

Monica Dever, Chair
Steve Cammarata, Vice-Chair
Michael Graf, Commissioner
Dave Popelka, Commissioner
Joaquin Santos, Commissioner
Jim Thompson, Commissioner
Barry Waite, Commissioner



PLANNING COMMISSION AGENDA
Lomita City Hall
Council Chambers
24300 Narbonne Avenue
Lomita, CA 90717
Phone: (310) 325-7110
Fax: (310) 325-4024

Next Resolution No. PC 2019-16

AGENDA
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, DECEMBER 9, 2019
6:00 PM

1. OPENING CEREMONIES

- a. Call Meeting to Order
- b. Flag Salute
- c. Roll Call

2. ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on subjects other than those scheduled are requested to do so at this time. Please come to the podium and give your name and address for the record. In order to conduct a timely meeting, a 5-minute time limit per person has been established. Government Code Section 54954.2 prohibits the Planning Commission from discussing or taking action on a specific item unless it appears on a posted agenda.

PUBLIC HEARINGS

- 3. SITE PLAN REVIEW NO. 1202**, a request for a modification from Section 11-1.30.02 of the zoning code to permit a side yard setback of three feet, seven inches instead of the Code required five foot minimum, located at 25308 Woodward Avenue in the R-1 (Residential Low Density) Zone *(Continued from the November 11, 2019 Planning Commission meeting)*.

APPLICANT: Rian Rifkin, 25308 Woodward Avenue, Lomita CA 90717

PRESENTED BY: James Dotson, Planning Intern

RECOMMENDED ACTION: Adopt resolution of approval subject to findings and conditions and to confirm that the project is exempt from CEQA requirements.

- 4. SITE PLAN REVIEW NO. 1203**, a request for a Site Plan Review per Section 11-1.48.03(B) (uses exceeding 30% of ground floor space where the total ground floor area exceeds 5,000 square feet) of the Lomita Municipal Code to permit a tutoring center to occupy 1840 Pacific Coast Highway, a 1,160-square-foot, ground floor unit located at 1834-1848 Pacific Coast Highway in the Commercial Retail Zone (C-R) Zone.

APPLICANT: Christine Hathaway, 29352 Whitley Collins Drive, Rancho Palos Verdes, CA 90725

PRESENTED BY: Laura MacMorran, Assistant Planner

RECOMMENDED ACTION: Adopt resolution of approval subject to findings and conditions and confirm that the project is exempt from CEQA requirements.

5. **VESTING TENTATIVE TRACT MAP NO. 082069**, a request to allow a subdivision for condominium purposes for an existing 20-unit industrial complex for the property located at 2018-2020 Lomita Boulevard in the M-C, Light Manufacturing & Commercial Zone.

APPLICANT: Luigi Schiappa of Luigi Schiappa Development, 2040 Lomita Blvd., Lomita CA 90717

PRESENTED BY: Laura MacMorran, Assistant Planner

RECOMMENDED ACTION: Adopt resolution recommending City Council approval subject to findings and conditions and confirm that the project is exempt from CEQA requirements.

WRITTEN COMMUNICATIONS

6. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS

OTHER MATTERS

7. STAFF ITEMS – ANNOUNCEMENTS

8. PLANNING COMMISSIONER ITEMS

9. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Tuesday, January 21, 2020

10. ADJOURNMENT

The next regular meeting of the Planning Commission is scheduled for Monday, January 13, 2020, at 6:00 p.m.

Written materials distributed to the Planning Commissioners within 72 hours of the Planning Commission meeting are available for public inspection immediately upon distribution in the City Clerk's office at 24300 Narbonne Avenue, Lomita, CA 90717. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, you should contact the office of the City Clerk, (310) 325-7110 (Voice) or the California Relay Service. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.

Only comments directed to the Commission from the podium will be recognized. Comments directed to the audience or generated from the audience will be considered out of order. Any person may appeal all matters approved or denied by the Planning Commission to City Council within 30 days of receipt of notice of action by the applicant. Payment of an appeal fee is required. For further information, contact City Hall at 310 325-7110.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted not less than 72 hours prior to the meeting at the following locations: Lomita City Hall lobby and outside bulletin board, Lomita Parks and Recreation, and uploaded to the City of Lomita website http://www.lomita.com/cityhall/city_agendas/.

Dated Posted: December 4, 2019

A handwritten signature in blue ink, appearing to read 'L. Abbott', with a long horizontal flourish extending to the right.

