effects on neighboring properties.

With 18 enclosed parking spaces and two guest parking spaces, the project complies with the off-street parking requirement. The site has been designed with one 26-foot-wide driveway that provides direct access to Units 5-8's garages. A second driveway aisle branches off the main driveway aisle and provides access to Units 1-4 & 9's garages. Although Units 4 & 5, which are along the driveway, are requesting front yard setback modifications (1'3" and 11" respectively), the encroachment into the front yard is minor. It would not obstruct a driver's field of vision and is not a safety concern.

The project creates a net increase of eight units on this very well-developed street. The length of the street, the lack of any other intersecting through streets, and the approximately 375 units along Oak Street contribute to the existing traffic congestion. The traffic generated from this project will not add significantly to the existing traffic.

A common refuse area is positioned away from the neighboring properties and located along the property line shared with 261st Street. Exterior lighting will need to be provided. To ensure lighting does not impact neighboring properties, Condition of Approval No. 45 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 16.47 units per acre, which conforms to the density range (8.72 to 19.8 units per acre) specified in the General Plan. Also, to comply with the Circulation Element's local right-of-way standard, the project will dedicate five feet to provide a sidewalk and parkway within the Oak Street right-of-way.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design is both suitable and functional. The development's mass is divided into five buildings and creates a courtyard-like setting around the common driveways. The design is consistent with the neighborhood, which contains a mixture of one and two-story single-family dwellings, and one and two-story attached multi-family housing both in the form of condominiums and apartments.

Ten-foot-long patios and porches satisfy the recreation space requirement. Seven of the nine units will have decks that provide outdoor access from the main living area. This feature enhances many owners' enjoyment of their homes. The Code allows decks to project five feet into the 20-foot front yard setback, thereby allowing decks to be 15 feet from the front property line. In an attempt to create highly functional and meaningful outdoor spaces, the applicant increased the overall depth of the patios and seeks front yard setback modifications to allow for this amenity.

Specifically, Units 2-5 seek a front yard setback deviation ranging between 1'8" and 3'9" as measured to the decks. Units 2-4 decks are integrated into the porches' roofs and Unit 5's deck is located directly above the patio.

Unit 4 and Unit 5 seek a 1'3" and 11" front yard building setback modifications and Unit 4 seeks a 3" porch setback modification.

To foster the private outdoor space's optimal use, a condition has been added that all of the decks and Unit 6 and Unit 7's patios be equipped with water, gas, and electric utilities, and that all patios be equipped with a water spigot so that the area may be cleaned as needed.)

These front yard setback modifications will not be out-of-keeping with the area. Several nearby properties have buildings with existing front yard setbacks less than 20 feet. Due to the five-foot right-of-way dedication, Unit 4 and Unit 5's front yard setback modifications will not project past the building line of the adjacent property. To the north, 261st Street separates the property from a mobile home park, which situates the mobile homes less than 10 feet from the sidewalk, so there isn't a visual expectation of a 20-foot front yard setback line.

Unit 1, Unit 8, & Unit 9 propose rear yard setback modifications. All of these units are along the eastern property line and orientated north-south, which makes this property line function like a side yard instead a rear yard. Unit 1 & Unit 9 are freestanding buildings that share a property line with 261st Street and are situated five feet from the property line, instead of 20 feet. Unit 8 proposes a 5'1" building rear yard setback modification and an 8' rear yard setback modification for a deck. It shares a property line with 2070 261st Street, which is also orientated north-south, and its side yard abuts this property line.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

Partially due to street design and partially due to land division, the subject site (26016 Oak Street) is an irregular shape with an atypical long street frontage, which make it unique from neighboring properties. The shape and long street frontage make it impractical to require complete compliance with the typical setback requirements designed to regulate development on rectangular shaped lots with approximately a quarter of the street frontage. On Oak Street the property has over 200 lineal feet of street frontage, whereas the Code's minimum is 50 feet. The amount of area required for the front yard setback is four times more than a typical property would have to provide.

Also, the abutting properties (including 261st Street) were created from grant deeds prior the City's incorporation, and the resulting property lines created this oddly shaped lot. Instead of being perpendicular to the street, the southernly property line is on a diagonal. To the east along 261st Street, there is an extra 20-foot wide by 125-foot-long strip of land that is tied to the parcel; however, the easterly property line is 182 feet long. The lot's shape has affected the driveway layout. Instead of having one common driveway aisle, this development has two which adds to the lot's non-buildable area.

Due to these circumstances, complying with the front and rear setback requirements is an unreasonable regulation and the code provides flexibility mechanisms to account for unreasonable applications of code standards.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1209, subject to the attached conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 ("Attachment 11") on file with the Planning Division. The project shall conform to Attachment 11, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community and Economic Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structure. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and

waives any challenge to the validity of the conditions and obligations stated therein.

6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.
8. Developer shall provide 18 enclosed off-street parking spaces and 2 guest parking spaces for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code.
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief.
13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
14. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPING STANDARD CONDITIONS

15. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of MWELO-compliant landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
16. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by the Community and Economic Development Director.

17. Developer, and future Homeowners Association shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit.
18. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
19. Before the City issues building permits for a residential development that includes any model houses, Developer shall obtain the approval of the Community and Economic Development Director for a low water-using landscape plan. Developer shall install low water-using landscape design and irrigation systems for at least one of the model houses in any cluster of two or more model houses, thereby demonstrating to prospective buyers the feasibility and aesthetic qualities of low water-using landscape design and irrigation systems. Developer shall provide appropriate signs, shown on the landscape plan, explaining that the model house utilizes a low water-using landscape and listing the plant materials used.
20. At the close of escrow or at the time of occupancy of each dwelling unit, Developer shall review with and provide instructions to each buyer concerning the irrigation controller operation and the watering schedules.
21. Developer shall submit four sets of parkway landscape and irrigation plans with the first submittal of public improvement plans. The City shall approve the parkway landscape and irrigation plans when the City approves public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
22. Before the City accepts parkways from Developer, the landscaping thereon must complete a plant establishment period of 90 days or such other time as specified in this permit.

FIRE DEPARTMENT STANDARD CONDITIONS

23. Developer shall construct all vehicle access driveways on the project property to be at least 25 feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code.
24. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Los Angeles County Fire Department and in compliance with the City Code.
25. Before the City issues building permits, Developer shall obtain the Los Angeles County Fire Department approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Los Angeles County Fire Department shall determine whether or not the plan provides adequate fire protection.
26. At Developer's expense, Developer shall obtain two certified fire flow tests for the project

property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. The tests must be certified by a mechanical, civil, or fire protection engineer. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Los Angeles County Fire Department and the City Engineer.

27. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations.
28. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department.
29. At all times during construction, Developer shall maintain all-weather surfaces that provide access for fire fighting apparatus to all parts of the project property.
30. Developer shall identify all hydrants and fire protection equipment on the project property as required by the Los Angeles County Fire Department.
31. Developer shall install security devices and measures, including walkway and vehicle control gates, entrance telephones, intercoms and similar features, subject to approval of the Los Angeles County Sheriff's Department and the Los Angeles County Fire Department.
32. Developer shall provide central station monitoring of the fire sprinkler system and all control valves.
33. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet.
34. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Los Angeles County Fire Department to ascertain the location of all connections.
35. Developer shall install in each structure in the project an alarm system with a central station monitor that will automatically notify the Fire Department in the event of a fire in the structure. The alarm system shall include a UL or State Fire Marshal approved device, which shall not exceed design specifications, that reports the location of the fire and allows the central station monitor to inform the Fire Department of the point of entry into the structure that is nearest the fire.
36. Developer shall comply with Los Angeles County Fire Department requirements regarding storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the Los Angeles County Fire Department to ensure that such requirements are followed.
37. Developer shall install a carbon monoxide detector on each level of the residence in accordance with the manufacturer's specifications. Such detector shall be hardwired with a

battery backup.

PLANNING STANDARD CONDITIONS

38. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
39. Any application for a minor modification to the project shall be accompanied by three copies of plans reflecting the requested modification, together with applicable processing fees.
40. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
41. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
42. Developer shall provide utility meters, mailboxes and address directories, placed in decorative cabinets and clustered for efficient access for residents and service persons. All designs must be approved by the Community and Economic Development Director, the appropriate utility service provider and the United States Postal Service, as applicable.
43. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color.
44. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public rights-of-way, to the maximum extent feasible.
45. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Community and Economic Development Director.
46. Developer shall provide for dust control at all times during project property preparation and construction activities.
47. Developer shall limit outdoor storage of materials to the locations shown on the project plans. Developer shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property.

48. Developer shall provide automatic garage door openers for all garages.
49. Walls separating the patio areas of different units shall be of solid construction, such as masonry, stucco, or wood over wood.
50. Light standards illuminating interior walkways shall be no more than eight feet high. Light shall not intrude into neighboring living or patio areas. Light standards serving recreational areas held in common shall be no more than 15 feet high. Light shall be directed away from dwelling units.
51. Developer shall construct each dwelling unit with separate utility systems and meters.
52. Railings and enclosures for patios and balconies shall provide at least 50 percent enclosure for screening and privacy. Developer shall depict the railings and enclosures on the construction documents.
53. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of parking, landscape, recreation and other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance.
54. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles over 20 feet long in the project.
55. Developer shall provide submit plans for the trash enclosure in conjunction with the submission of building plans.
56. Developer shall pay Quimby Fees and Parkway Tree Fees before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment.
57. Developer shall pay the Development Tax of \$1,000 per residential unit prior to issuance of building permits.
58. Developer shall pay the applicable Water Facilities fee, currently one and a half (1.5) percent of the valuation of the development.

ENGINEERING CONDITIONS (CITY OF LOMITA)

59. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications. All new and modified utility lines shall be placed underground.
60. The developer shall submit calculations, prepared by a licensed civil engineer, determining the size of the water service laterals, water meters and backflow device. A separate fire service line shall be required.
61. The developer shall install separate water meters for each unit with the brand/type of meter subject to the Department of Public Works approval. Prior to receiving Certificate of

Occupancy, developer shall repair in accordance with the standards and specifications of the Public Works Director, any damaged concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins the street, at no expense to the city.

62. All water meters shall be located outside of the driveway apron. The new location shall be to the satisfaction of the City.
63. All unused approaches must be removed and replaced with sidewalk/parkway improvements to match existing and pursuant to American Disabilities Act requirements.
64. All project driveways, approaches, including alley, and adjacent sidewalk area shall be constructed to meet American Disabilities Act requirements.
65. Civil engineering plans shall be submitted for all right-of-way improvement prior to plan submission to the Building and Safety Division.
66. The developer shall obtain an encroachment permit, and place bonds as necessary from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
67. Prior to issuing a grading permit or final Tract Map approval the developer shall either construct or post security for all required public improvements.
68. Should the proposed development require a Standard Urban Stormwater Mitigation Plan (SUSMP) and a Low Impact Development Plan (LID), the Applicant shall comply with the requirements and specifications as prescribed by the Los Angeles County Department of Public Works and/or the City.

PLANNING SPECIAL CONDITIONS

69. That the applicant shall install a 5-foot sidewalk and a 5-foot parkway along Oak Street. The applicant shall submit an improvement plan to be reviewed by the Community and Economic Development Director and the Public Works Director.
70. That the Community and Economic Development Director may approve minor changes to the final approved plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met.
71. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
72. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
73. That the applicant shall provide adequate lighting in common areas, including guest parking areas, to the satisfaction of the Community and Economic Development Director.

74. All decks shall be equipped with a gas connection, water spigot, and an electrical outlet. Unit 6 & Unit 7's patio areas shall be equipped with a gas connection, water spigot, and an electrical outlet. All other patios shall be equipped with a water spigot.
75. Developer shall provide decorative masonry walls on the property lines shared with 261st Street.
76. Should a transformer be necessary, its location is subject to the approval of the Community and Economic Development Director.
77. The Developer shall comply with the attached specific conditions of approval (Attachment A), Quantum Quality Consulting and the County of Los Angeles Fire Department.

ENGINEERING SPECIAL CONDITIONS (CITY OF LOMITA)

78. Before plans are submit to Building and Safety for plan check, the existing sidewalk, which has been damaged by 26016 Oak's tree roots shall be repaired to the satisfaction of the Public Works Director.
79. Retain 50 year rain fall on site from hardscape or roof areas as required by LID requirements for new developments per LA Co Standards.
80. Underground all overhead utility service lines entering the property.
81. Construct new 6" sewer lateral with wye connection to the city sewer main.
82. Water demand calculation by a mechanical engineer is required.
83. Water layout and requirements for service line requirements must be approved by the Public Works Director.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14th day of June 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Steven Cammarata, Chair

ATTEST: _____
Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 78233 MAP DATE: April 26, 2018(City Transmittal)
ADDRESS: 26016 Oak Street Planner: Laura MacMorran
City: Lomita
Reviewed by: Juan Padilla for Nancy Rodeheffer FPEA II

Report Date: January 8, 2021

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT BE APPROVED AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.

The required fire flow for public fire hydrants at this location is 1,500 GPM at 20 psi for a duration of 2 hours, over and above the maximum daily domestic demand.

Final Map Requirements:

1. Submit the Final Map to the County of Los Angeles Fire Department Fire Prevention Land Development Unit for review and approval prior to recordation. Submit the Final Map at the following link, <https://epicla.lacounty.gov/SelfService/#/home>.
2. Private driveways shall be indicated on the Final Map as "Private Driveway and Firelane" with the widths clearly depicted and shall be maintained in accordance with the Fire Code.
3. Provide a reciprocal Access Easement Agreement for shared Fire Department access to the private drive prior to clearance of the Final Map for recordation.

ACCESS REQUIREMENTS: (standing requirements that stay with the project)

1. Every building constructed shall be accessible to Fire Department apparatus by way of access roadways, with an all-weather surface of not less than the prescribed width. The roadway shall be extended to within 150 feet of all portions of the exterior walls when measured by an unobstructed route around the exterior of the building.
2. Buildings and facilities: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. 2017 County of Los Angeles Fire Code Section 503 Section 503.1.1.



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3. All on-site Fire Department vehicular access roads shall be labeled as "Private Driveway and Fire Lane" on the site plan/exhibit, tentative map and Final Map along with the widths clearly depicted on the plan. Labeling is necessary to assure the access availability for Fire Department use. The designation allows for appropriate signage prohibiting parking.
4. Fire Department vehicular access roads must be installed and maintained in a serviceable manner prior to and during the time of construction. Fire Code 501.4.
5. All fire lanes shall be clear of all encroachments, and shall be maintained in accordance with the Title 32, County of Los Angeles Fire Code.
6. The Fire Apparatus Access Roads and designated fire lanes shall be measured from flow line to flow line.
7. Maintain a minimum unobstructed fire lane width of 26 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance "clear to the sky". Fire Department vehicular access to within 150 feet of all portions of the exterior walls of the first story of the building, as measured by an approved route around the exterior of the building. Fire Code 503.1.1 and 503.2.2. Cross hatch the Fire Department vehicular access on the site plan and clearly depict the required width.
8. Fire Apparatus Access Roads shall be designed and maintained to support the imposed load of fire apparatus weighing 37 ½ tons and shall be surfaced so as to provide all-weather driving capabilities. Fire apparatus access roads having a grade of 10 percent or greater shall have a paved or concrete surface. Fire Code 503.2.3
9. Provide approved signs or other approved notices or markings that include the words "NO PARKING - FIRE LANE". Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance to such road, or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. Fire Code 503.3



February 22, 2021

Subject: TENTATIVE TRACT MAP NO. 78233
26016 Oak Ave. PROPOSED DEVELOPMENT
ENGINEERING REVIEW COMMENTS

Laura MacMorran
Assistant Planner
City of Lomita
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. MacMorran,

Quantum Consulting (QC) has completed the engineering review of the subject documents and therefore recommends that TTM No. 78233 be approved subject to the following conditions:

**VESTING TENTATIVE PARCEL MAP NO. 78233
RECOMMENDED COMMENTS AND CONDITIONS**

Engineering Subdivision Comments

This Vesting Tentative Parcel Map No. 78233 includes the following engineering review comments:

We have reviewed and approved the water and sewer studies for TTM No. 78233 on March 11, 2020

When provided, we will review the following:

1. Subdivision
2. Road
5. Grading
6. Storm drain and hydrology

7. Geotechnical

The following comments are NOT provided as part of the review of this TTM 78233 and are required of the applicant to secure approvals/comments:

- City of Lomita Planning
- L.A. County Fire Department
- L.A. County Department of Parks and Recreation
- L.A. County Department of Public Health

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

COMMENTS & CONDITIONS

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

1. Subdivision

a) Applicant shall pay all development impact fees.

b) Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the city.

c) Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.

d) Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, subordination must be executed by the easement holder prior to the filing of the final map.

e) The owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the City Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.

- f) All utility extensions within the site shall be placed underground.
- g) All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the City for approval.
- h) Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete all to the satisfaction of Public Works.
- i) Prior to expiration of the tentative map, a final parcel map must be processed through the Planning Division prior to being filed with the Registrar-Recorder/County Clerk's Office.
- k) A final subdivision guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. A preliminary title report was not provided with this submittal.
- l) Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with the City to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (California Fish and Wildlife, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

2. Road

- a) Construct new driveways to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.

b) Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on streets within this subdivision to the satisfaction of City of Lomita.

c) Repair any damaged improvements during construction to the satisfaction of the City of Lomita.

3. Sewer

a) The subdivider shall serve each proposed unit with a separate lateral.

4. Water

a) The subdivider shall serve each proposed unit with a separate service and meter.

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

5. Grading (If grading plan is required)

a) Provide the following:

1). Benchmark information on grading plan/exhibit map.

2). The drainage shall conform to latest Standard Urban Stormwater Mitigation Plan (SUSMP)/Low Impact Development (LID) plan by the City unless modification or waiver is approved by the City in accordance with the Code.

3). Grading plans shall conform to the California Building Code and all other relevant laws, rules, and regulations governing grading in the City of Lomita.

4). Provide rough and precise grading combination plan for the entire site and submit for review and approval.

5). Where grading involves import or export, the project applicant shall obtain approval for the import/export location from the City.

6). If import/export involves the movement of more than 100 cubic yards of material using city streets, review and approval of a haul route by the City is required.

7). Grading plan shall provide for protection of downstream properties from damages caused by alteration of the drainage patterns.

8). It shall be the sole responsibility of the project applicant to obtain any and all proposed required easements and/or permissions necessary to perform the grading.

9). Phase 1 Environmental Site Assessment for review by the City.

10). Permits and/or letters of non-jurisdiction from all State and Federal Agencies, as applicable. These agencies may include, but may not be limited to the State of California Regional Water Quality Control Board, State of California Department of Fish and Game, State of California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (DOGGR), and the Army Corps of Engineers.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

a) Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (if applicable), and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.

b) A maintenance agreement or CC&Rs may be required for all privately maintained drainage devices, slopes, and other facilities.

6. Storm Drain and Hydrology

a) Applicant shall provide a copy of the drainage concept or hydrology study prior to issuance of building permit or grading plan approval.

7. Geotechnical

a) A preliminary geotechnical/soils investigation report shall be provided on this project.

If you should have any questions or comments regarding the engineering review of the subject document, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Frank Bigdeli', written over a circular stamp or seal.

Frank Bigdeli, P.E.
Civil Engineer



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 78233 MAP DATE: April 26, 2018(City Transmittal)
ADDRESS: 26016 Oak Street Planner: Laura MacMorran
City: Lomita
Reviewed by: Juan Padilla for Nancy Rodeheffer FPEA II

Report Date: January 8, 2021

10. A minimum 5 foot wide approved firefighter access walkway leading from the fire department access road to all required openings in the building's exterior walls shall be provided for firefighting and rescue purposes. Fire Code 504.1
11. Fire Apparatus Access Roads shall not be obstructed in any manner, including the parking of vehicles, or the use of traffic calming devices, including but not limited to, speed bumps or speed humps. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times. Fire Code 503.4

WATER SYSTEMS REQUIREMENTS:

1. For all occupancies other than one and two -family dwellings, and Group R-3 buildings, including commercial, industrial, multi-family dwellings, private schools, and institutions, fire hydrant spacing shall be 300 feet ((91.44m). No portion of lot frontage shall be more than 200 feet (60.96m) from, via vehicular access, a public hydrant. No portion of a building shall be more than 400 feet (121.92m) from, via vehicular access, a properly spaced public hydrant.
2. All fire hydrants shall measure 6"x 4"x 2-1/2" brass or bronze, conforming to current AWWA standard C503 or approved equal, and shall be installed in accordance with the County of Los Angeles Fire Code.
3. All required public fire hydrants shall be installed, tested and accepted prior to beginning construction. Fire Code 501.4
4. An approved automatic fire sprinkler system is required for the proposed buildings within this development. Submit design plans to the Fire Department Sprinkler Plan Check Unit for review and approval prior to installation.

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING ZONE VARIANCE NO. 245 TO PERMIT A 7'10" DISTANCE BETWEEN UNIT 1 AND UNIT 2 WHERE 10 FEET IS REQUIRED AT 26016 OAK STREET IN IN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for a variance to permit a 7'10' separation between Unit 1 & Unit 2 instead of the Code required 10 feet at 26016 Oak Street in the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 ("Developer")
- B. A variance from Section 11-1.30.14(B)(1)'s 10-foot minimum distance between buildings is subject to review and approval by the Planning Commission Pursuant to Section 11-1.70.10 (Zone Variance).
- C. On May 10, 2021, the Planning Commission moved to reschedule a duly noticed public hearing to June 14, 2021.
- D. On June 14, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.

Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may

have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.

Section 2. Pursuant to Section 11-1.70.10 (Zone Variance), after reviewing the proposed development, it is determined that the proposed project is consistent with the following required findings:

1. *There are exceptional or extraordinary circumstances or conditions applicable to the property involved, including size, shape, topography, location, or surroundings, which do not generally apply to the surrounding properties in the same zone; and which deny the owner privileges enjoyed by other property owners in the vicinity and within the same zoning district;*

This property is subject to extraordinary circumstances and conditions that do not generally apply to the surrounding properties in the same zone. The property has a unique five-sided shape but is still generally the shape of a pentagon. It has greater frontage than it does depth, and it is more than two and a half times the depth at the lot's southerly portion than at the northerly portion. This irregular shape stems from how the land was subdivided before the City's incorporation, which includes the curved shape of Oak Street and 261st Street's curved street designs. It is common that other properties in the RVD-2500 can create dwelling units of similar or greater bed/bath combinations and sizes without having to contort the development's design.

2. *Because of the circumstances or conditions, the variance is necessary for the preservation and enjoyment of a substantial property right possessed by other properties similarly situated but which is denied to the property in question;*

Due to the aforementioned land development history, and irregular lot and street designs, the Code's universal standards afford other properties in the RVD-2500 Zone an efficient use of their lot's area; however, those universal standards unintentionally create further restrictions on this atypical property's development.

3. *The granting of the variance will not be materially detrimental to the public welfare or injurious to the adjacent property; and*

Granting this variance has no foreseeable way to be material detrimental to public welfare or injurious to the adjacent property owner as it is limited to the space between two buildings on the subject property. Nor would it be materially detrimental to the future owners of Unit 1 and Unit 2. The distance between the buildings is greater than 10 feet for the vast length of both buildings. At the farthest point, the buildings are 21'8" apart and then taper to 7'10". The layout of each building has stairwells along these outside walls, so there's no foreseeable noise impacts or types of disruptive activity.

4. *The granting of the variance is consistent with the General Plan.*

The General Plan's Housing Element (2013) encourages a diversity of housing types, sizes, locations, and costs in accordance with the City's land use policies. Granting the variance is consistent as it removes a specific hardship to creating typical multifamily housing townhomes.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Zone Variance No. 245 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 (“the plans”) on file with the Planning Division and the project shall conform to the Plans. The Community and Economic Development Director may approve minor changes to the approved Modified Plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that city code requirements are met. Modifications exceeding a 10% deviation shall be referred back to the Planning Commission. A minor modification may be granted for minimal changes of structures or of the design, materials or colors of structures or masonry walls.
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Applicant has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
6. Developer agrees, as a condition of adoption of this resolution, at Developer’s own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Developer’s commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
8. Any covenants, conditions, and restrictions (CC&R’s) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&R’s and the City Code or this permit, the City Code or this permit shall prevail.
9. If Applicant, Owner, or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.

10. Prior to issuance of Certificate of Compliance, Applicant and Owner shall sign a letter agreeing to the conditions of approval within this resolution.
11. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute or ordinance is violated, the permit may be revoked, suspended or modified by the Planning Commission or the City Council at any time, after a noticed hearing in accordance with the Lomita Zoning Ordinance.
12. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
13. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.

PLANNING STANDARD CONDITIONS

14. Before the City issues building permits, Applicant and Owner shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
15. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
16. That final inspection shall not be granted until all conditions of approval have been met and verified by staff.

PLANNING SPECIAL CONDITIONS

17. This approval is to permit a 7'10" distance between Unit 1 and Unit 2 where a minimum of 10 feet is required.
18. Any conditions of approval subject to SPR No. 1211, HVP No. 105, and VTTM No. 78233 shall be required as conditions of this approval.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14th day of June, 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

RECUSE: Commissioners:

Steven Cammarata, Chair

ATTEST: _____

Greg Kapovich

Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

DRAFT
LOMITA PLANNING COMMISSION
RESOLUTION NO. #####

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING HEIGHT VARIATION PERMIT NO. 105 TO PERMIT NINE TOWNHOMES WITH A MAXIMUM HEIGHT OF 25 FEET, 2 INCHES FOR THE PROPERTY LOCATED AT 26016 OAK STREET IN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278 (DEVELOPER)

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals.

- A. The City of Lomita received an application for a Height Variation Permit to permit nine townhomes with a maximum height of 25 feet, 2 inches for the property located at 26016 Oak Street within the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (“Developer”)
- B. Pursuant to Section 11-1.30.02 (Development Standards) and 11-1.70.11 (Height Variation Permit) of the Lomita Municipal Code (Code), residential lots south of Pacific Coast Highway shall obtain a Height Variation Permit for new structures or additions over sixteen feet in height measured from the natural grade.
- C. Pursuant to Lomita Municipal Code Section 11-1.70.11, the City notified all owners of property within a 300-foot radius of the boundary of the subject property in which more than 5% responded in opposition, thereby elevating review of the proposed height to the Planning Commission.
- D. On May 10, 2021, the Planning Commission moved to reschedule a duly noticed public hearing to June 14, 2021.
- E. On June 14, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.
- F. In accordance with Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are

located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.

Section 2. Findings.

Pursuant to Section 11-1.70.11, “Height Variation Permit” of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation, that the following circumstances exist:

1. *An existing significant view will not be obstructed by the proposed construction; or*

Staff has visited the subject property and neighborhood several times. Within 300-feet of the subject property, the area possesses a very minor change in grade. Written objections (Attachment 13) primarily pertained to a host of issues other than view, such as parking, sunlight, loss of trees, and dust, which are concerns, but not qualifying reasons to deny the proposed 25’2” height. This area has a relatively flat topography, and staff did not observe any significant views as defined in the Code that would be impacted. Furthermore, the proposed height of 25’2” is below the maximum height requirement of 27 feet applicable to all other areas of the City with an RVD-2500 zoning designation.

2. *The proposed construction is designed to be the least intrusive on the existing view of neighboring property owners or occupants.*

Though the proposed development’s design is requesting setback modifications, those modified distances do not have any impact on any of the surrounding properties’ views. As a result of the absence of views as defined by the Code, the construction cannot possibly be considered intrusive.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Height Variation Permit No. 105 subject to compliance with all applicable laws and ordinances of the City as well as the addition of the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated April 19, 2021 (“Attachment 11”) on file with the Planning Division and the project shall conform to Exhibit A. The Community and Economic Development Director may approve minor changes associated with the architecture, site design and buildings to the approved Modified Plans. For numerical standards, the Community and Economic Development Director may approve deviations up to 10% provided that Lomita Municipal Code requirements are met. Modifications exceeding a 10%

deviation shall be referred back to the Planning Commission. A minor modification may be granted for minimal changes of structures or of the design, materials or colors of structures or masonry walls.

3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
8. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
9. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic, or otherwise potentially hazardous to human health to be handled, stored, or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
10. If Developer, owner, or tenant fails to comply with any of the conditions of this permit, the Developer, owner, or tenant shall be subject to a civil fine pursuant to the City Code.
11. Prior to the issuance of building permits, Developer shall correct all violations of the City Code existing on the project property.
12. Prior to the issuance of building permits, Developer shall sign an affidavit agreeing to the conditions of approval within this resolution.

PLANNING STANDARD CONDITIONS

13. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
14. The Developer shall install a solid waste and recyclable material storage area as required by Los Angeles Department of Building and Safety.
15. Any application for a minor modification to the project shall be accompanied by three copies of the plans reflecting the requested modification, together with applicable processing fees.
16. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
17. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
18. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public rights-of-way, to the maximum extent feasible.
19. Developer shall provide for dust control at all times during project property preparation and construction activities.
20. Developer shall not store construction materials or vehicles outdoor on the project property.
21. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute, or ordinance is violated, the permit may be revoked, suspended, or modified by the Planning Commission or the City Council at any time, after a noticed hearing in accordance with the Lomita Zoning Ordinance.
22. The Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer
23. The final inspection shall not be granted until all conditions of approval have been met and verified by staff.
24. In the event of a disagreement in the interpretation or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
25. It is hereby declared to be the intent of the Planning Commission that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.

26. Any conditions of approval for SPR No. 1211 shall become conditions of this approval.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14^h day of June 2021 by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Steven Cammarata, Chair

ATTEST:

Greg Kapovich
Community and Economic Development Director

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF VESTING TENTATIVE TRACT MAP NO. 78233 FOR THE SUBDIVISION OF PROPERTY TO PERMIT THE CONSTRUCTION OF NINE NEW RESIDENTIAL UNITS FOR THE PROPERTY LOCATED AT 26016 OAK STREET. FILE BY JEANNA RUBY, ON BEHALF OF E & S PRIME BUILDERS, 1981 ARTESIA BLVD. #B, REDONDO BEACH, CA 90278

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The City of Lomita has received an application requesting Planning Commission approval of a Site Plan, Zone Variance and Height Variation and a recommendation of approval to the City Council of a Vesting Tentative Tract Map for the subdivision of property to permit the construction of nine new residential units for the property located at 26016 Oak Street in the RVD-2500 (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer), in accordance with Articles 3 and 8, Chapter 2 of Title XI of the Lomita Municipal Code
- B. On May 10, 2021, the Planning Commission moved to reschedule a duly noticed public hearing to June 14, 2021.
- C. On June 14, 2021, the Planning Commission held a duly noticed public hearing and accepted public testimony.
- D. The Planning Commission approved on June 14, 2021, Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105 which approved a nine-unit townhouse development at the subject site subject to approval by the City Council of a tentative map and final map and recordation of the final map.
- E. The subject site is zoned RVD-2500 (Residential Variable Density) and designated Medium Density Residential by the City's General Plan.
- F. The subject property is a flat 24,459-square-foot parcel. The parcel is an irregular pentagon shape and possesses street frontage on three sides. After its five-foot right-of-way dedication, the net lot area is reduced to 23,418 square feet. Along Oak Street, the street frontage is approximate 210 feet, and there are two driveway aprons. 261st Street, which borders the property on the north and east, is a private road, and there are not any existing (or proposed) points of access.
- G. Tentative Tract Map No 78233 has been reviewed on behalf of the City by Quantum Quality Consulting, which determined that the proposed Tentative Map meets the requirements of the City's Municipal Code and the State Subdivision Map Act, and recommended conditions for the final map approval which have been attached to this Resolution.

- H. The Los Angeles County Fire Department has reviewed the proposed project and concludes that adequate water supply exists to meet current and anticipated fire suppression needs.
- I. Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.
- J. The Planning Commission finds that the applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Pursuant to California Government Code Section 66410 et seq. (Subdivision Map Act), Section 11-2.116 of the Lomita Municipal Code, and the City's General Plan, based on the entire record before the Planning Commission and all written and oral evidence presented to the Planning Commission, the Planning Commission finds as follows:

1. *The proposed subdivision is designed, to the extent feasible, to provide for passive or natural heating or cooling opportunities.* (See Gov. Code Section 66473.1.)

The design of the subdivision balances hardscaped and landscaped surfaces. Landscaped areas fill spaces not necessary for circulation and will provide shade for paved surfaces. A parkway will be created from the five-foot right-of-way dedication and street trees will be planted every 50 linear feet. The design of the westerly-facing units includes covered porches and deck spaces which shield several doors and windows from direct sunlight.

2. *The proposed subdivision and the provisions for its design and improvement are consistent with the general plan for the City of Lomita ("General Plan"),* (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)

The project site has a General Plan Land Use Designation of Medium Density Residential and the proposed condominium project is compatible with the surrounding uses which consist of single family dwellings, multi-family dwellings and a mobile home park. The site is physically

suitable for the density of development. The site has a density of 16.47 dwelling units per acre and accommodates a maximum of 9 units which is both consistent with the density range established by the Medium Density Residential Land Use designation of the \ General Plan and the density development standard of one unit for every 2,500 square feet of lot area, as outlined by the RVD-2500 zoning district.

3. *The Subject Site is physically suitable for the type and density of development proposed in the Tentative Tract. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development of a 9-unit condominium development. The proposed development will have adequate street access for pedestrians and vehicles, and also adequate capacity for parking and traffic. The parcel is an irregular pentagon shape and possesses street frontage on three sides. The development will have pedestrian and vehicular accessibility via one entry point located on Oak Street. The internal driveway will provide full access to the development. The proposed development requires two parking spaces within an enclosed garage for each unit and one guest parking space for each unit without direct street frontage. The proposed development provides a total of 18 enclosed parking spaces within garages and two guest parking spaces. The project design meets the required parking standards and promotes safe and convenient pedestrian and vehicular circulation. A condition of approval has been included for a five-foot dedication for a sidewalk and parkway to be established.

4. *The subdivision design and improvements proposed in the Tentative Tract Map are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The subject property is a flat 23,418-square-foot parcel developed with one single-family home and one garage, which were built in the 1930s. The vegetation on the site includes introduced shrubs and trees. There are several mature trees that provide significant canopy coverage. None of the existing urban introduced landscaping is a candidate for sensitive or special status species. The project would not significantly impact wildlife or wildlife habitat. A condition of approval has been included to require the removal of existing trees outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

5. *The subdivision design and type of improvements proposed in the Tentative Map are not likely to cause serious public health problems because all development and public improvements will be performed per the requirements of all applicable standards and codes, including the zoning and building codes. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The site is physically suitable for the type of development. The project meets all the required development standards as shown in the approved plans associated with Site Plan No. 1209, Zone Variance No. 245 and Height Variation Permit No. 105.

6. *The subdivision design and type of improvements proposed in the Tentative Map will not conflict with easements acquired by the public at large for access through or use of the Subject Site. (See Gov. Code Section 66474; Lomita Municipal Code Section 2.116.)*

The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The existing rights-of-way remain intact and there is no foreseeable interference.

7. *The discharge of waste into an existing sewer system from development proposed in the Tentative Map will not cause a violation of existing requirements prescribed by the local water quality control board. (See Gov. Code Section 66474.6.)*

The design of the subdivision will discharge waste into an existing community sewer system and will not result in violation of existing requirements prescribed by Los Angeles Regional Water Quality Control Board per Division 7 of the Water Code.

8. *The subdivision and improvements proposed in the Vesting Tentative Tract Map help the City of Lomita meet its regional housing needs. (See Gov. Code Section 66412.3.)*

The Housing Element noted that more than 32% of households in 2013 were overpaying for their housing. Multi-family townhome developments are typically a more affordable option to purchase/rent and maintain than single-family homes.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby recommends City Council approval of Vesting Tentative Tract Map No. 78233 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. The Vesting of the Tentative Tract Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. Pursuant to Lomita Municipal Code sections 11-2.357 and 11-2.251, this Vesting Tentative Tract Map dated January 8, 2021 shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
3. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this Tentative Tract Map and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.
4. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of the private driveway, landscaping and any other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance.
5. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles.

6. This subdivision shall comply with Title 11 of the Lomita Municipal Code (Vesting Tentative Map) as determined by the City Engineer.
7. The final map shall not be recorded until there has been compliance with all conditions of approval.
8. The developer shall install house addresses and mailboxes in accordance with Post Office policy. The actual addresses will be assigned by Los Angeles County staff prior.
9. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
10. The Developer shall comply with the attached conditions of approval (Attachment A) developed by City of Lomita Public Works Department, Quantum Quality Consulting and the County of Los Angeles Fire Department.
11. This condominium project shall comply with the conditions of approval for Site Plan Review No. 1209.
12. Removal of existing trees shall be performed outside of the nesting season defined by the California Department of Fish and Wildlife as February 1st through August 15th.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14th day of June, 2021 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

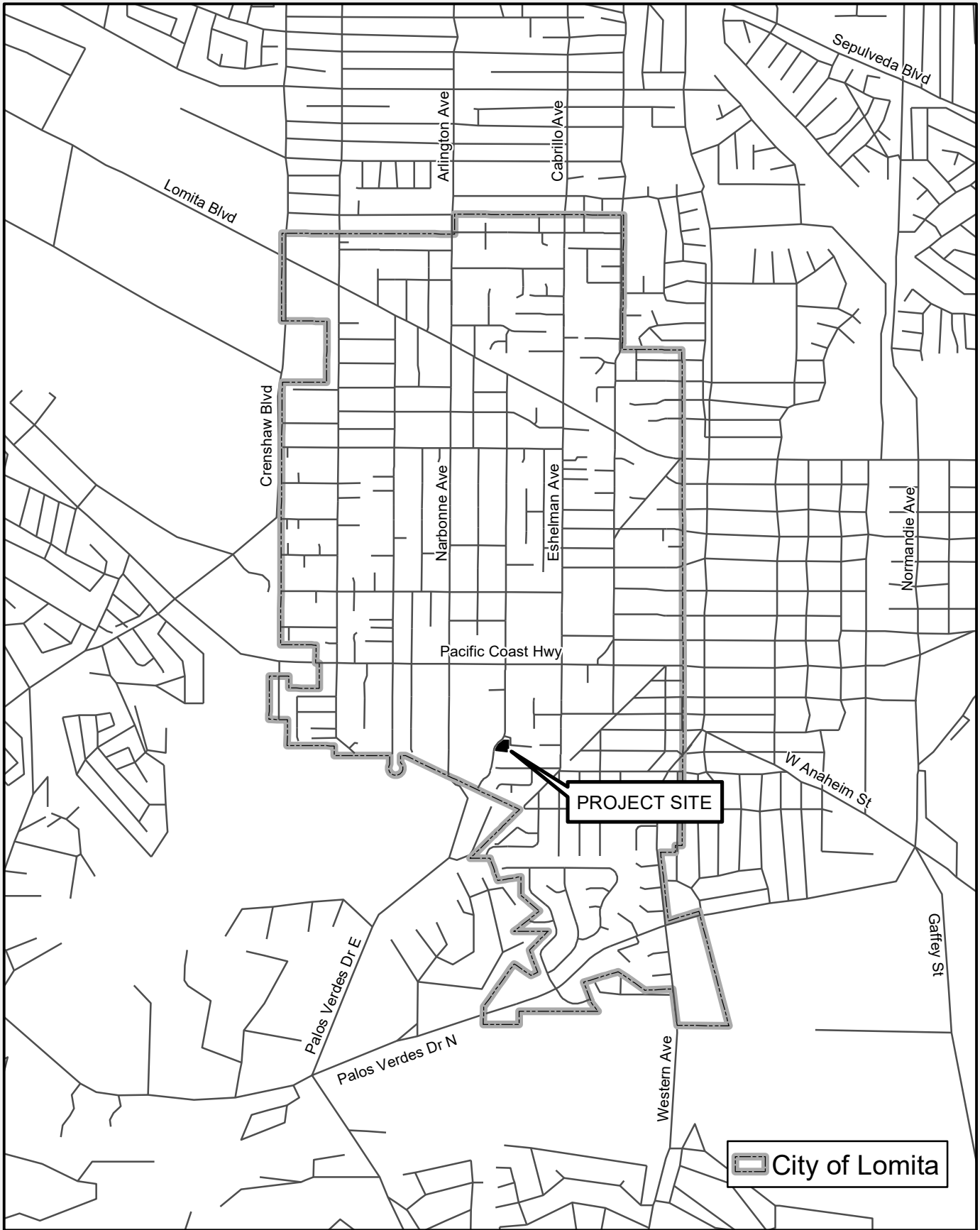
ABSENT: Commissioners:

ABSTAIN: Commissioners

Steven Cammarata, Chairperson

ATTEST: _____
Greg Kapovich
Director of Community and Economic Development

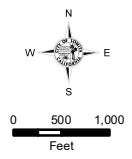
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

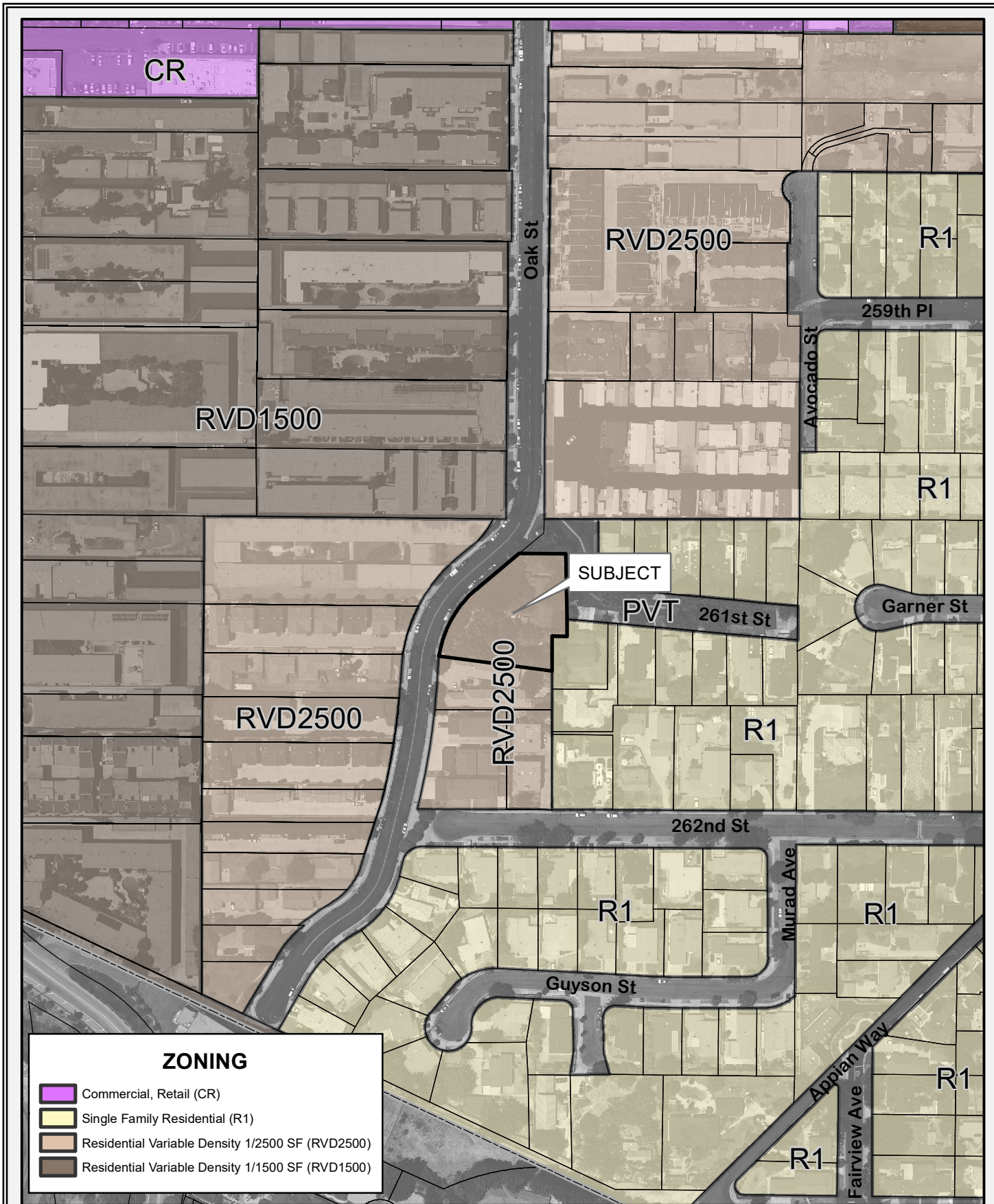


**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 5**

Community Development
 April 2021

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/26016Oak_3vty.mxd





ZONING

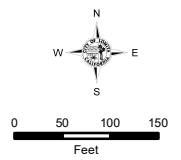
- Commercial, Retail (CR)
- Single Family Residential (R1)
- Residential Variable Density 1/2500 SF (RVD2500)
- Residential Variable Density 1/1500 SF (RVD1500)

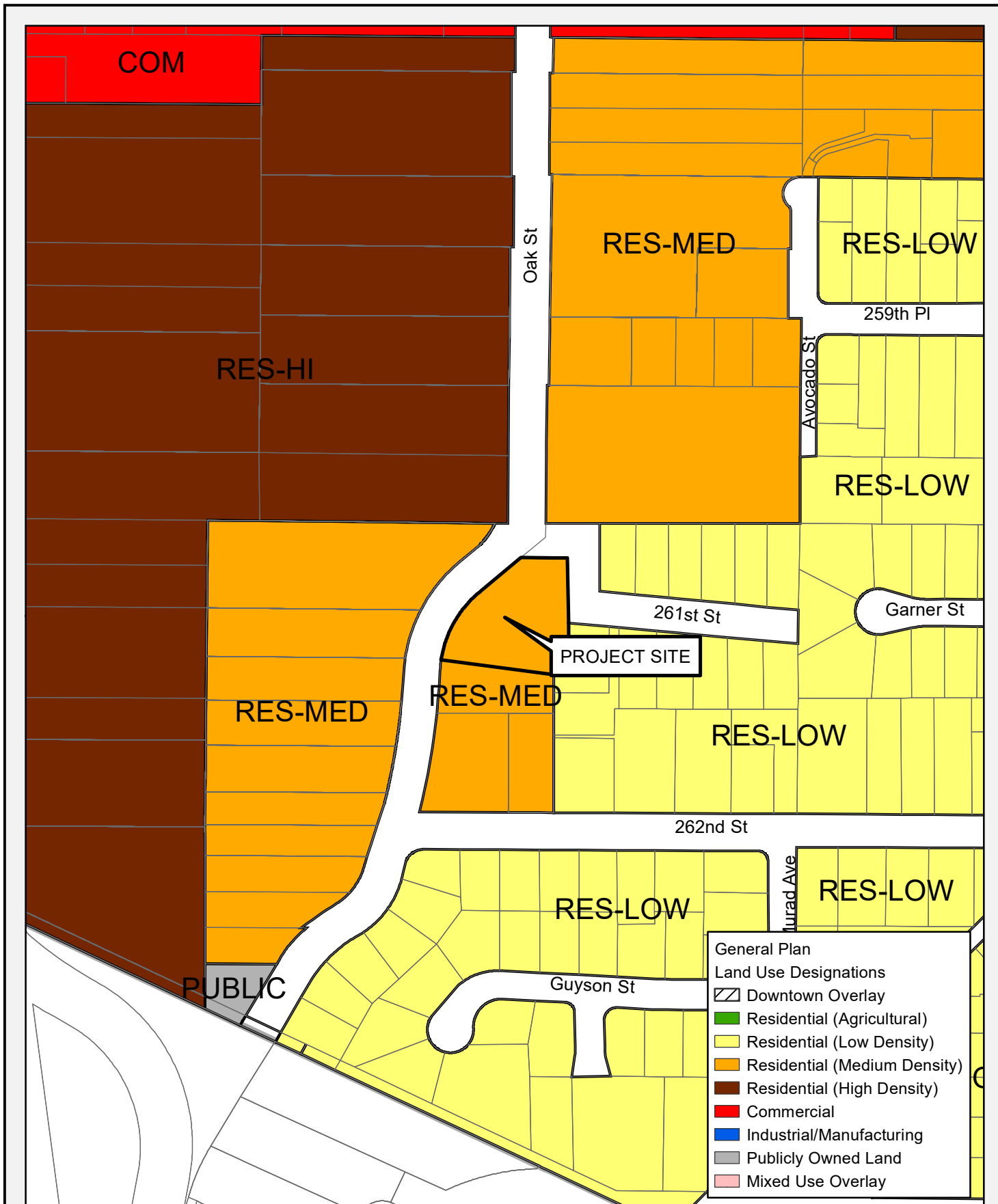


**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 6**










Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26016Oak_3zon.mxd





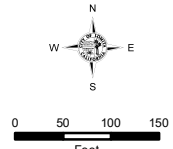
General Plan
Land Use Designations

-  Downtown Overlay
-  Residential (Agricultural)
-  Residential (Low Density)
-  Residential (Medium Density)
-  Residential (High Density)
-  Commercial
-  Industrial/Manufacturing
-  Publicly Owned Land
-  Mixed Use Overlay

Lomita **Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 7**

Community Development
 April 2021

Source: Lomita GIS Data Layers
 GIS/Apps/26016Oak_3gp.mxd

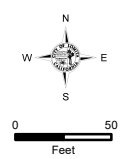




**Site Plan No. 1209, Zone Variance No. 245,
 Height Variation Permit No. 105,
 Vesting Tentative Tract Map No. 78233
 26016 Oak Street
 Attachment 8**

Community Development
 April 2021

Source: Lomita GIS Data Layers
 /Apps/26016_3aer.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110
 FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1209/Height Variation Permit No.105/ Zone Variance No. 245 /Vesting Tentative Tract Map No. 78233– A request for a Site Plan Review to permit the construction of nine, two-story, residential dwelling units with a maximum height of 25’2” on a of 23,418 square-foot lot and a Vesting Tentative Tract Map to create nine condominium units on one shared lot located at 26016 Oak Street. The project is in the RVD-2500, (Residential Variable Density) Zone. Filed by Jeanna Ruby, on behalf of E & S Prime Builders, 1981 Artesia Blvd. #B, Redondo Beach, CA 90278 (Developer)

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15332 (In-Fill Development))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons:

Pursuant to Section 15332 (In-Fill Development) of the CEQA Guidelines, the proposed project is categorically exempt from the requirements of CEQA. Section 15332 exempts those projects which: (1) are consistent with the applicable general plan designation and all applicable general plan policies (as well as with applicable zoning designation and regulations); (2) occur within city limits on a project site of no more than five acres substantially surrounded by urban uses; (3) have no value as a habitat for endangered, rare or threatened species; (4) would not result in any significant effects relating to traffic, noise, air quality, or water quality; or (5) have a project site that can be adequately served by all required utilities and public services. The nine proposed 1,600-square foot, two-story dwelling units are located on a lot on less than one acre and surrounded by urban uses. The development is fully located within the City limits, is consistent with the applicable General Plan and zoning designations, is fully served by all required utilities, and the site has no value for sensitive or endangered habitat. This type of project is exactly the type of multi-family-use project

that is intended and expected for this site per the Lomita Municipal Code and General Plan. There are not any unusual aspects that would disqualify it from the categorical exemption. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment and has attached the Notice of Exemption as Attachment 9 to this staff report.