Linda E. Abbott, Deputy City Clerk



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission December 9, 2019

FROM: James Dotson, Planning Intern

SUBJECT: Site Plan Review No. 1202
25308 Woodward Ave in the R-1, Residential Low Density Zone

APPLICANT'S REQUEST

A request for a modification from Section 11-1.30.02 of the zoning code to permit a side yard setback of three feet and seven inches instead of the Code required five foot minimum, located at 25308 Woodward Avenue in the R-1 (Residential Low Density) Zone. Filed by Rian Rifkin, 25308 Woodward Avenue, Lomita, CA 90717 (Applicant).

RECOMMENDATION

Staff recommends the Planning Commission adopt a resolution approving Site Plan Review No. 1202 subject to findings and conditions as stated in the attached resolution and confirm the categorical exemption.

ANALYSIS

Existing Conditions/ Project Description

The home is currently 1,416 square feet has two bedrooms and one bathroom with a 367 square foot detached garage. The applicant is requesting to permit a 456 square foot addition to the home, which will create a master bedroom, bathroom and laundry room, as well as a 42 sq. ft. garage addition. With this addition, the garage will meet the Code requirements for a two-car garage, at 409 square feet. The applicant is proposing to attach the new addition area to the detached garage which will permit access directly from the garage to interior laundry room.

The existing detached garage provides a 3'-7" side yard setback which exceeds the code required setback of 3 feet however; with the proposed addition, the garage would become attached to the house making it subject to the 5 foot side yard setback requirement for principal structures.

Environmental Determination

This proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines due to the proposed addition being less than a 50 percent increase in the square footage of the existing building.

General Plan Designation

The General Plan designation for the subject property is Low-Density Residential, which is consistent with the R-1 zoning designation. The residential land use designation “applies to areas of the City which are developed with single family residential uses.”

Adjacent Zoning and Land Uses

Direction	Zone/Land Use
North	R-1 (Single-family residential) Land use: Single-family residence
South	R-1 (Single-family residential) Land use: Single-family residence
West	R-1 (Single-family residential) Land use: Single-family residence
East	R-1 (Single-family residential) Land use: Single-family residence

Development Standards Summary

The project has been reviewed with the applicable City Code requirements as follows:

Development Standard	Project	Allowed/Required	Compliance
Zoning	R-1	R-1	Yes
Lot Size	10,077.5 square feet	5,000 square feet min.	Yes
Lot Width	55.6 feet	50 feet	Yes
Yards: Front - Side (N) - Side (S) - Rear -	22’-4” 3’-7” 10’-11” 80’-9”	20 feet min. 5 feet min. 5 feet min. 20 feet min.	Yes No* Yes Yes
Off-Street Parking	Two-car garage	Two-car garage	Yes
Floor Area Ratio (FAR.)	0.22	0.60 max.	Yes
Building Height	1 story/ 14’-5” feet	2 stories/27 feet max.	Yes

*Setback Modification Requested

Site Plan Review

Modifications to yard setbacks are subject to review and approval by the Planning Commission under Section 11-1.30.02, pursuant to the provisions of Section 11-1.70.07, "Site Plan Review" and Section 11-1.70.08, "Modifications." After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the following required findings:

1. The Site Plan complies with all applicable provisions of this Title.

As set forth in the staff report and with Planning Commission review of the addition to a nonconforming single-family dwelling as required under Section 11-1.70.07 of the LMC, the project complies with all of the development standards in Title 11, except for the side yard modification.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

With a 10,077 square foot lot and a proposed floor area ratio of 0.22, the site is suitable for the project. The existing house is 1,416 square feet and has two bedrooms and one bathroom. Excluding the garage, the proposed square footage of the home with the addition is 1,830 square feet, which is within the range of surrounding properties and not overly large for the site. The addition of a master bedroom and bathroom is an appropriate scale to blend with the existing character of the neighborhood. There will be no changes to the existing side yard setbacks. The only reason this project does not conform to the side yard setback standards is because the garage and dwelling will be attached, instead of detached. Further, the existing detached garage is 18'4" x 20'0" and possesses 367 square feet. Due to its size and configuration, it is considered legal-conforming and too narrow to park two vehicles side-by-side. The addition will correct this non-conformity.

Both the bedroom/bathroom addition and the garage addition are located on the interior of the lot and therefore will not adversely affect public health, or create traffic congestion. The proposed addition does not create any new units and therefore it is consistent with all the elements of the General Plan.

3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture.

The design of the project is suitable and functional. The addition will create a master suite with a new closet, bathroom, and laundry room which will modernize the floor plan to create three bedrooms and two bathrooms. The garage addition will increase the functionality of the garage and creates sufficient space to park two vehicles. The garage's width will increase by 3' from 18'4" to 21'4". The two parking spaces will possess a width of more than 10 feet apiece and the garage will provide 409 square feet.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

The applicant is requesting a 456 square foot addition to create a new master bedroom and bath, a laundry room, and a conforming two-car garage. The expansion is occurring on the interior of the property in the existing space between the detached garage and the house. The side yard setback to the garage is not changing nor is it encroaching closer to adjacent property. It would be impractical to require compliance with the setback as the proposed addition is at the homeowner's and neighbor's advantage as it encompasses unused space between buildings as opposed to open space on the lot. Further the addition will create a useable two-car garage, and due to the location of the garage on the property, cannot be accomplished without a setback modification.