(Date)

Greg Kapovich
Community and Economic Development
Director

VESTING TENTATIVE TRACT MAP NO. 78233

IN THE CITY OF LOMITA, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

ENGINEER
DENN ENGINEERS

3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

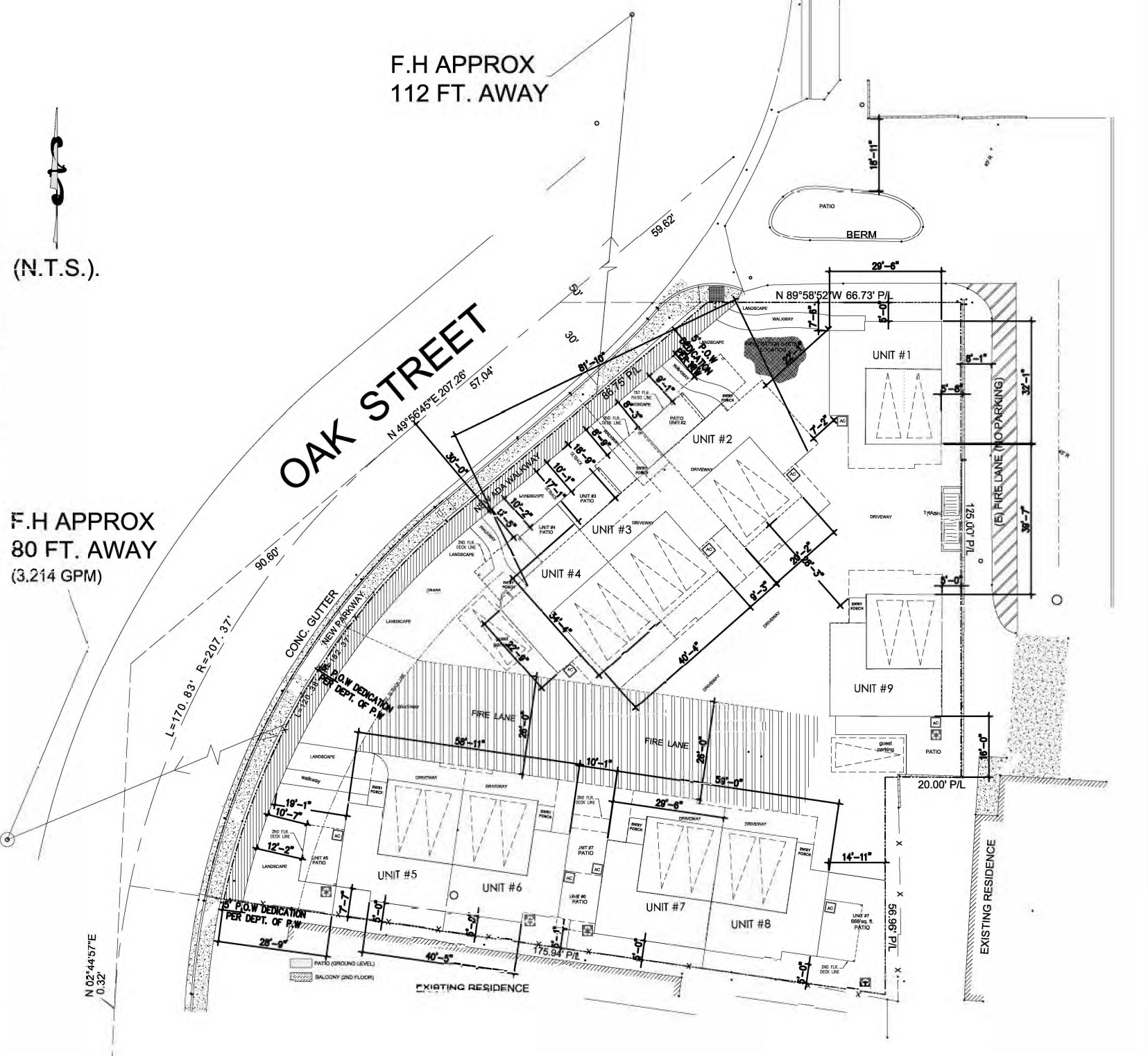


FOR CONDOMINIUM PURPOSES

REV 1-8-21
DATE 10/2/2017

GARY J. ROEHL R.C.E. 30826

PROPOSED SITE PLAN



SUBDIVIDER
EBRAHIM SOLTANI
E&S PRIME BUILDERS, INC.
1981 ARTESIA BOULEVARD, SUITE B
REDONDO BEACH, CA 90278
PHONE 310-466-5811

LEGAL DESCRIPTION
PORTIONS OF LOTS 4 & 5,
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

JOB ADDRESS
26016 OAK STREET
LOMITA, CA 90717

- NOTES**
1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
 3. THIS IS A 9 UNIT CONDOMINIUM PROJECT.

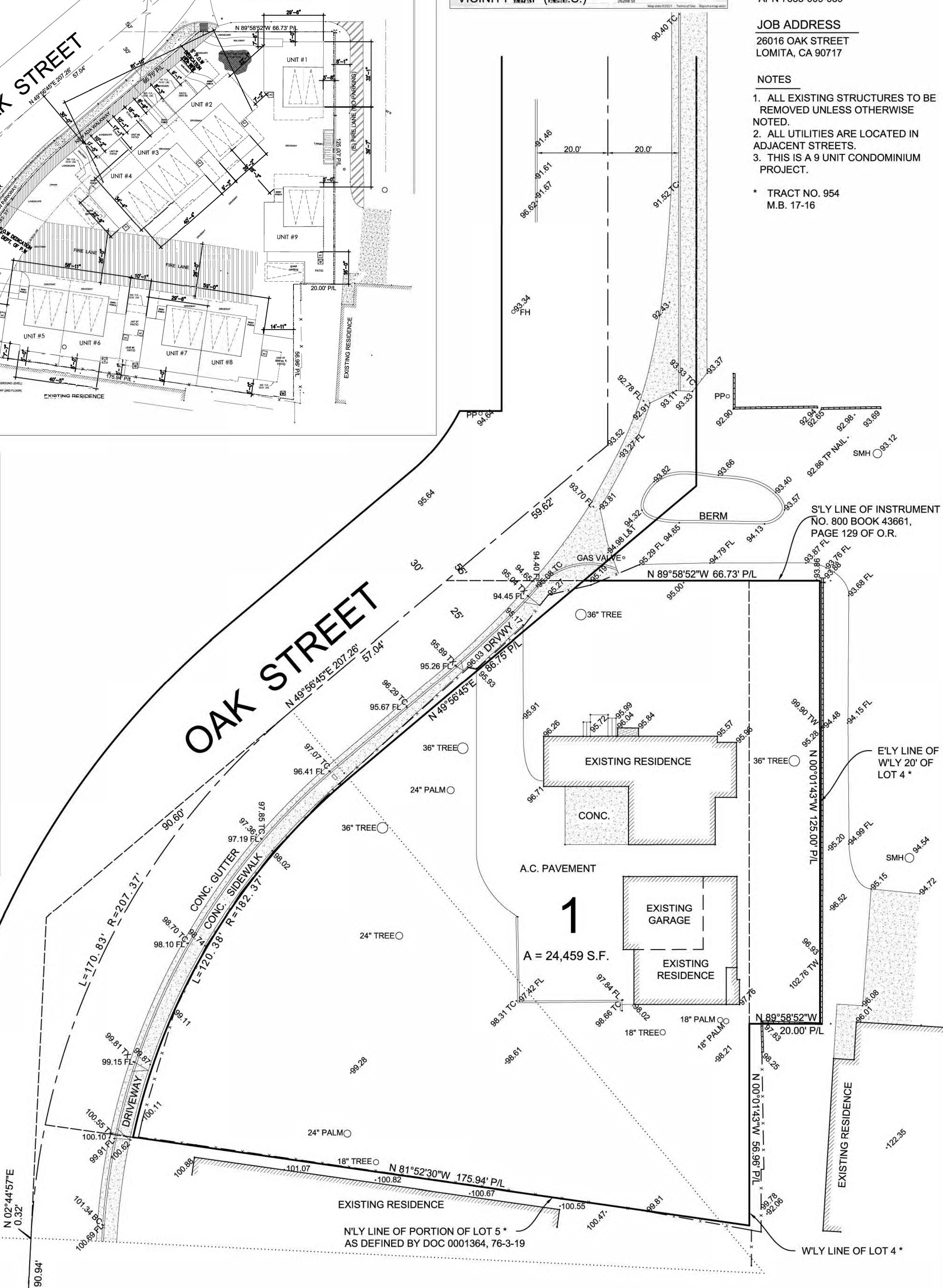
* TRACT NO. 954
M.B. 17-16

LEGEND

	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
+106.76	EXISTING ELEVATION
100	EXISTING CONTOUR
	BLOCK WALL
X	EXISTING FENCE
BCR	BEGINNING OF CURB RET
ELY	EASTERLY
FD	FOUND
FF	FINISH FLOOR
FL	FLOW LINE
GFF	GARAGE FINISH FLOOR
GW	GUY WIRE
L&T	LEAD AND TAG
MH	MANHOLE
NLY	NORTHERLY
PC	PROPERTY CORNER
PL, P/L	PROPERTY LINE
PP	POWER POLE
S&W	SPIKE AND WASHER
SLY	SOUTHERLY
SPK	SPIKE
STK	STAKE
TC	TOP OF CURB
TW	TOP OF WALL
TX	TOP OF DRIVEWAY APRON
WLY	WESTERLY
WM	WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 9:00 AM TO 5:00 PM.



S'LY LINE OF INSTRUMENT NO. 800 BOOK 43661, PAGE 129 OF O.R.

E'LY LINE OF W'LY 20' OF LOT 4 *

18" PALM

18" TREE

24" PALM

36" TREE

36" TREE

36" TREE

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CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

CGA

Christian Golfin+Associates

COLOR ELEVATIONS UNIT 2-4



WEST - UNIT 2

WEST - UNIT 3

WEST - UNIT 4

SCALE: N.T.S

F. AREA CALCULATIONS UNIT #1-6

UNIT	OCCUPIED AREA:		LIVABLE	GARAGE
	FIRST FLOOR	SECOND FLOOR		
UNIT 1	FIRST FLOOR	476 SF	420 SF	
	SECOND FLOOR	1,107 SF		
LIVING AREA TOTAL		1,583 SF		
UNIT FOOTPRINT TOTAL		896 SF		
UNIT 2	FIRST FLOOR	468 SF	420 SF	
	SECOND FLOOR	1,102 SF		
LIVING AREA TOTAL		1,570 SF		
UNIT FOOTPRINT TOTAL		888 SF		
UNIT 3	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,060 SF		
LIVING AREA TOTAL		1,498 SF		
UNIT FOOTPRINT TOTAL		858 SF		
UNIT 4	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,057 SF		
LIVING AREA TOTAL		1,495 SF		
UNIT FOOTPRINT TOTAL		858 SF		
UNIT 5,6&8	FIRST FLOOR	438 SF	419 SF	
	SECOND FLOOR	1,062 SF		
LIVING AREA TOTAL		1,500 SF		
UNIT FOOTPRINT TOTAL		857 SF		
UNIT 7	FIRST FLOOR	462 SF	419 SF	
	SECOND FLOOR	1,062 SF		
LIVING AREA TOTAL		1,524 SF		
UNIT FOOTPRINT TOTAL		881 SF		
UNIT 9	FIRST FLOOR	438 SF	420 SF	
	SECOND FLOOR	1,069 SF		
LIVING AREA TOTAL		1,507 SF		
UNIT FOOTPRINT TOTAL		858 SF		
TOTAL FOOTPRINT (ALL UNITS)		7,810 SF		
LOT AREA = 24,458		7,810 SF	32% LOT COVERAGE	
7,810/24,458 = LOT COVERAGE				

D. PROJECT DESCRIPTION

- NEW RENOVATION ADDITION
- EXISTING LOT/ BUILDING USE: RESIDENTIAL USE
- PROPOSED USE: ATTACHED/ DETACHED 9-UNIT CONDOMINIUM W/ ATTACHED GARAGES R-301.1
- OCCUPANCY GROUP: V-N
- CONSTRUCTION TYPE: V-N
- AUTO FIRE EXT. SYSTEM: SPRINKLERS - YES
- BUILDING HEIGHT: 25'-2"
- MAXIMUM BUILDING HEIGHT: 27'



2706 Artesia Blvd, Suite D
Redondo Beach, CA, 90260
Ph: (310)406-6587
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:
AART ASSINK ASSOCIATES
Civil Engineers Structural Design

CLIENT NAME:
E&S PRIME BUILDERS

SITE ADDRESS:
26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

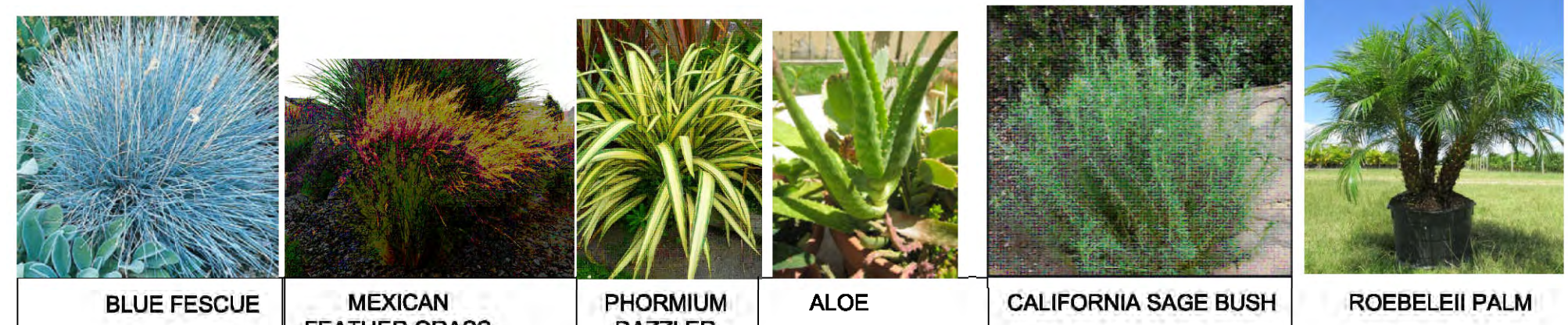
SHEET TITLE:
SITE PLAN

DATE: 3-28-21 SHEET NO.
BY: C.GOLFIN
PROJ. #:
SCALE: 1" = 15'

A02

8.56. 070 Water Conservation Requirements.

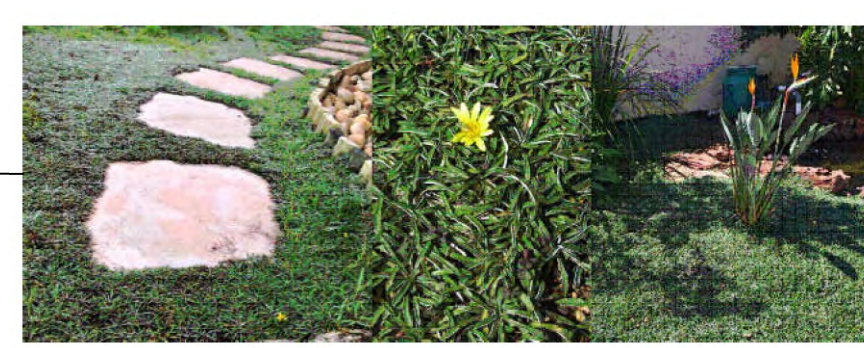
- The following water conservation requirements shall apply to all persons:
- Landscaping.**
 - Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 8:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.
 - Over-watering. No lawn or landscaped area shall be irrigated or watered to the point where excess water soaks or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.
 - Irrigation during rainfall. No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.
 - Landscape maintenance. All lawns and landscaping shall be regularly maintained to reduce water use by such methods as coring, hatching and mulching.
 - Landscape irrigation system maintenance. Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over-spraying.
 - Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is concluded.
 - Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.
 - Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.
 - Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.
 - Waste and leaks. No person shall:
 - Crack, permit or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.
 - Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except as a result of rainfall or pumping excessive groundwater infiltration, such as by means of a sump pump.
 - The use of water for cleaning, washing and other uses shall be performed in an efficient manner to reduce waste and total water use.



PLANT/ SURFACE LEGEND								
SYMBOL	COMMON NAME (SCIENTIFIC NAME)	WATER USE	SIZE	HEIGHT	DIAMETER	TYPE	QUANTITY	COMMENTS
1	NEW ZEALAND FALX (PHORMIUM DAZZLER)	MEDIUM	5 GAL.	2-3 FT.	2-3 FT.	PLANT	7	
2	MEXICAN FEATHER GRASS (NASSELLA TENUISSIMA)	LOW	1 GAL.	1-2 FT.	1-2 FT.	GRASS	32	
3	ALOE VERA (ALOE BARBADENSIS)	LOW	1 GAL.	1-2 FT.	1-2 FT.	PLANT	3	
4	AMERICAN SWEETGUM TREE (LIQUIDAMBAR STYRACIFLUA)	MEDIUM	24 BOX.	20-40 FT.	6" FT.	TREE	10	
5	TOP SOIL W/ WOOD CHIPS OVER 2" ORGANIC MULCH	N/A	N/A	N/A	N/A	BASE		PERMEABLE SURFACE
6	CALIFORNIA SAGE BUSH (ARTEMISIA CALIFORNICA)	LOW	1 GAL.	2-4 FT.	N/A	BUSH	10	PERMEABLE SURFACE
7	BUFFALO GRASS (Bouteloua dactyloides)	N/A	N/A	N/A	N/A	BASE		PERMEABLE SURFACE
8	BLUE FESCUE (FESTUCA GLAUCA)	LOW	1 GAL.	1 FT.	1 FT.	PLANT	12	PERMEABLE SURFACE
9	PIGMY DATE PALM (PHOENIX ROEBELENI)	LOW	15 GAL.	3-5 FT.	6 FT.	PLANT	8	PERMEABLE SURFACE
10	LOW WATER GROUND COVER (DYMONDIA MARARETAE)	LOW	N/A	N/A	N/A	COVER	169 SQ.FT. (PARKWAY)	PERMEABLE SURFACE

8.60. 060 Standards for New Landscape.

- New landscape as defined in Section 8.60.040 shall be designed and managed to use the minimum amount of water required to maintain plant health. New landscape shall comply with all of the requirements in Sections 8.60.040 through 8.60.060 of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(A).
- Plant material.**
 - Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.
 - Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter.
 - Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable to the Community Development Director are prohibited, except for known non-invasive, non-toxic, non-allelopathic, and non-ecologically disruptive species.
 - The landscape use of project, including residential, commercial or industrial uses shall be designed using exclusively water conserving plants. Single family residential, multi-family residential, mixed use and institutional uses shall be designed with not more than twenty (20) percent of the total landscaped area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used in the driveway or for functional purposes such as safety or recreation in recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.
 - Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every five (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (E_t).
 - Planted areas shall be covered with a minimum of two (2) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Additional mulch material shall be added from time to time as necessary to maintain the required depth of mulch.
 - Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be appropriate to the surrounding area and incorporate shade trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.45.060, height restrictions for hedges in 17.45.130, pedestrian or bicycle ways, or overhead utility lines or lighting.
 - Water features, pools and spas.**
 - Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.
 - Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.
 - Grading and runoff.** Landscape design shall minimize soil erosion and runoff.
 - Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.
 - Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain onto impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.
 - Plans and construction shall protect against soil compaction within landscape areas.
 - Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration, and control pollutants shall be incorporated into project plans. Rain gardens, cisterns, swales, structural soil, permeable pavement, connected landscape areas and other landscape features and practices that increase on-site rainwater capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered during project design. Plans and practices shall comply with Chapter 8.44.
 - Irrigation systems.**
 - An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a rain shut-off sensor, shall be installed. Drip irrigation emitters shall emit no more than two (2) gallons per hour.
 - An average landscape irrigation efficiency of 0.71 shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.
 - The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.
 - Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.
 - Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface.
 - All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.
 - All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended operating pressure.
 - Reclaimed water and graywater irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.
 - Irrigation system hydraulics.**
 - The irrigation system shall conform to the hydraulics of the landscape design plan.
 - Each hydrant shall have plant materials with similar water use, with the exception of hydrations with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrations shall mix high and low water use plants.
 - Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrate. Where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.
 - No landscape plan or restriction of any type, including those applicable to common interest developments such as condominiums, shall prohibit or include conditions that have the effect of prohibiting native or water conserving plants.
 - Landscape and irrigation maintenance.**
 - All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.
 - Irrigation scheduling shall be regulated by automatic irrigation controllers.
 - Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.
 - A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, coring and dethatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.
 - Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components, or equivalent or enhanced components compatible with the irrigation system.
 - Landscape areas shall be permanently maintained and kept free of weeds, debris and litter; plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced, in kind, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as noted in the current edition of the Water Use Classification for Landscape Species.
 - The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturer's specifications and applicable laws, and minimize the discharge of pollutants to the environment.
 - Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.



IRRIGATION LEGEND

- A RAIN BIRD EXP-SMTE WEATHER BASED SMART CONTROLLER
- B XPS 17mm SUBSURFACE DRIPPERLINE
- C MANUAL SHUT OFF VALVE
- D RAIN BIRD MULTI OUTLET XERI-BUG
- E SUBSURFACE NON CORROSIVE TUBING OR PVC

SPECIFICATIONS Dripper

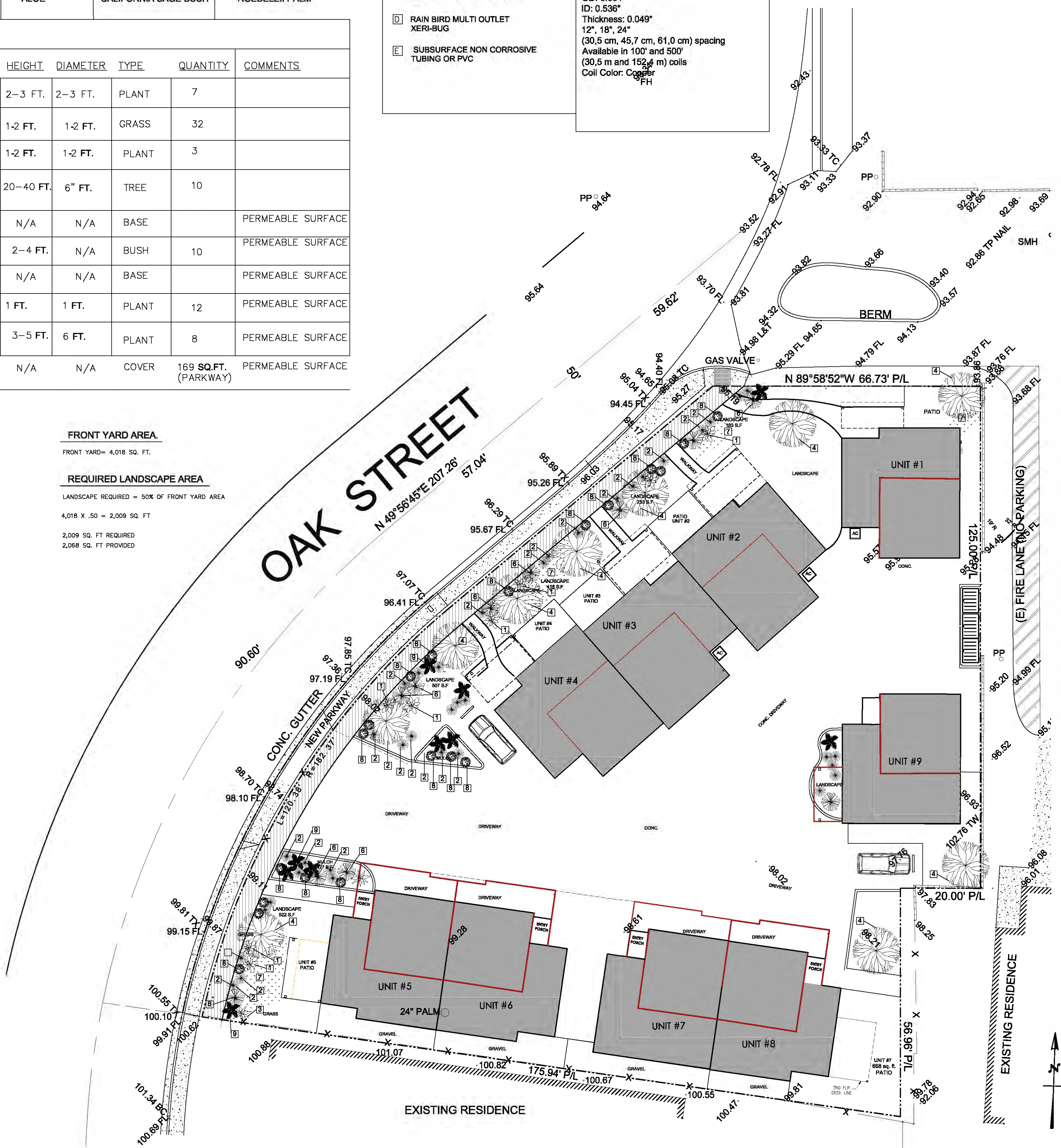
Operating Range
 Pressure: 8.5 to 60 psi (.58 to 4.14 bar)
 Flow rates: 0.6 and 0.9 gph (2.3 l/hr and 3.5 l/hr)
 Temperature:
 Water: Up to 100°F (37.8° C)
 Ambient: Up to 125°F (51.7° C)
 Required Filtration: 120 mesh
 Specifications
 OD: 0.634"
 ID: 0.536"
 Thickness: 0.049"
 12", 18", 24"
 (30.5 cm, 45.7 cm, 61.0 cm) spacing
 Available in 100' and 500'
 (30.5 m and 152.4 m) coils
 Coil Color: Copper

FRONT YARD AREA.
FRONT YARD = 4,018 SQ. FT.

REQUIRED LANDSCAPE AREA
LANDSCAPE REQUIRED = 50% OF FRONT YARD AREA

4,018 X .50 = 2,009 SQ. FT

2,009 SQ. FT REQUIRED
2,068 SQ. FT PROVIDED



2708 Artesia Blvd. Suite D
Redondo Beach CA, 90260
Ph: (310)408-6587
COBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER

Civil Engineers Structural Design

CLIENT NAME:
E&S PRIME BUILDERS

SITE ADDRESS:
26016 OAK STREET
LOMITA, CA 90717

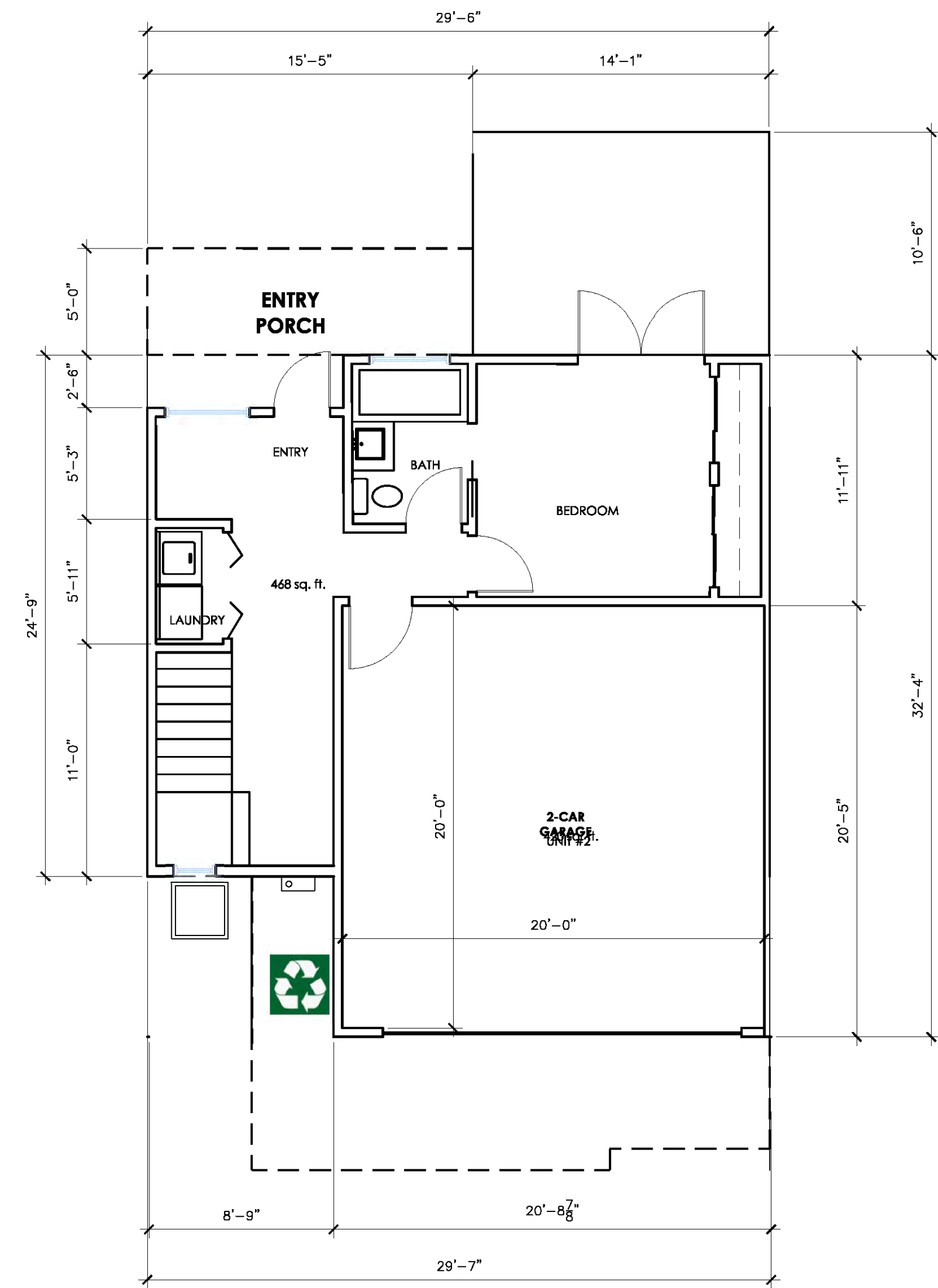
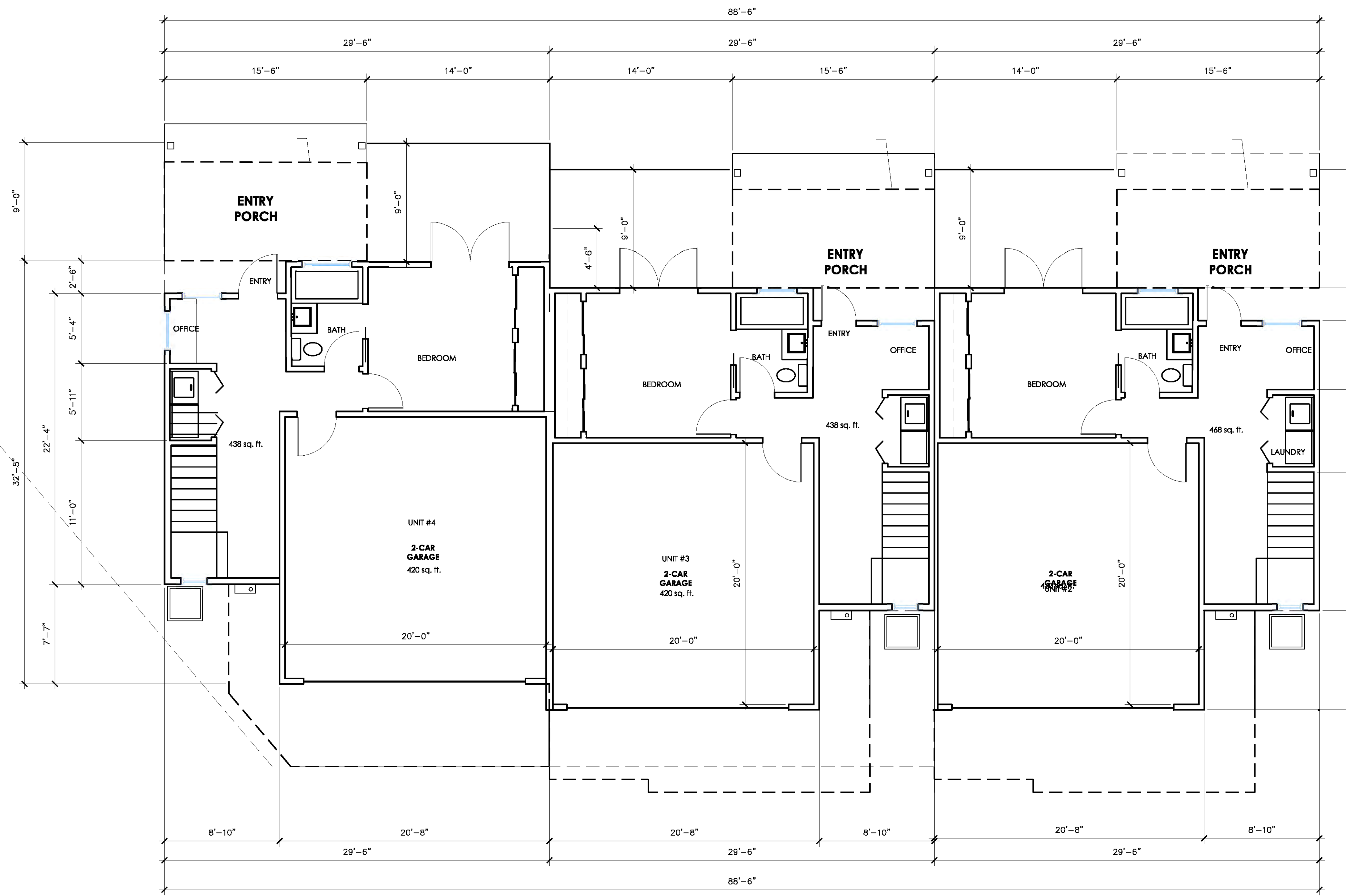
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TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

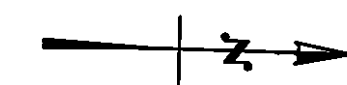
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LANDSCAPE PLAN

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BY: C. COLFIN **A03**
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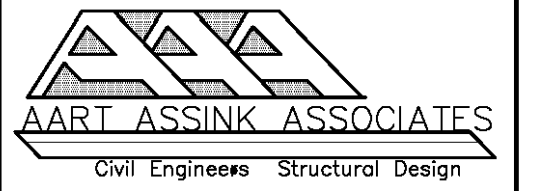


PROPOSED FIRST FLOOR PLANS



2708 Artesia Blvd. Suite D
Riverside Beach CA, 90280
Ph: (310)466-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
FLOOR PLANS

DATE: 3-28-21

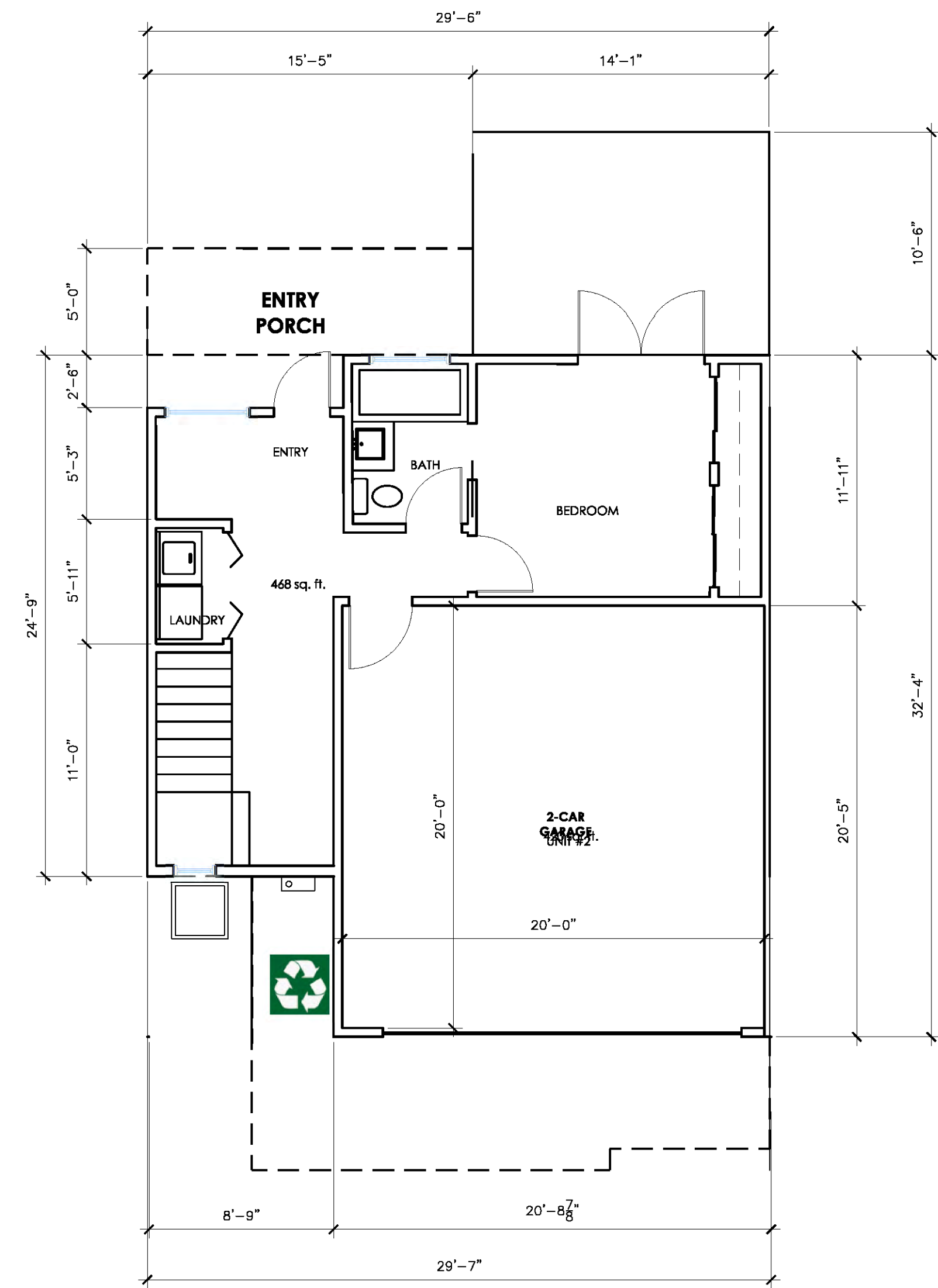
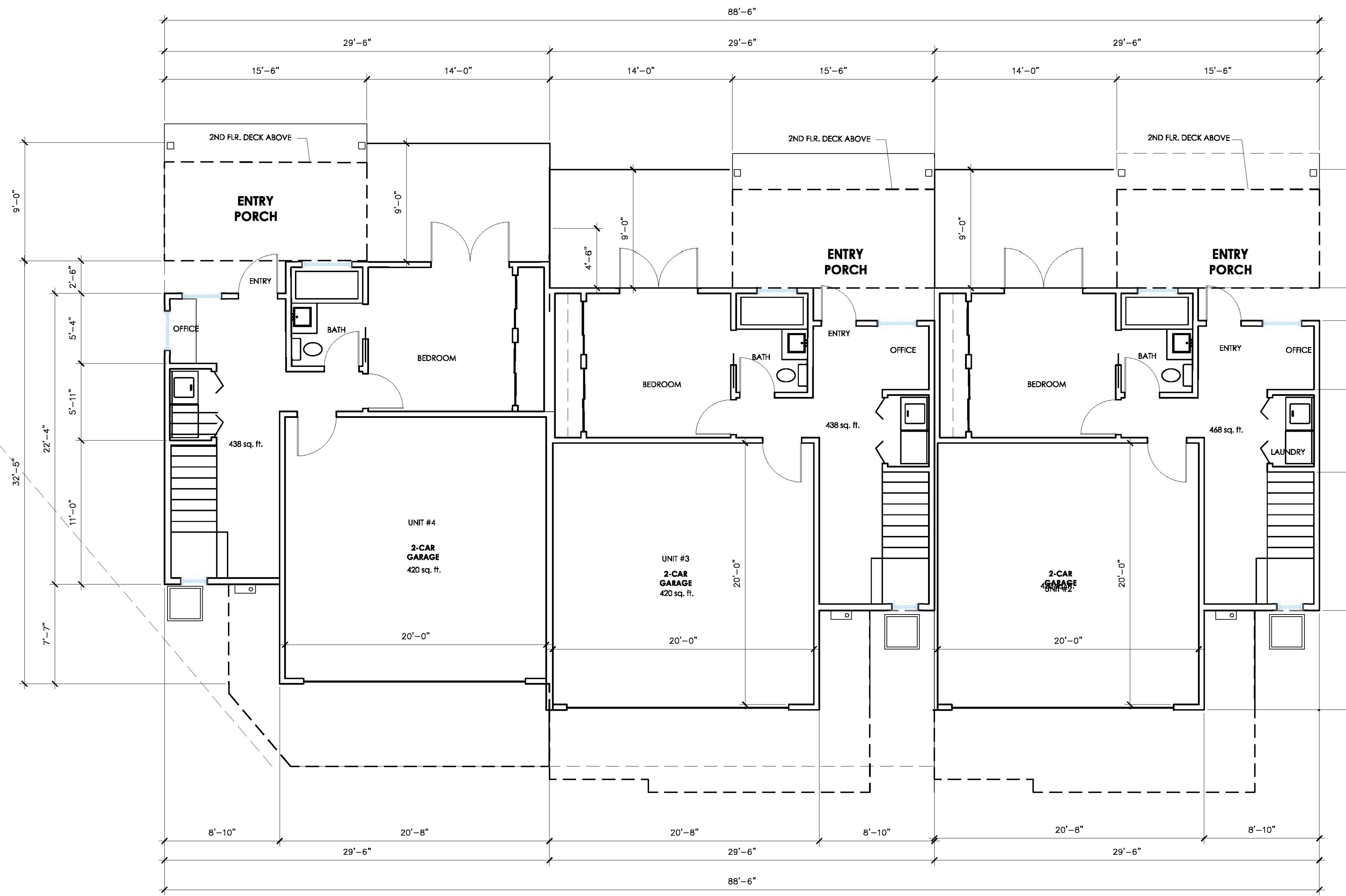
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BY: C.GOLFIN

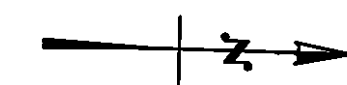
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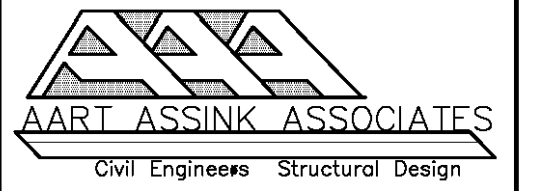


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2708 Artesia Blvd, Suite D
 Redondo Beach CA, 90280
 Ph: (310)466-6357
 CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
 FLOOR PLANS

DATE: 3-28-21

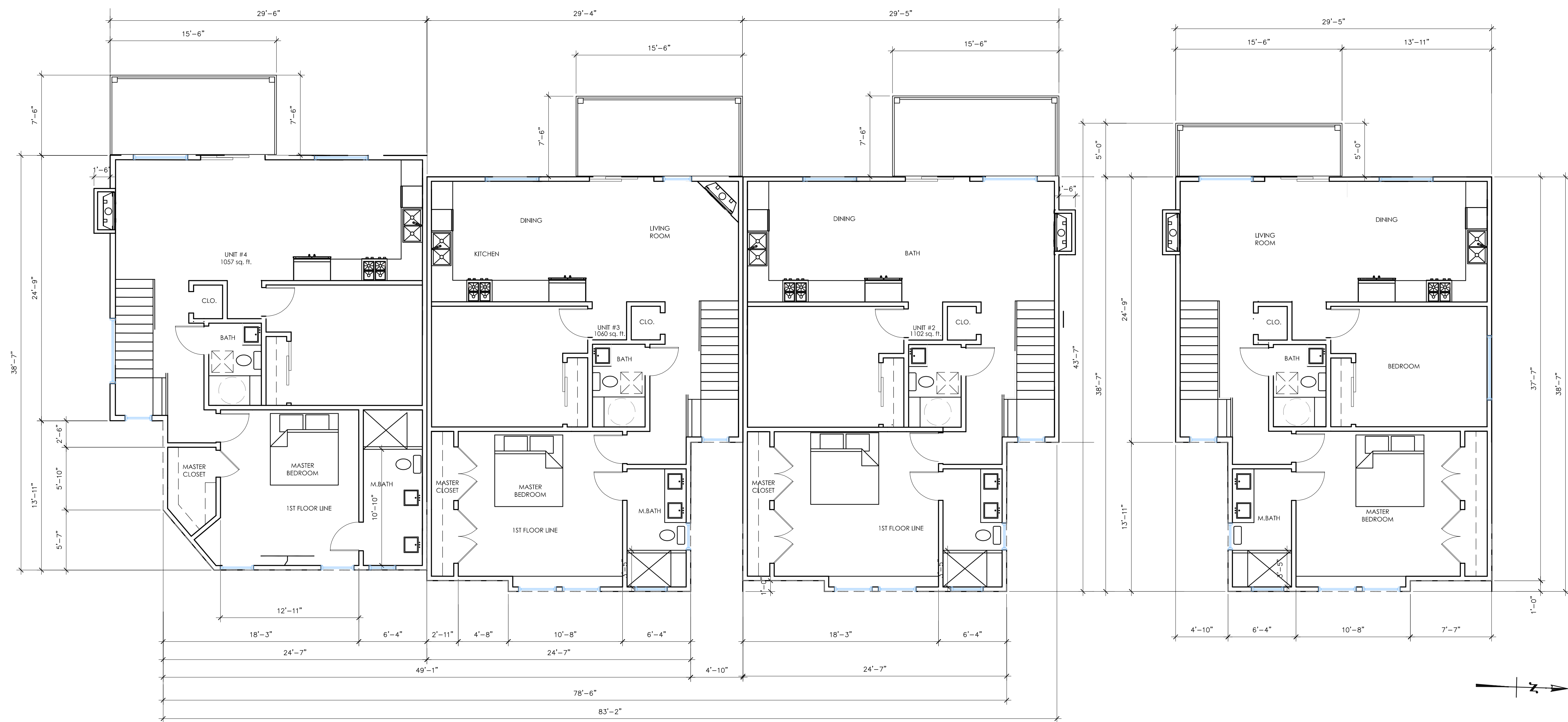
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BY: C.GOLFIN

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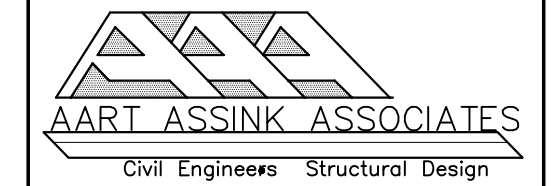
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PROPOSED SECOND FLOOR PLAN

2706 Artesia Blvd, Suite D
 Redondo Beach, CA, 90260
 Ph: (310)405-6557
 CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #1,2,3,4
 FLOOR PLANS

DATE: 3-28-21

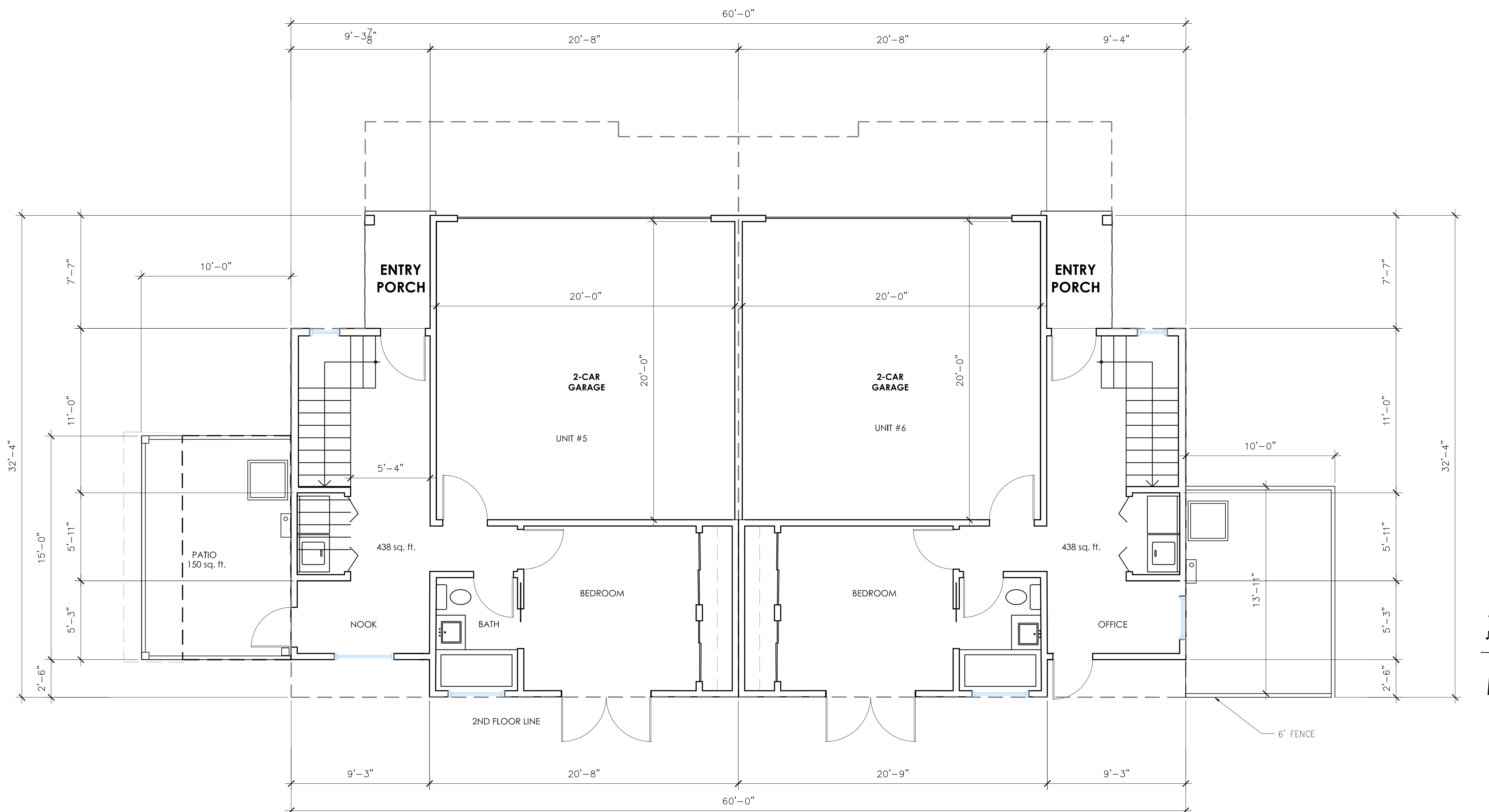
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PROJ. #:

SCALE: AS NOTED

SHEET NO.

A2



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Redondo Beach CA, 90260
Ph: (310)405-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6
FLOOR
PLANS

DATE: 3-28-21

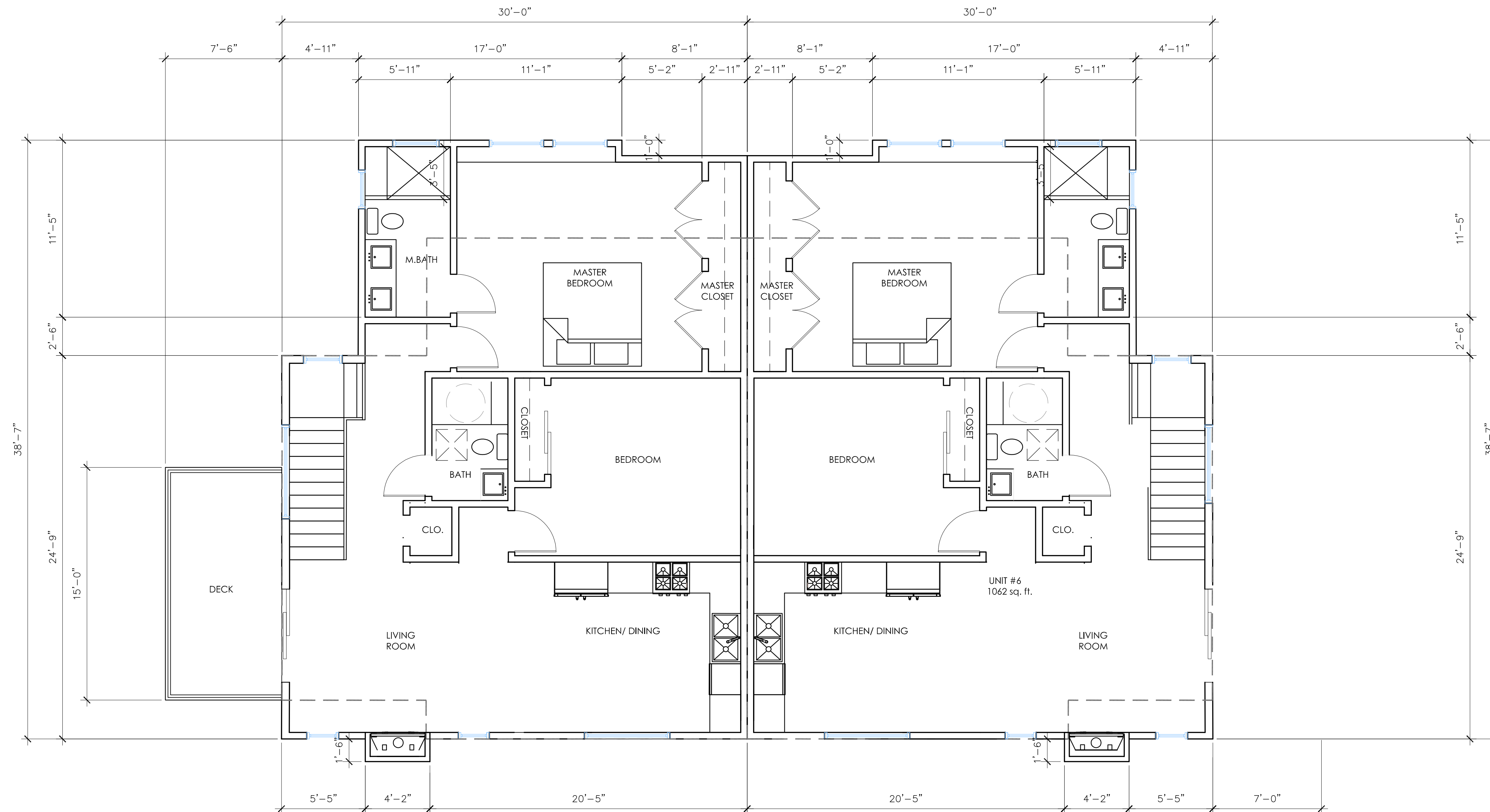
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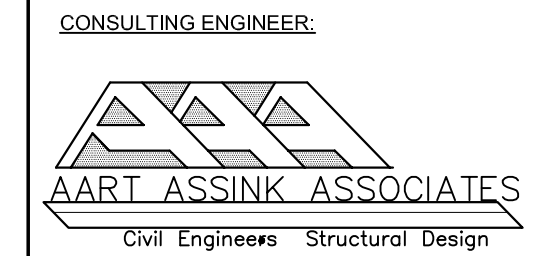
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PROPOSED SECOND FLOOR PLAN



2706 Artesia Blvd, Suite D
 Redondo Beach CA, 90260
 Ph: (310)405-6357
 CGBUILDINGDESIGN@GMAIL.COM



CLIENT NAME:
E&S PRIME BUILDERS

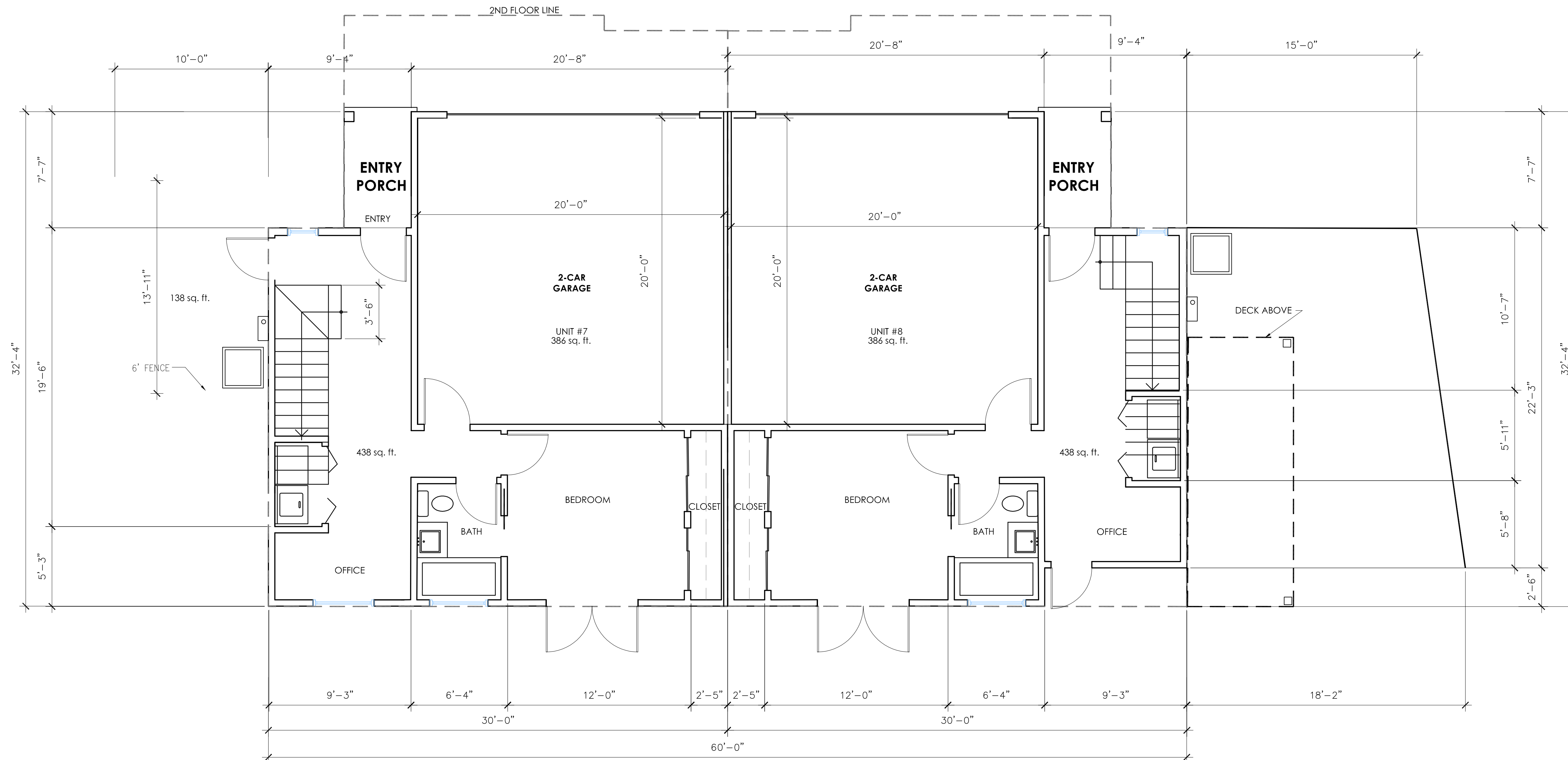
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 26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION
 LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:
**UNIT # 5,6
 FLOOR
 PLANS**

DATE: 3-28-21	SHEET NO.
BY: C.GOLFIN	A4
PROJ. #:	
SCALE: AS NOTED	



PROPOSED FIRST FLOOR PLAN

2706 Artesia Blvd, Suite D
Redondo Beach, CA, 90260
Ph: (310)405-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #7,8
FLOOR
PLANS

DATE: 3-28-21

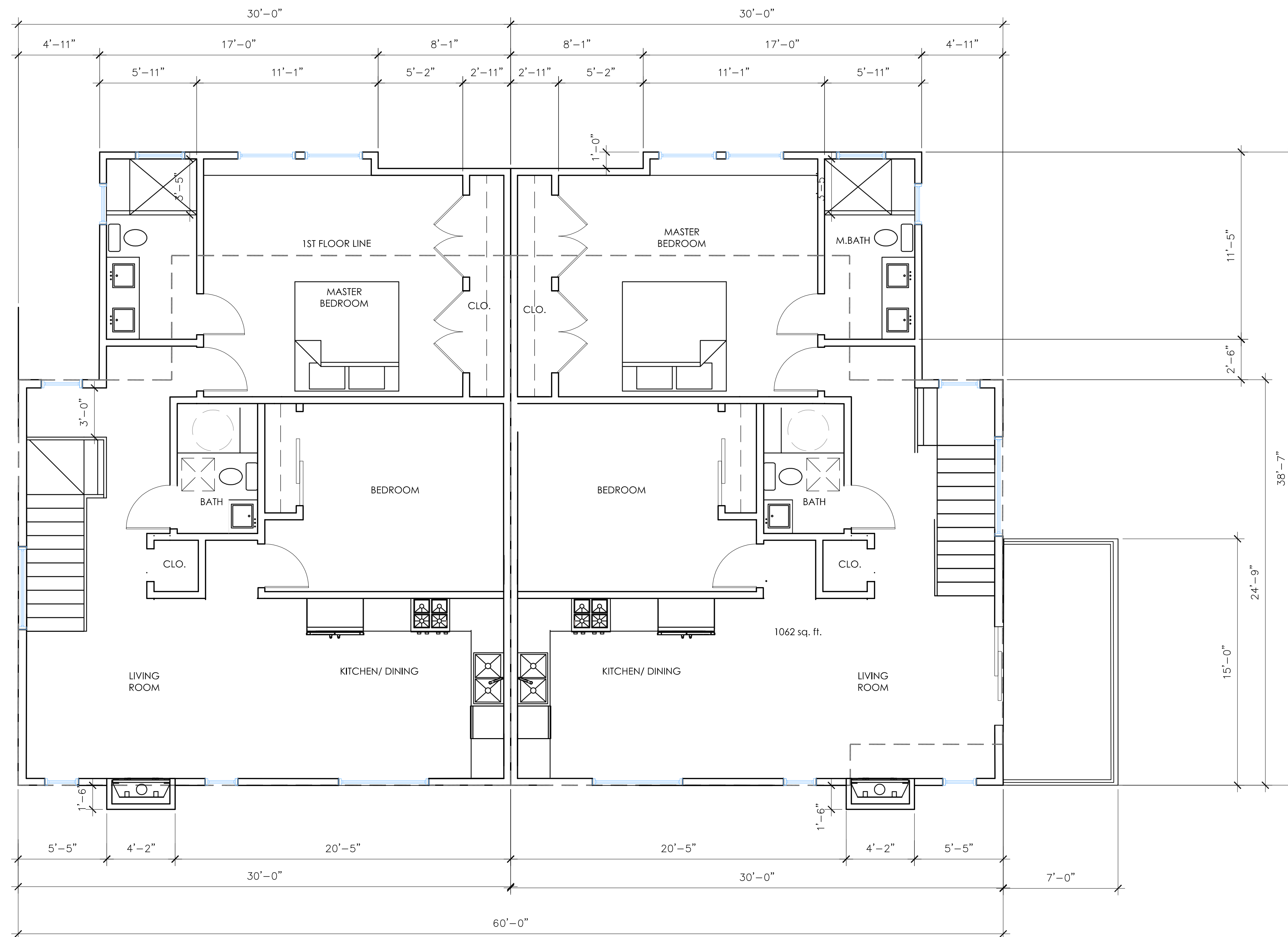
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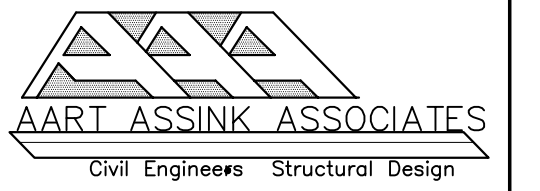
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PROPOSED SECOND FLOOR PLAN

2706 Artesia Blvd, Suite D
 Redondo Beach, CA, 90260
 Ph: (310)405-6557
 CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
 LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
 TRACT NO. 954
 M.B. 17-16
 APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #7,8
 FLOOR
 PLANS

DATE: 3-28-21

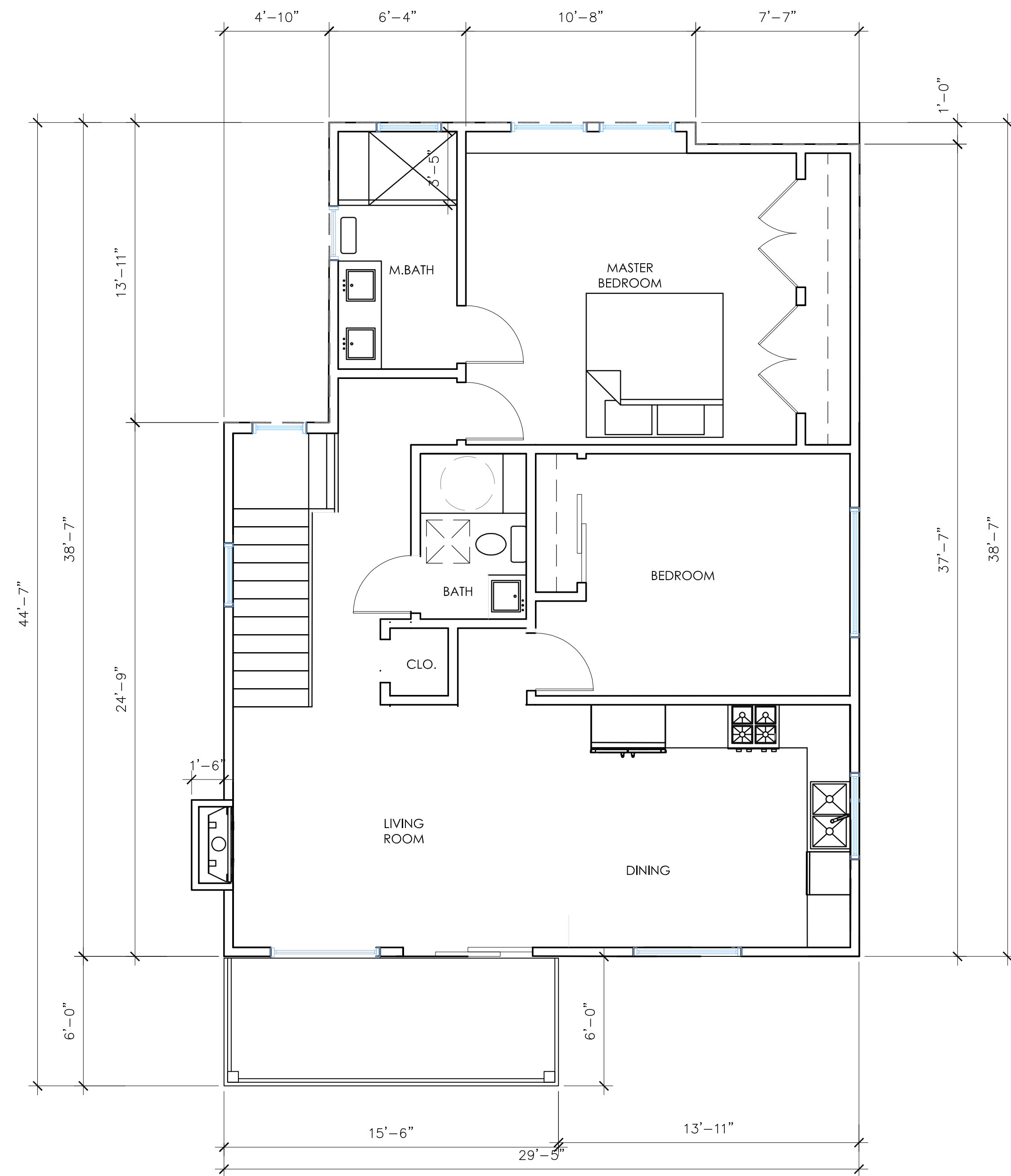
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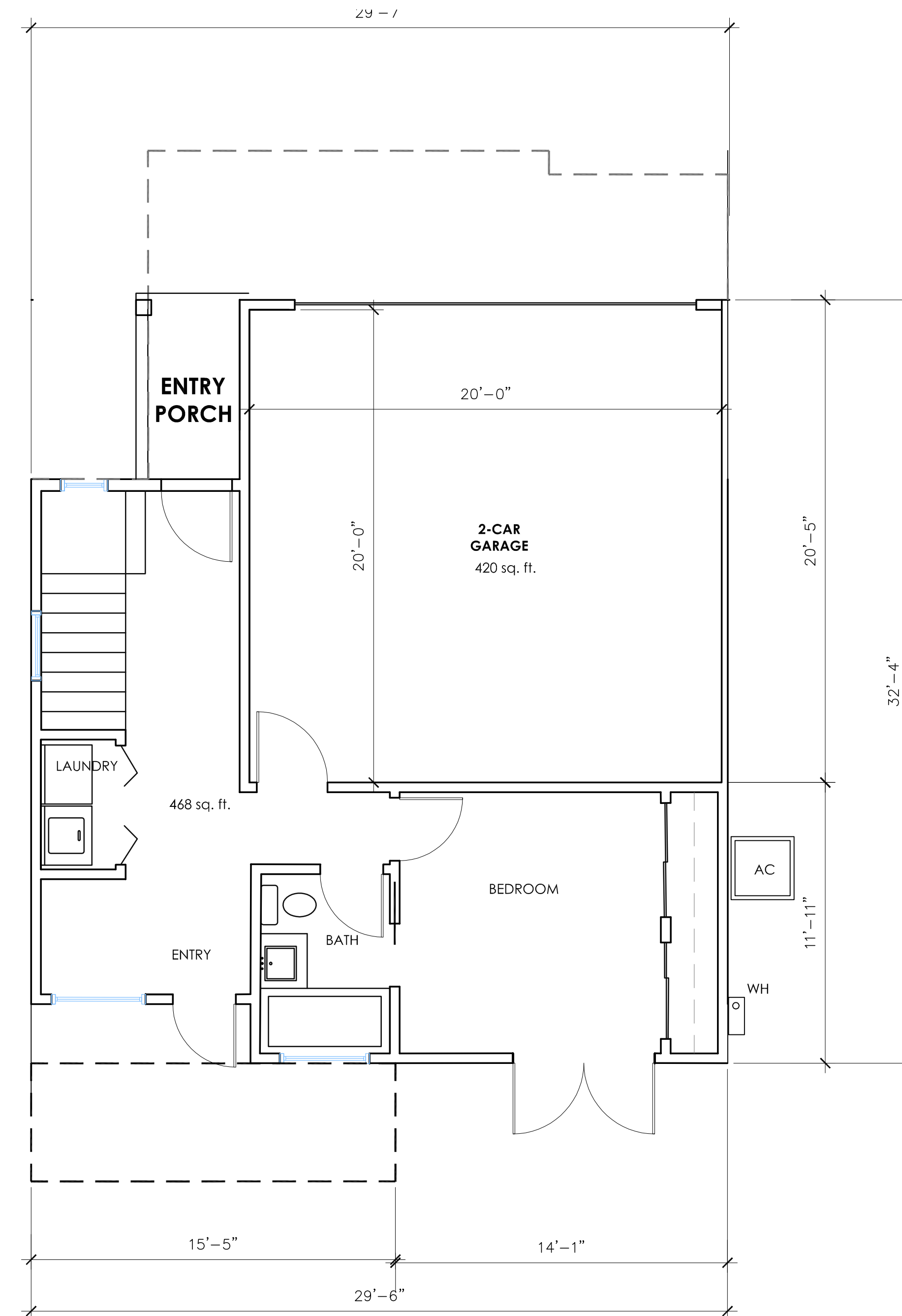
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PROPOSED SECOND FLOOR PLAN

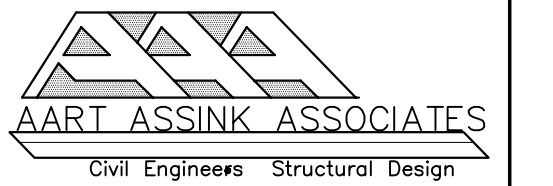


PROPOSED FIRST FLOOR PLAN



2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)405-6587
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #9
FLOOR
PLANS

DATE: 3-28-21

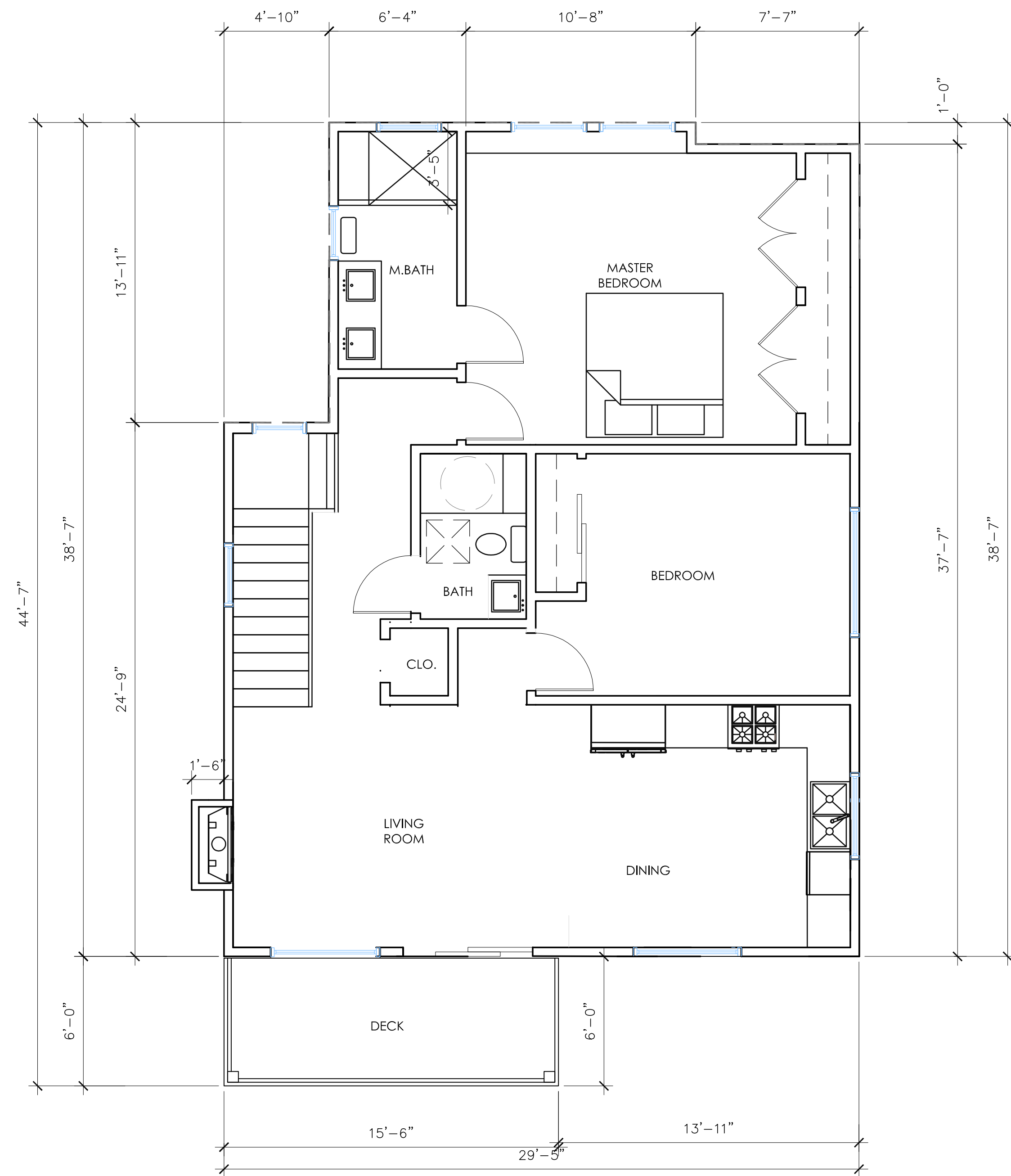
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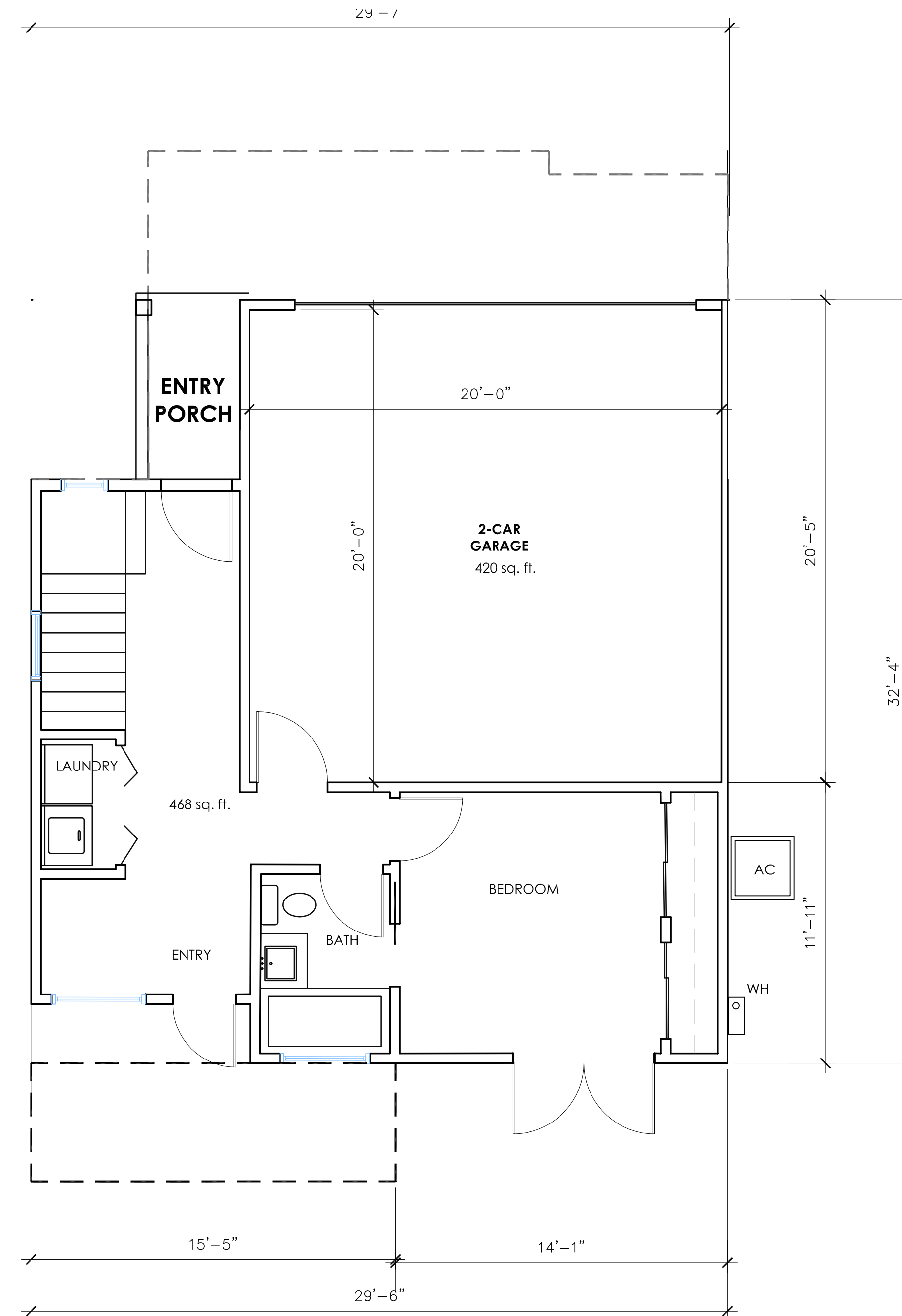
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PROPOSED SECOND FLOOR PLAN

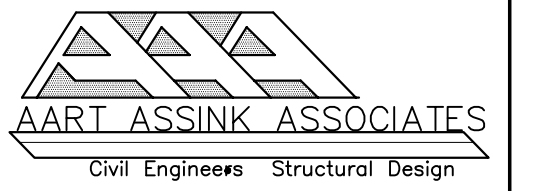


PROPOSED FIRST FLOOR PLAN



2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)405-6557
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT #9
FLOOR
PLANS

DATE: 3-28-21

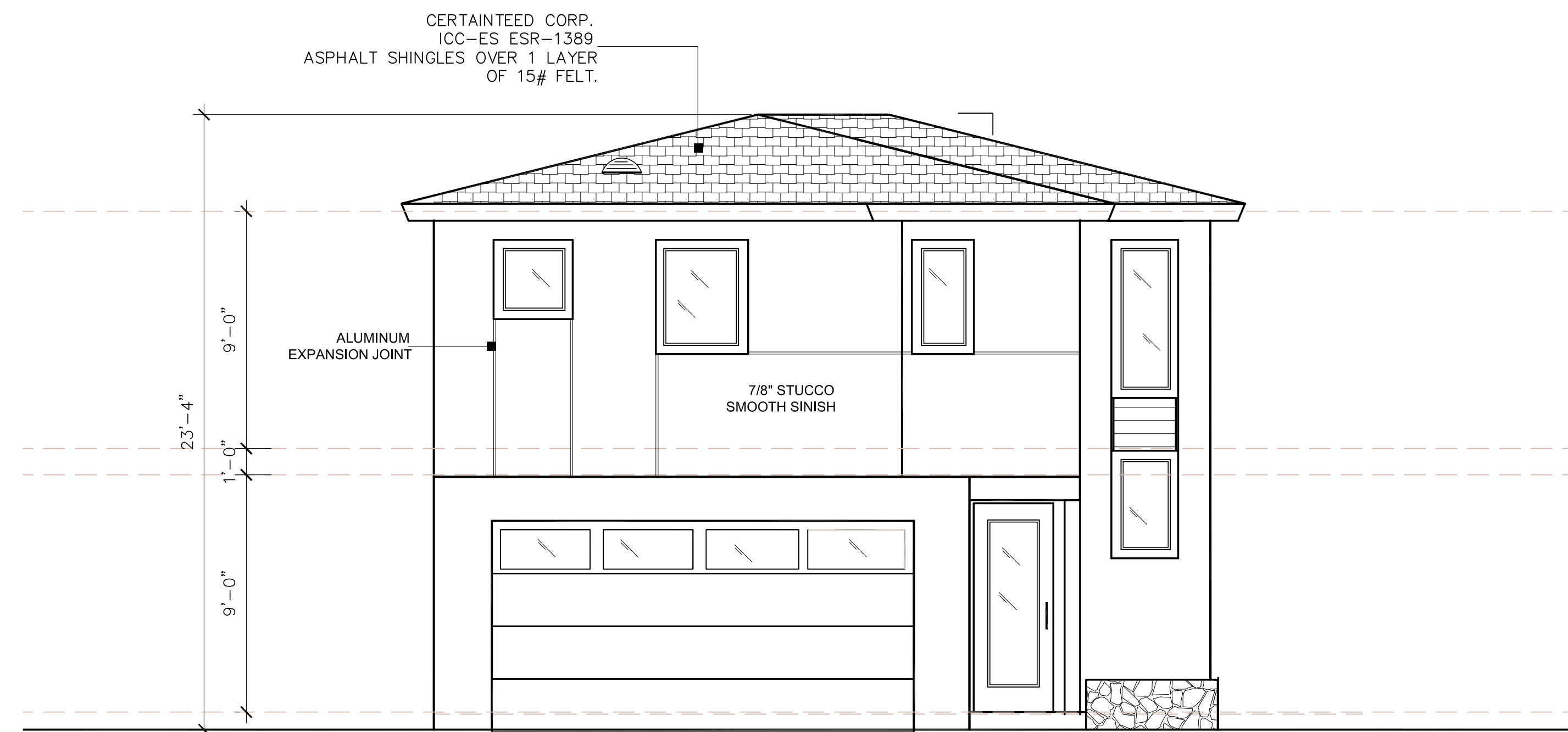
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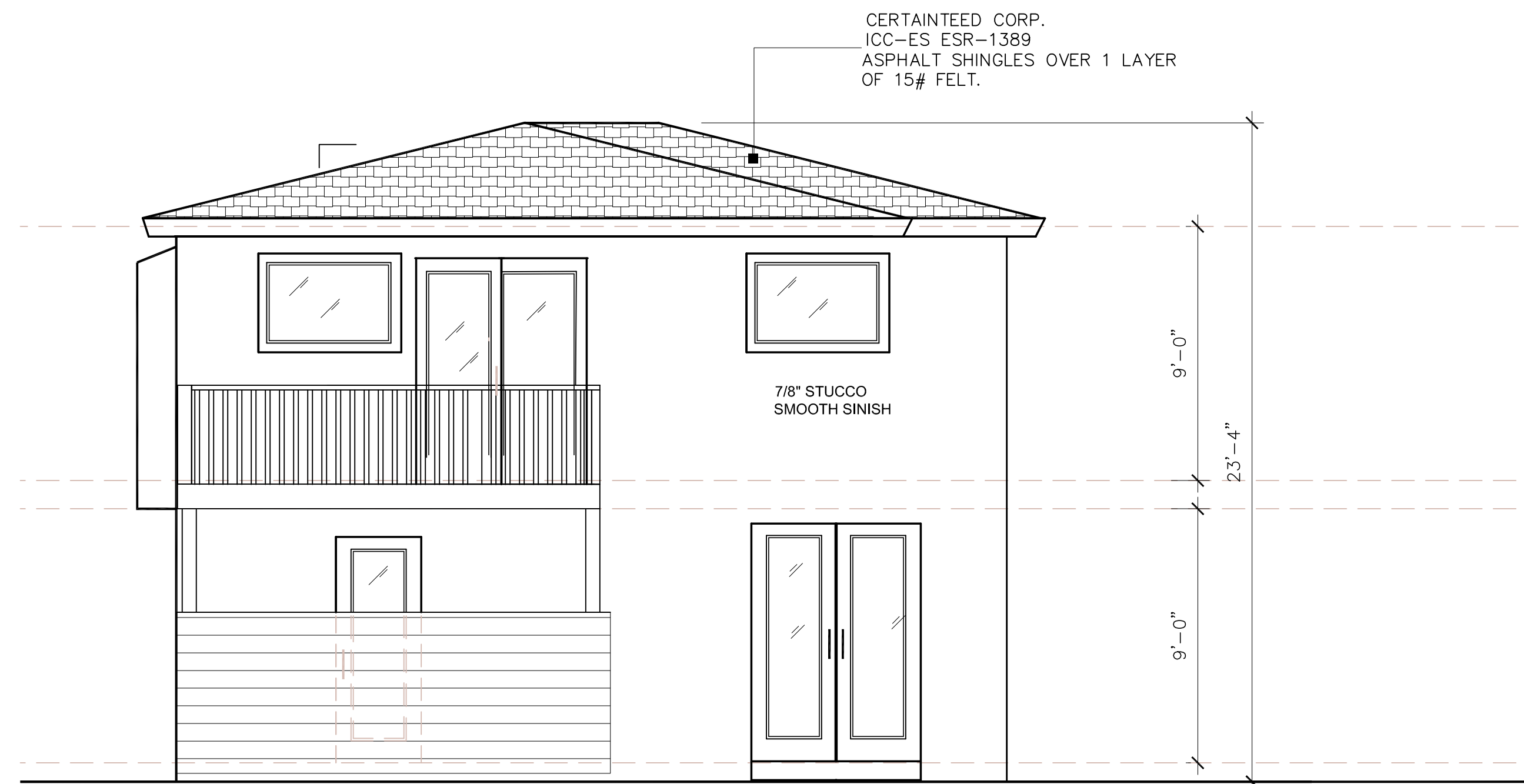
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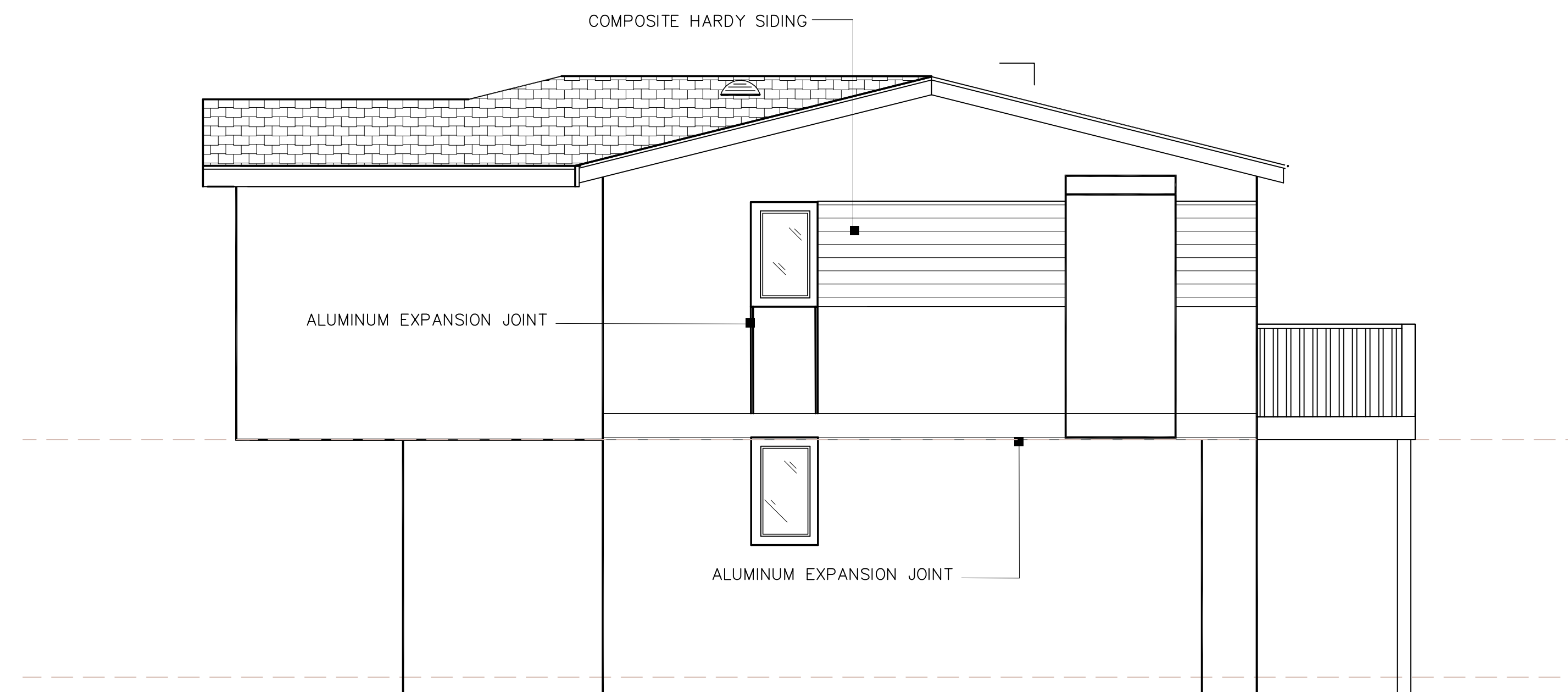
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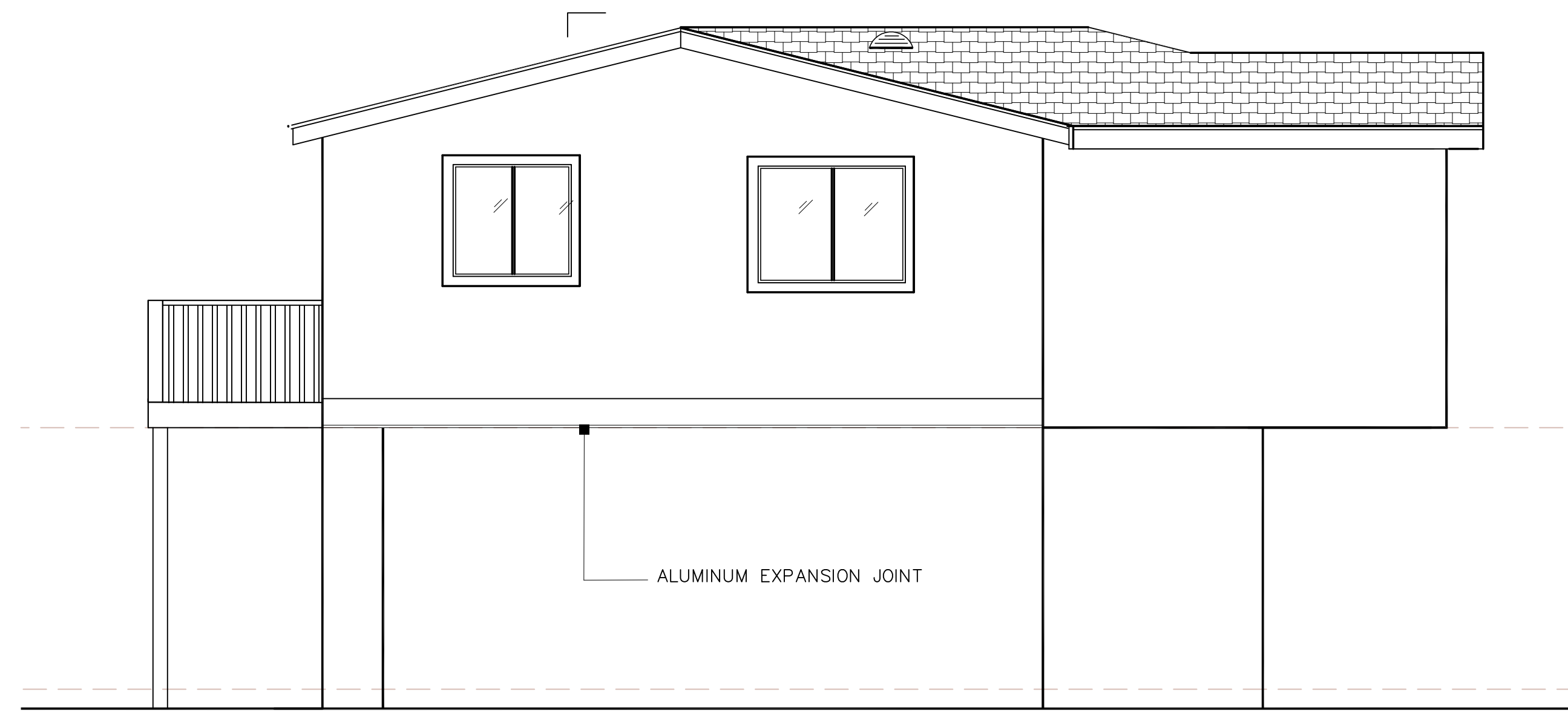
NORTH ELEVATION



SOUTH ELEVATION



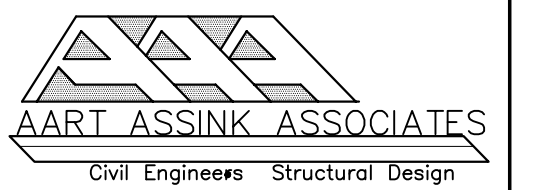
WEST ELEVATION



EAST ELEVATION

2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)405-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

EXTERIOR ELEVATIONS

DATE: 3-28-21

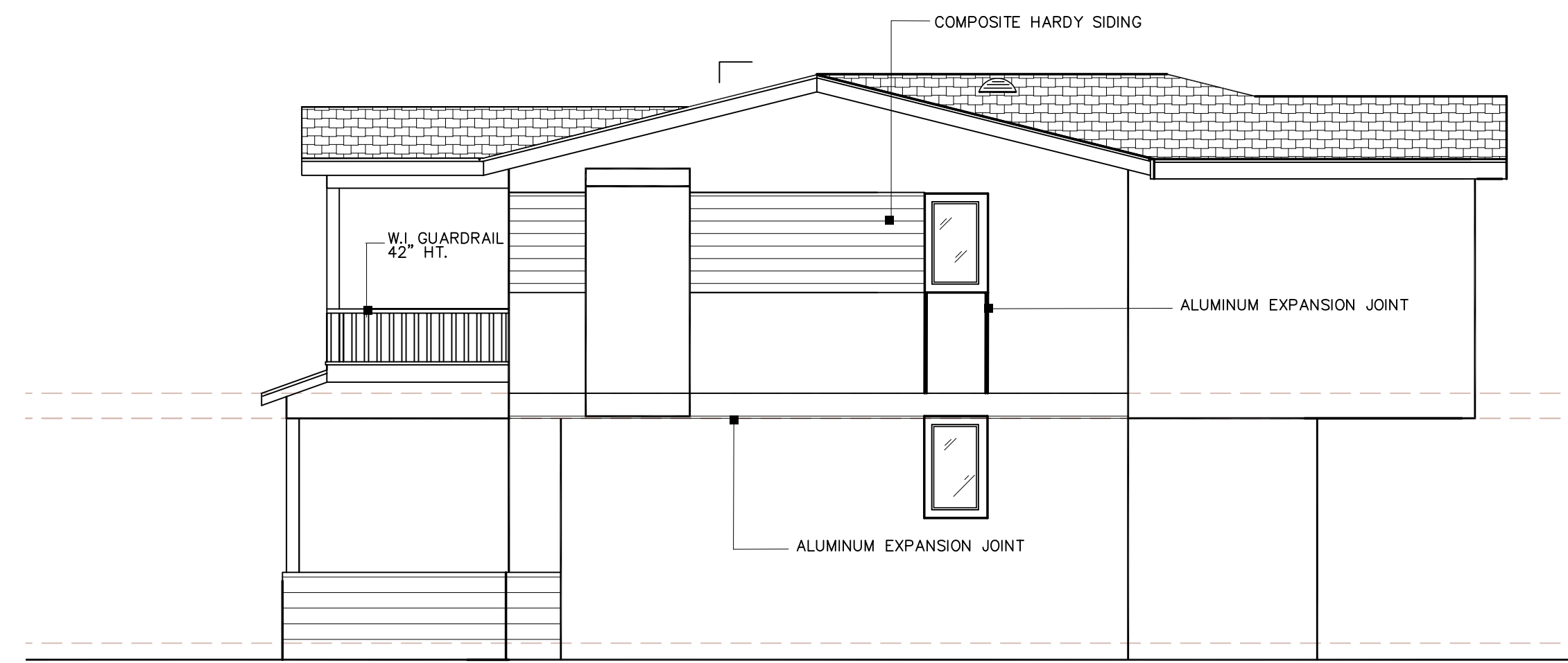
BY: C.GOLFIN

PROJ. #:

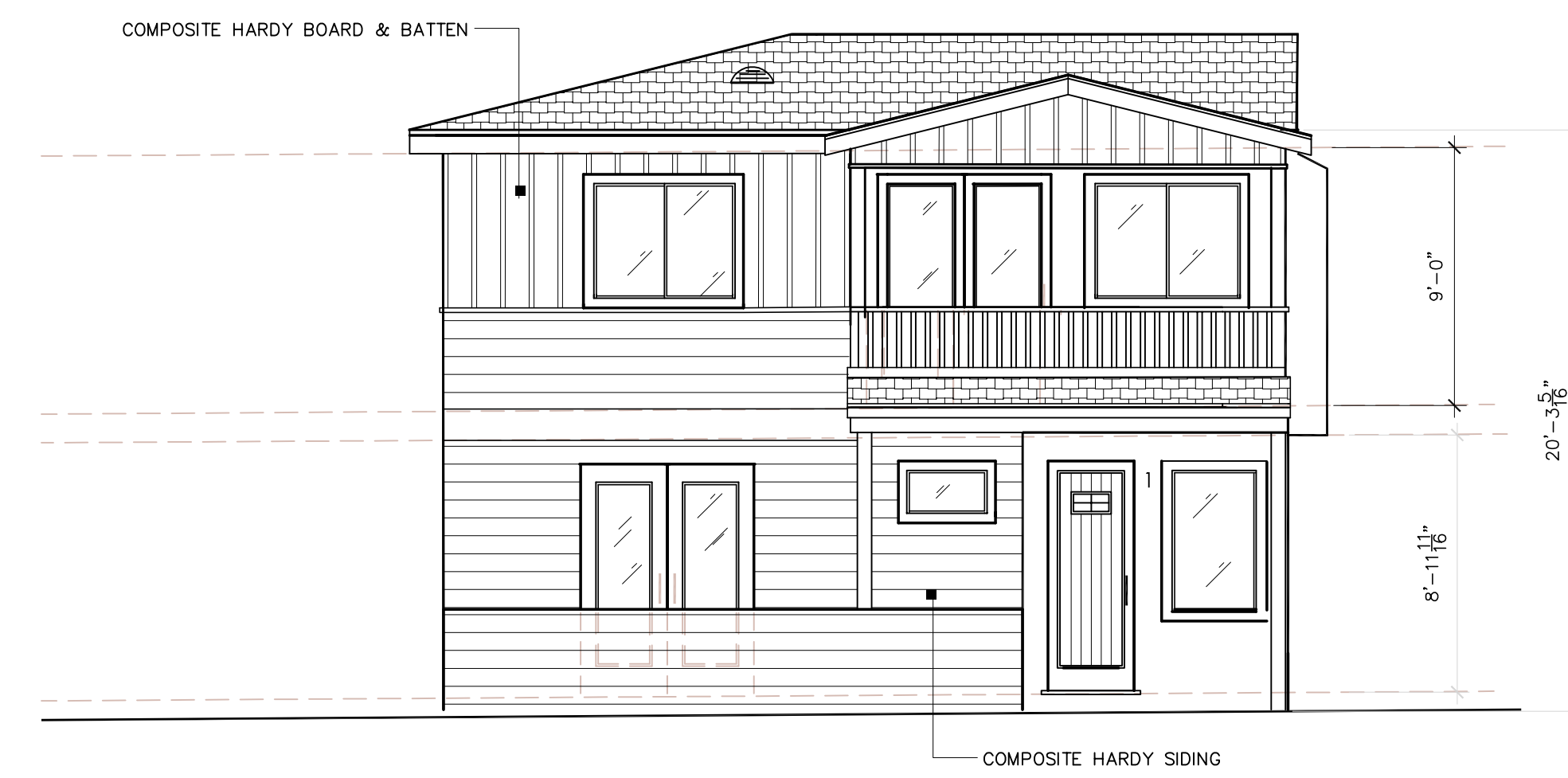
SCALE: AS NOTED

SHEET NO.

A8



WEST - UNIT 1



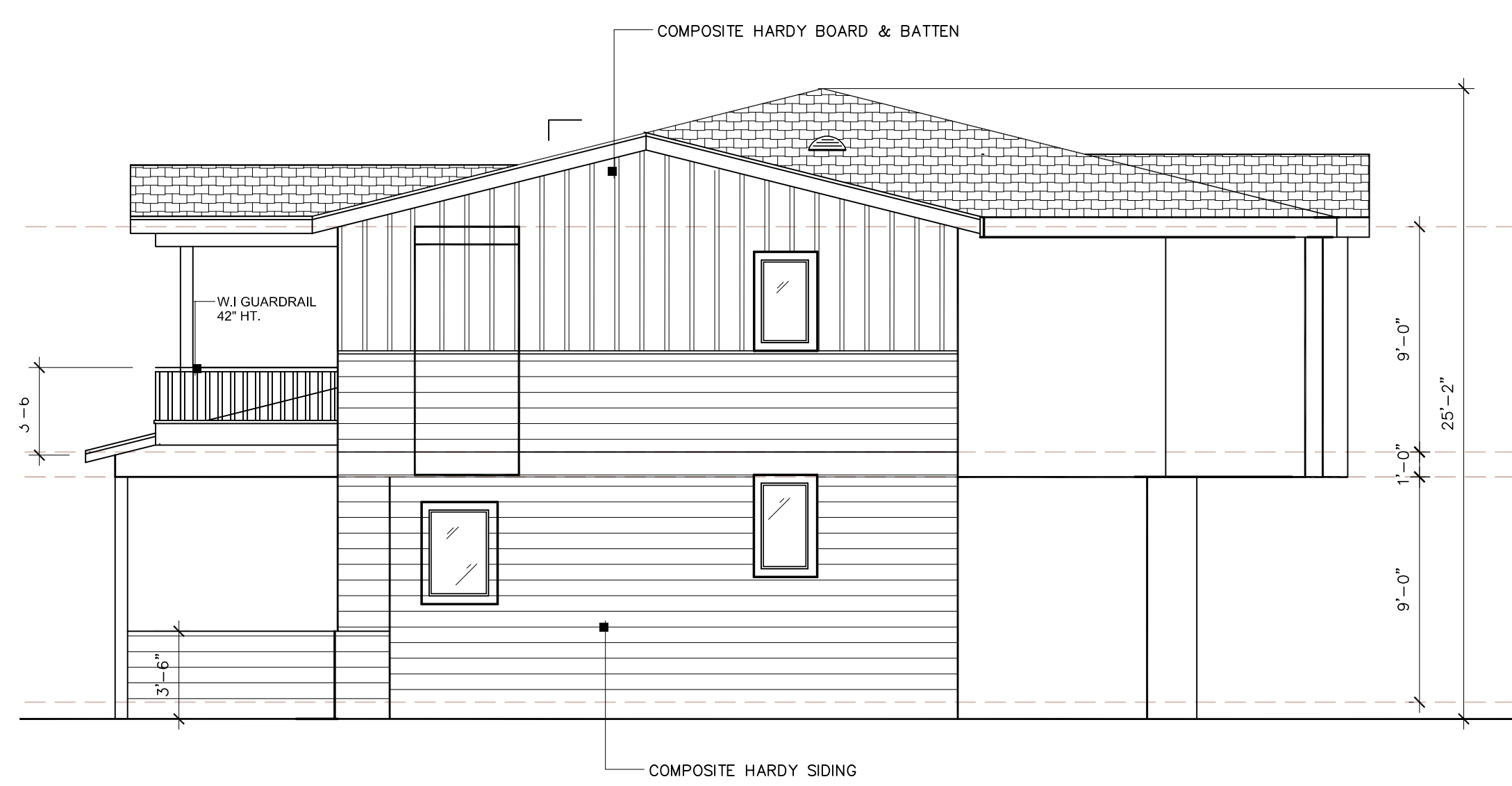
NORTH ELEVATION - UNIT 1



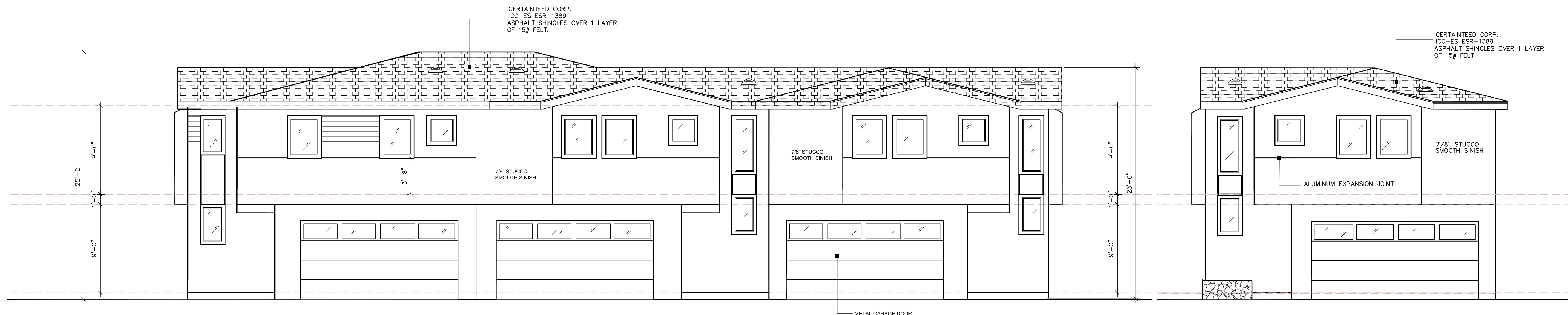
WEST - UNIT 2

WEST - UNIT 3

WEST - UNIT 4



SOUTH ELEVATION - UNIT 4



EAST - UNIT 4

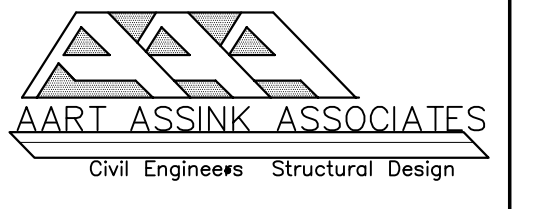
EAST - UNIT 3

EAST - UNIT 2

SOUTH - UNIT 1

2706 Artesia Blvd, Suite D
Redondo Beach CA, 90260
Ph: (310)406-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION
LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

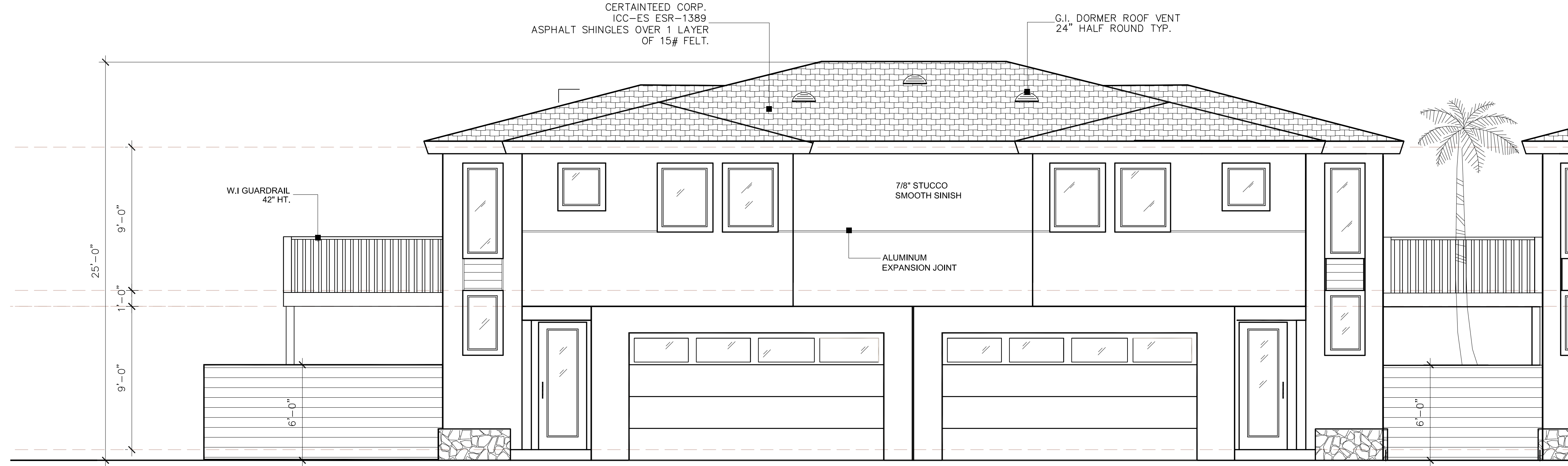
UNIT # 1,2,3,4
EXTERIOR
ELEVATIONS

DATE: 3-28-21

SHEET NO.

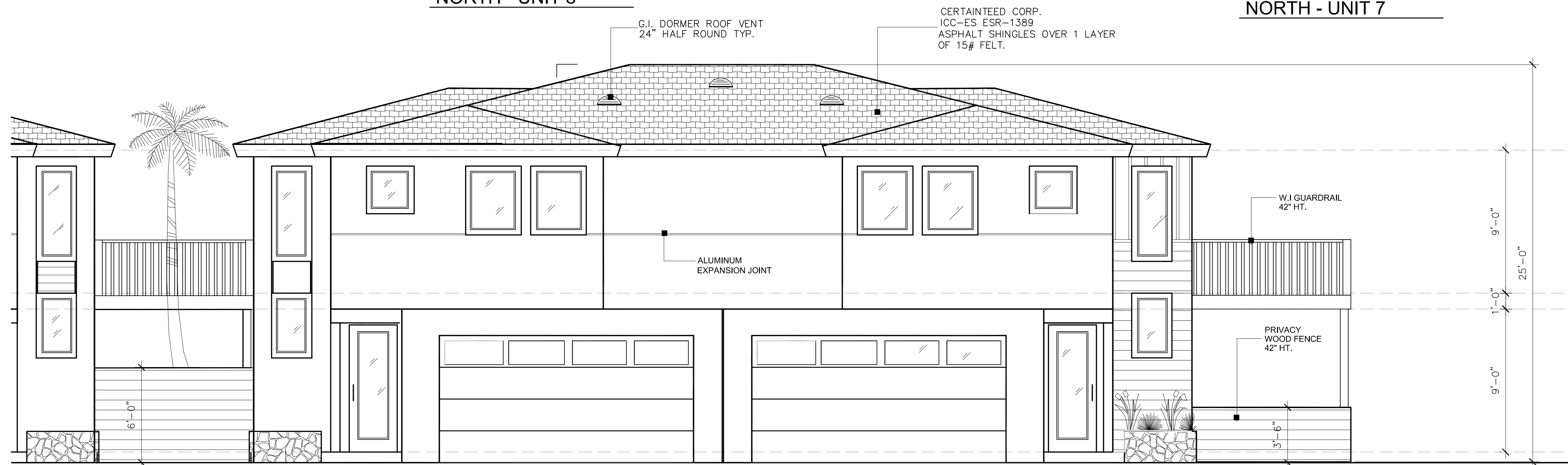
BY: C.GOLFIN
PROJ. #:
SCALE: AS NOTED

A9



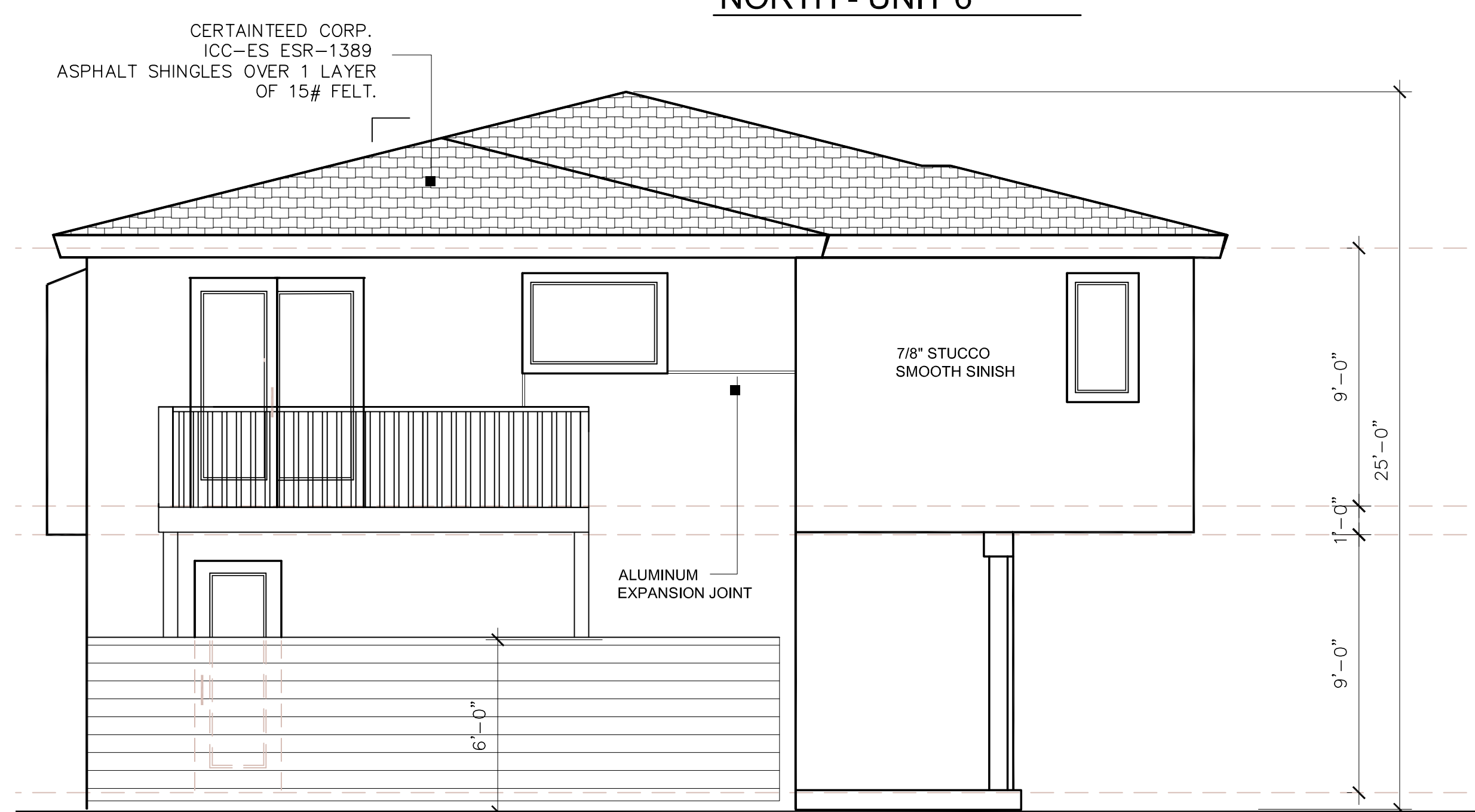
NORTH - UNIT 8

NORTH - UNIT 7

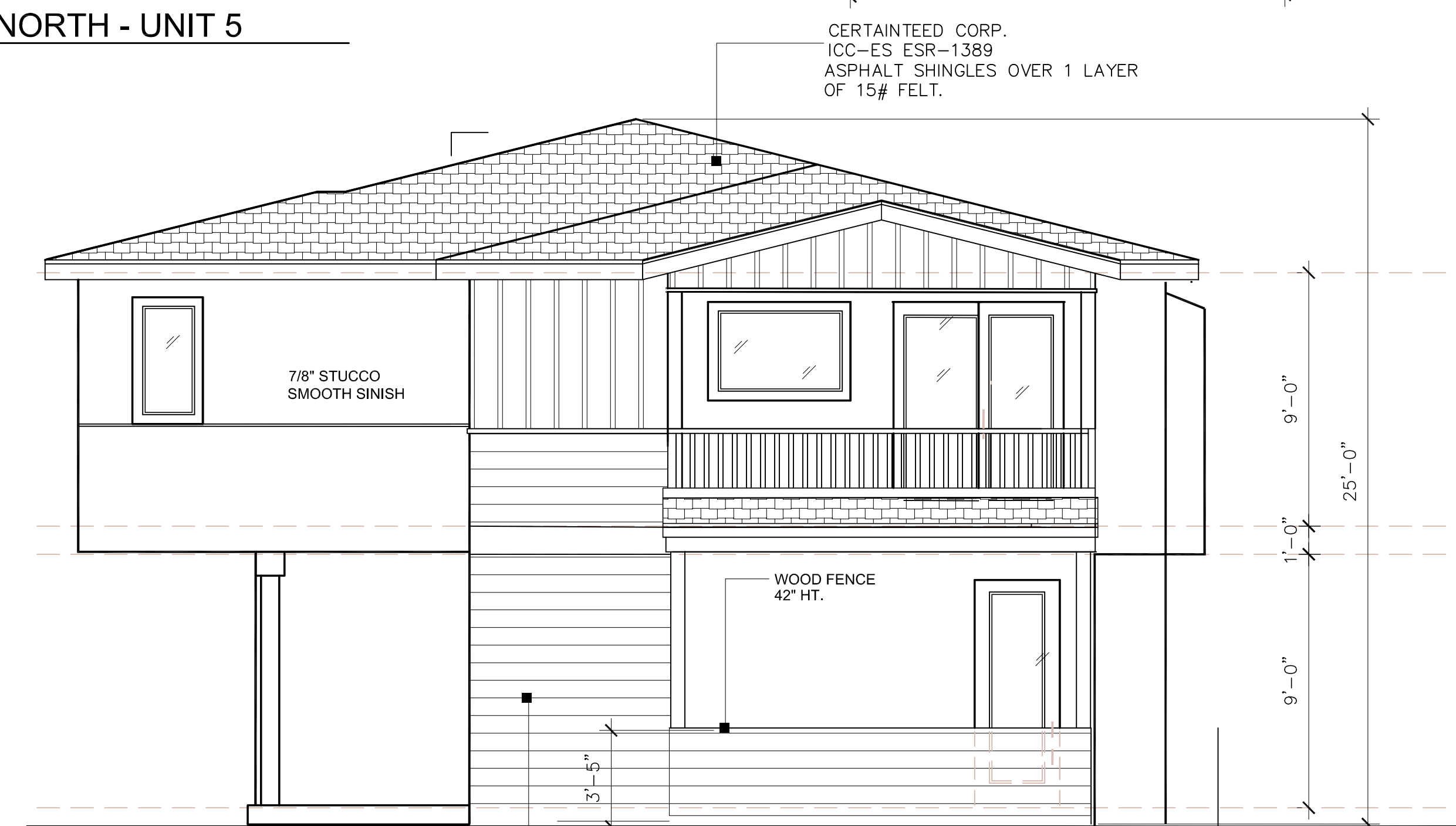


NORTH - UNIT 6

NORTH - UNIT 5



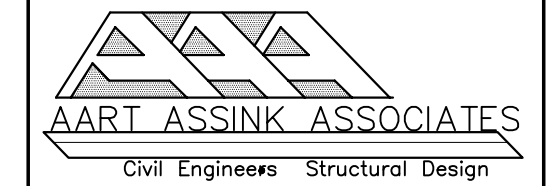
EAST - UNIT 8



WEST - UNIT 5

2706 Artesia Blvd, Suite D
Redondo Beach, CA, 90260
Ph: (310)406-6357
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:



CLIENT NAME:

E&S PRIME BUILDERS

SITE ADDRESS:

26016 OAK STREET
LOMITA, CA 90717

LEGAL DESCRIPTION

LOT 5 & A PORTION OF LOT 4
TRACT NO. 954
M.B. 17-16
APN 7553-009-039

REVISIONS

SHEET TITLE:

UNIT # 5,6,7,8
EXTERIOR
ELEVATIONS

DATE: 3-28-21

SHEET NO.

BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

A10

Linda Abbott

From: Paula <pamckendry@ca.rr.com>
Sent: Monday, May 10, 2021 11:12 AM
To: Linda Abbott
Subject: LETTER TO BE READ

To whom it may concern,

Regarding 26016 Oak Street:

First, I would like to protest the fact that this extremely important issue is being considered via ZOOM. It is very difficult to express and relate issues via ZOOM. I feel this meeting should be postponed until it can be held in person. If it can't be in City Hall chamber it should be held in the parking lot.

Second, I would like to protest that issues regarding the 26016 Oak Street property have been settled and variances have already been granted. We were told several times by City Hall and Planning Commission , before Covid, that we would be informed of any rulings, decisions and variance considerations before action was taken. But we were not. Decisions have been made. Variances have been granted. It is appalling to me that the city I have called home for more than 40 years is more concerned placating contractors and developers.

Third, I'm concerned about variances for NINE (9) units. I see NO logical reason for permitting any of the variances. They only help the builder not the residents on Oak Street or 261 st Street.

- 1. Variance to reduce distance between buildings.**
- 2. Variance for modification of front yard and backyard setback.**
- 3. Variance for height. From 16 feet to 25 feet 2 inches.**

Common sense tells you that it is unrealistic to put NINE (9) units on this lot because in order to do so you need all these variances.

Four, parking. There is NO PARKING, ZERO PARKING on Oak Street. To build NINE(9) units with ONE parking spot per unit. Statistics show each household in California owns TWO (2) cars. Where are the extra NINE(9) cars going to park? On 261 st Street???

261st Street is a private street and we receive no services from the City of Lomita except the LA County Sheriff and LA County Fire Departments. It is impossible to get the City of Lomita Sheriffs and Parking Enforcement to give citations to illegally parked vehicles parked in a designated Fire Zone. A Fire Zone the City and Fire Department demanded we create and pay Believe me I'm under no illusion that the City of Lomita Parking Enforcement or the Sheriff Department would ticket, tow or enforce any parking regulation on 261st Street because it's a private street.

Five, traffic is huge problem on Oak Street. Some days cars are backed all the way up Oak and it takes TWO(2) or THREE(3) lights to access PCH. Then we need to consider the cut through traffic from PCH through Jays Doughnuts to Oak. Some even cut through to go to the Pan, prohibiting north and south traffic on Oak completely.

Has the City done a traffic/ parking assessment?

Six, the drug problem on Oak Street. Oak Street is the local drug dispensary. Everyday, every single day, in broad daylight or under the cover of darkness there drug deals going down. People double park and

the dealer runs out of apartment or condo units Other times the “ buyer” drives up and down Oak until the dealer appears. This isn’t a once in a while occurrence it goes on everyday. Sheriff Deputies are no where to be seen.

Seven, the mattress problem. Almost every week there are mattresses and other discarded furniture dumped on the curb and sidewalk on Oak Street. It sits there for days and days and days on end. Last month a pile of discarded mattresses sat on Oak Street for over TWO(2) weeks. Last week a couple of discarded mattresses sat only a few days.

Oak Street is a highly densely populated street. There are more people living on Oak Street than any other single block in Lomita. The City of Lomita and the Planning Commission need to reconsider the number of units. NINE(9) units on that lot is unrealistic. If NINE(9) units are allowed to be built on that lot then NO VARIANCES should be permitted. The City needs to reevaluate and allow for a public forum where those most impacted can have a voice.

Today its been brought to my attention that the City of Lomita and the Planning Commission were negligent by not publicly posting todays hearing on the property. If that be the case I demand that today’s hearing be canceled and rescheduled until a future date.

Sincerely
Richard and Paula A McKendry
2058 261st Street
Lomita, CA 90717
(310) 283-3218

Sent from my iPad

June 1st 2021

From: Huguetta "Francine" Braun and Helmut Braun
237 Via Pasqual
Redondo Beach CA. 90277
Cell 310. 404. 9209

To: Community Development Planning Division
24300 Narbonne Avenue
Lomita CA 90717
Alicia Velasco or person in charge 310-325.7110 Ext: 122

Homeowner at 2081 W. 261st Lomita CA 90717

See letter mailed May 20 2019 attached

In addition to my letter of May 20 2019, I would like to say this:

Would you like or anyone else including the developers want the house next door be replaced with 9 (nine) townhomes in a residential area already super congested to the maximum with apartments that already create traffic jam, not enough parking. No play area for children except the street where they should not be to avoid accident. No place for teens except again the street or

Sidewalk? The answer is: NO. So don't do
To others what you would don't want others
do to you!

Those units including the occupants of those
units will all suffer with the deterioration
of the quality, safety and value of our property
and most of it the SECURITY.

A residential for more than one unit must
include:

1. Parking for Tenants and all of their visitors.
2. A play ground for childrens.
3. no business from any townhomes that
increase traffic or noise.
4. Parties limited to 8 invitees.
5. Maintain trees and Landscapes already there
The big trees are historical and must be
maintain.
6. When the fence between the property was replaced
the workers found a tunnel under that property. that
should be investigated.
7. Any dammages caused due to the constructors
of the townhomes to Rustic Lane including

our vegetation, street, fence and homes must
be addressed.

wall

Sincerely,

Huguette 'Francine' Braun

Helmut Braun

LOMITA

Homeowner: 2081 261st St. Lomita 90717

From: Huguelle "Francine" Braun

May 20, 2019

237 Via Pasqual

Redondo Beach CA 90277

310-375-5894 or 310-404-9209

To: Community Development Planning Division

24300 N. Carbone Avenue


Lomita, CA 90717

Alia Velasco 310 325-7110 ext: 122

In response to your letter received May 18, see included. To replace a one story house surrounded by luxurious trees and other landscapes by nine two stories bldg and one guest parking is a disaster that would bring great damage and loss to rustic lane community. Lost of view, sunshine, air quality. More parking problems. W 261st is a private road that provide parking for rustic lane residents. Where all the visitors of those nine units will park? Do you really want to turn this area into a battle zone? Increase noise and other issues like lost of property value ect. Parking is already a major issue on Oak street.

I know developer and others are in for the money but would they do it if their house what next door.

14 days is not enough for rustic lane residents to meet and respond, so I am requesting more time for rustic lane resident to respond. Please let me know.


Huguelle Francine Braun

Former Vice President

P.S. Do the developer know that there is tunnels under the proper

Questions about the Oak Street development from Chrissy Cassidy

I understand the need for more housing in California and the new state mandate for more as well. It is not my intent to stop this construction but to ask that you consider the number of units being crammed into this 23,418 square-foot lot located at 26016 Oak Street. Anything over 4 units will have a drastically negative impact to our neighborhood and be considered a big F-U to all the current Lomita residence on Oak St.

My Safety Concerns:

- Evacuation – we live on a dead end street if we had to evacuate there will be a huge bottle neck at the bottom Oak.
- Deliveries – with no street parking available all delivery drivers in cars, vans and trucks for the USPS, FedEx, UPS, Door Dash, Grub Hub, and others they must double park while they run to deliver their items. There are 2 curves on Oak that you can't see around while cars are double parked. I am already afraid someone will get hit.
- Cut thru traffic – there is one lane to exit Oak onto PCH. The light can get backed up so to avoid waiting many people are cutting thru parking lots.

Questions:

- To make 9 units fit within this lot the Investing Company (not a home they will live in) is asking for multiple variances for the back, the front, the right, the left and the top. Do you think too many units are trying to be built in this size lot?
- During this same hearing there is a review for another lot on Appian Way that is 23,200 square feet. That is a difference of 214 square-feet. Why is this lot being split into 3 single family residence instead of 9 townhomes when the difference in square footage is so minimal?
- There is absolutely no street parking available on this street for more cars. I understand there will be parking inside the lot but it's for one car. Does the city consider that there will statistically be at least 2 cars per unit and possibly 3, as they are 2-bedroom units?

Attached is a screen shot with lines around each lot and how many units are within them. These are approximate numbers and types. There are now fewer single-family homes an multi-plex buildings. Oak is a dead-end street, so ALL of these people are headed the same way.

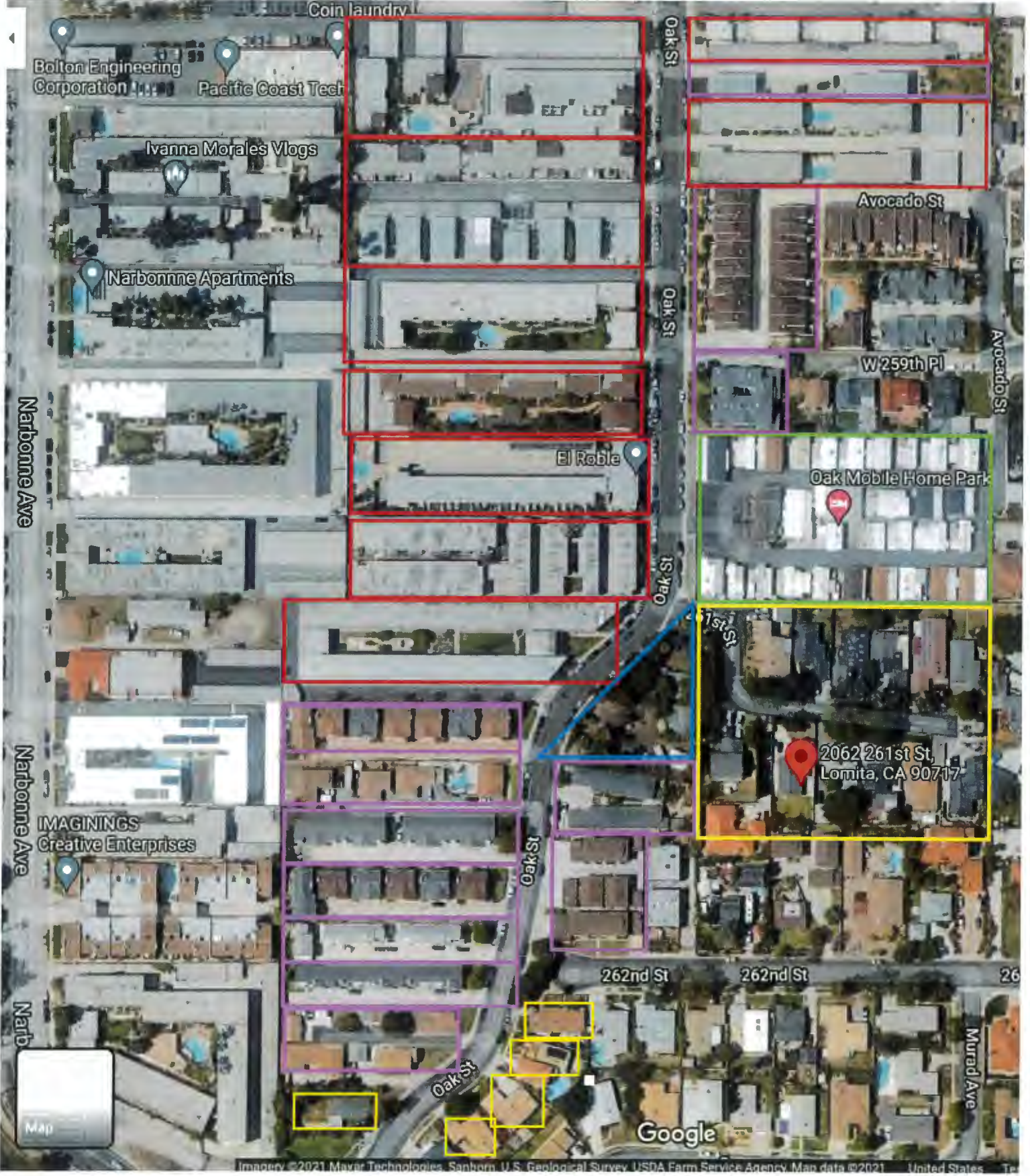
Red – 25 - 30 units

Pink – 10 - 15 units

Blue – lot for development

Yellow – 19 single family homes

Green – Mobil Park home Approx 33 units



Bolton Engineering Corporation
Pacific Coast Tech

Ivanna Morales Vlogs

Narbonne Apartments

El Roble

IMAGININGS Creative Enterprises

2062 261st St,
Lomita, CA 90717

Oak Mobile Home Park

Jenny and Roger Rooney
2057 261st Street
Lomita, CA 90717
Ssrrooney@aol.com

May 19, 2019

Community Development Department
Planning Division
24300 Narbonne Avenue
Lomita, CA 90717

Received
MAY 24 2019
Lomita
City Clerk's Office

Dear Members of the Planning Division of Lomita,

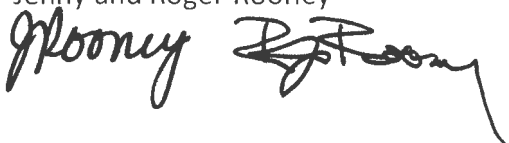
We are writing to you in regards to the proposed building at 26016 Oak Street. While the height variance may not impact us too much, certainly nine multi- family dwellings will. The increased number of families, their visitors, and the vehicles used by both will negatively affect us. Available parking on Oak Street is limited; the street is always lined on both sides with cars. Often people decide to park on our street, 261st, to visit residences on Oak. This overflow parking severely impacts us; twice emergency vehicles had trouble getting to our residents because of the cars parked on our street. It actually is quite dangerous! In addition, because our street is private, we are responsible for its maintenance. With added cars and traffic, we will have to repair and maintain more often; the cost to do so is already quite high. We highly suggest that the builders of these new units make adjustments adding a significantly greater number of guest parking spots on the property itself so that occupants and/or their visitors have no need for parking on either Oak or 261st.

The increase of residences on just one lot will also change the feeling on our street. Right now, the property at 26016 Oak Street is a single residence surrounded by trees and foliage. We see only a fence and landscaping. We hear birds in the trees from that yard. Exchanging this quiet, single residence with 9 residences full of people surrounded by buildings and cement, will certainly change our lifestyle and negatively impact our property values. We suggest a reduced number of new residences.

We have lived in our home for nearly thirty years, raised our three children to adulthood in our home. We do not want to be forced to move because we can no longer enjoy the peace and beauty of our street. Please be considerate of the concerns of your long- time residents on 261st Street.

Thank you,

Jenny and Roger Rooney

Handwritten signatures of Jenny and Roger Rooney in black ink.

Dear Alicia Velasco,
Director of Community and Economic
Development

My wife and I are opposed to
further construction at 26016 Oak St.
A height of 25'2" is too high
and would block our view. Also,
Oak St. south of Pacific Coast Hwy
is overcrowded with apartment buildings
and a trailer park, making parking
on Oak very difficult. Adding
another 9 single family dwellings
will make a bad situation worse.
This would create over-crowding.

Sincerely,
Tom Alford
Tom Alford

Certify: 7018 1877 001 5016 7156

5

RECEIVED
CITY OF LOMITA

May 23, 2019

From: Huguette ^{2019 MAY 28 PM 12:23} Francine Braun
237 Via Pasqual Redondo Beach CA 90277

To: C.G.A. 2706 Artesia Blvd Suite D or their representative
Redondo Beach CA. 90278 and Alicia Velasco c.s. Planning
division 24300 Narbonne Ave. Lomita CA. 90717

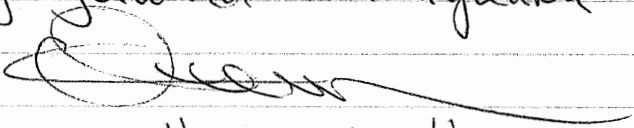
I am looking at the tentative drawing of replacing
a one story home with nine, two stories homes and one
guest parking across the home I own at 2081 W. 261st
St. Lomita 90717.

A lot of issues

1. The big historical trees cannot be cut. They are protected.
2. The proposed project has too many units, too high, not enough guest parking and no park/green area for their occupants
3. Would reduce property values and quality of life
4. Increase traffic which is already congested at his maximum and concern to safety, fire and aesthetic concerns
5. Digging that would generate dust in the area that may contain silica which cause silicosis.
6. Project not in harmony with the surrounding residential and rural character
7. I imagine that you are aware of tunnel under the property and how would you manage it as it could effect the stability of my house.

Those issues are serious and need to be discuss because my home is going to be the most effected by it. Please respond.

Looking forward to a agreeable understanding


Huguette "Francine" Braun

May 20, 2019 4
2058 261 87
Lomita, CA 90717

RECEIVED
CITY OF LOMITA

2019 MAY 28 PM 2:15

Community Development Dept.
Planning Division
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. Velasco,

We received a height variation request notice concerning the property located at:
26016 Oak St, Lomita, CA, 90717.

Not only are we objecting to the height we also object to the number of residences being built. Both issues will have a negative impact on our quality of life on both our home and our private street, Rustic Lane.

Before we even address the height issue lets tackle the traffic and parking issues.

Parking and traffic on oak street is already unbearable. For a street that's two blocks long it sometimes 3 lights to get across PCH or turn on it and that's not just rush hour.

The parking issue — there is NO parking on Oak street ever. It is impossible to find legal parking. Most of the illegally are never cited. They block our ingress and

egress. They block access to sidewalks. They double park with delivery trucks, moving vans, uber, grubhub -

Driving on Oak Street is dangerous - ! just how much more traffic and parking do believe Oak Street can handle?

How many of you that make these decisions live south of PCH on Oak Street?

The height issue - well it totally removes our privacy on our street. We will be living in a fish bowl - which I believe will devalue the houses on our street. It will change the quality of life and privacy on Rustic Lane -

Thank - you for considering our concerns.

Sincerely,

Richard and Paula McKendry

310. 283 - 3218

pamckendry@ca.m.com

May 29, 2019

5

To City of Lomita Community Planning

RECEIVED
CITY OF LOMITA
2019 MAY 30 AM 8:07

I, Deborah Casanova, POA for Jean Roper at 2051 261st Street, Lomita hereby oppose the height variation for the 26016 Oat St. I believe this height will greatly diminish the entrance to our private street 261st St. This in turn I'm afraid, will lower the property values in our street.

I adamantly oppose the driveway that would cut through our block wall and cross our fire lane in our private street. We paid for that wall and oppose any cars coming into our street. We have limited parking. We need our fire lane.

I want to construct a gate at the end of our street that would prevent any unnecessary car from entering and do not want any homeowners & their guests driving in our private street.

Sincerely,
Deborah Casanova POA
for Jean Roper

May 27, 2019

Community Development Department Planning Division

24300 Narbonne Avenue

Lomita CA 90717

Attn: Alicia Velasco

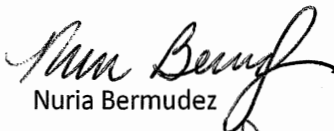
RE: Height Variation Permit NO. 105

We write this letter in response to the notice received May 23, 2019, please refer to copy enclosed.

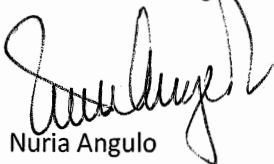
We would like to express our concern with the proposed plan to build nine two story family dwellings in the adjacent property to our small community referred to as Rustic Lane. In observation of the silhouette of the proposed construction what is evident is the obstruction of sunlight and the loss of trees which is what we admired most when we first bought our home on this street in April of 2001. There is also the issue of privacy loss, with homes so high up and located almost right at the property line, is of concern. We have been part of this community for over 15 years. We are extremely concerned that this construction of nine two story multi-family dwellings will have a huge impact on the already horrible parking issue up and down Oak Street. We constantly deal with illegal parking on fire lanes, double parking on the street, unauthorized parking on our private street and sometimes have had vandalism of our cars and properties. The potential authorization of allowing this construction with only one parking spot for this project is not taking into consideration the impact it will have on our properties located directly next to this project.

Your consideration for our neighborhood street is greatly appreciated.

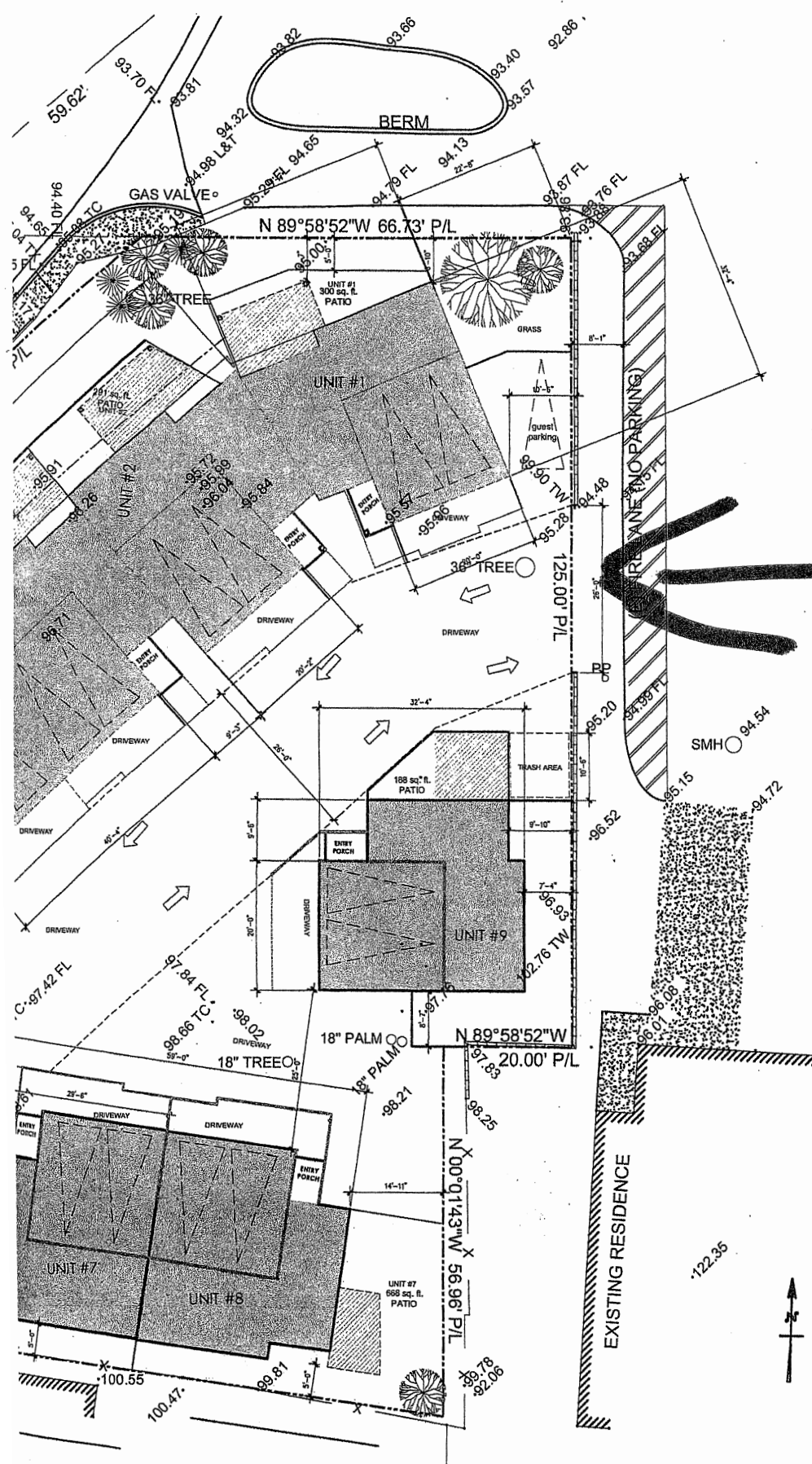
Sincerely,



Nuria Bermudez


Doug Bermudez


Nuria Angulo


Hector Angulo



2705 Arroyo Blvd. Suite D Redondo Beach CA, 90260 Ph: (310)468-8357 E: CBUILDINGDESIGN@GMAIL.COM																					
CONSULTING ENGINEER  ART ASSINK ASSOCIATES Civil Engineer Structural Design																					
CLIENT NAME: E&S PRIME DEVELOPER																					
SITE ADDRESS: 28016 OAK STREET LOMITA, CA 90717																					
LEGAL DESCRIPTION LOT 5 & A PORTION OF LOT 4 TRACT NO. 954 M.B. 17-16 APN 7553-009-039																					
REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																					
SHEET TITLE: SITE PLAN																					
DATE: 05-15-19 BY: C.GOLFIN PROJ. # SCALE: AS NOTED	SHEET NO. A0																				

Date: May 29, 2019

RE: Height variation Permit No. 105

Dear Director Alicia Velasco,

My wife and I own a condominium located at 26035 Oak Street, Lomita CA 90717. We do have concerned about the impact to our property by the proposed two-story multi-family dwellings with a maximum height of 25 feet 2 inches.

The concerns are:

- (1)The existing view of my condominium will be obstructed and detracted by this proposed construction.
- (2)It will devalue my condominium and the rent.

Sincerely yours,

Chan Chang

Chan Chang

Save our Neighborhood - Lomita

We, the undersigned, strongly urge the Lomita Planning Commission and City Council to reject the height variance and number of units planned for 26016 Oak Street.

Approving this plan would impact current residence by:

1. Restrict several views of the basin, hills and surrounding areas
2. Possibility of lowered property values due to high-density housing.
3. Create more traffic and parking problems along Oak St.
4. Cutting down of old, possibly historic, amazing trees.

Name	Address	Phone
1. Jennifer Rooney	2057 261 st St. Lomita	3105304205
2. Elena Sktykar	25937 Oak str apt 8 Lomita	- 626 551 9289
3.		e.
4. MOHAMMAD AKHTAR	2070 261 ST LOMITA CA 90717	310-350-7709
5. Huguito Francisco Braun	2081 W 261 st St Lomita CA 90717	310-404 9209
6. Helmut Braun	2081 W. 261 St. Lomita CA 90717	310 375 5894
7. Paula Amckendry	2058 261 St Lomita, CA 90717	
8. Elizabeth Lau	2062 261st Lomita CA 90717	
9. Nesporah Casanova PDA	2051 261 st Street Lomita	90717
10. Joyit Mayer	2046 261 st St. Lomita	90717
11. Chrissy Cassidy	2061 261 st St Lomita	90717
12.		
13.		
14.		
15.		

Chrissy Cassidy - 719-659-6952
Chrissy@lewrobertson
*CDM