Public Notice

Notices of this hearing dated November 27, 2019 were mailed to property owners within a 300-foot radius from the subject property, posted at City Hall, and at Lomita Park.

Recommended by:

Prepared by:



Alicia Velasco
Community and Economic Development Director

James Dotson
Planning Intern

Exhibits:

- a) Resolution
- b) Vicinity Map
- c) Zoning Map
- d) General Plan Map
- e) Aerial Photograph
- f) Notice of Exemption
- g) Site Plan, Floor Plan, Elevations

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1202 FOR A MODIFICATION FROM SECTION 11-1.30.02 OF THE ZONING CODE TO PERMIT A SIDE YARD SETBACK OF THREE FEET SEVEN INCHES INSTEAD OF THE CODE REQUIRED FIVE FOOT MINIMUM, LOCATED AT 25308 WOODWARD AVENUE IN THE R-1 (RESIDENTIAL LOW DENSITY) ZONE. FILED BY RIAN RIFKIN, 25308 WOODWARD AVENUE, LOMITA, CA 90717 (APPLICANT).

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for a modification from section 11-1.30.02 of the Zoning Code to permit a side yard setback of three feet and seven inches instead of the Code required five foot minimum, for an addition to an existing single family residence located at 25308 Woodward Avenue in the R-1 zone.
- B. Under Section 11-1.30-02 of the LMC, modifications to setbacks are subject to review and approval by the Planning Commission, pursuant to the provisions of Section 11-1.70.07, "Site Plan Review" and Section 11-1.70.08, "Modifications".
- C. Pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines, the project is exempt from the preparation of documents imposed by the California Environmental Quality Act due to the proposed 456 square foot addition being less than a 50 percent increase in the square footage of the existing floor area of the building.
- D. On December 10, 2019, the Planning Commission held a duly noticed public hearing and accepted public testimony.

Section 2. Pursuant to Sections 11-1.70.07 (Site Plan Review) and 11-1.70.08 (Modifications) of the Lomita Municipal Code, the Planning Commission of the City of Lomita finds, after due study and deliberation that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of this Title;

As set forth in the staff report and with Planning Commission review of the addition to a nonconforming single-family dwelling as required under Section 11-1.70.07 of the LMC, , the project complies with all of the development standards in Title 11, except for the side yard modification.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan;

With a 10,077 square foot lot and a proposed floor area ratio of 0.22, the site is suitable for the project. The existing house is 1,416 square feet and has two bedrooms and one bathroom. Excluding the garage, the proposed square footage of the home with the addition is 1,830 square feet, which is within the range of surrounding properties and not overly large for the site. The

addition of a master bedroom and bathroom is an appropriate scale to blend with the existing character of the neighborhood. There will be no changes to the existing side yard setbacks. The only reason this project does not conform to the side yard setback standards is because the garage and dwelling will be attached, instead of detached. Further, the existing detached garage is 18'4" x 20'0" and possesses 367 square feet. Due to its size and configuration, it is considered legal-conforming and too narrow to park two vehicles side-by-side. The addition will correct this non-conformity.

Both the bedroom/bathroom addition and the garage addition are located on the interior of the lot and therefore will not adversely affect public health, or create traffic congestion. The proposed addition does not create any new units and therefore it is consistent with all the elements of the General Plan.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture;*

The design of the project is suitable and functional. The addition will create a master suite with a new closet, bathroom, and laundry room which will modernize the floor plan to create three bedrooms and two bathrooms. The garage addition will increase the functionality of the garage and creates sufficient space to park two vehicles. The garage's width will increase by 3' from 18'4" to 21'4". The two parking spaces will possess a width of more than 10 feet apiece and the garage will provide 409 square feet.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

The applicant is requesting a 456 square foot addition to create a new master bedroom and bath, a laundry room, and a conforming two-car garage. The expansion is occurring on the interior of the property in the existing space between the detached garage and the house. The side yard setback to the garage is not changing nor is it encroaching closer to adjacent property. It would be impractical to require compliance with the setback as the proposed addition is at the homeowner's and neighbor's advantage as it encompasses unused space between buildings as opposed to open space on the lot. Further the addition will create a useable two-car garage, and due to the location of the garage on the property, cannot be accomplished without a setback modification.

Section 3. The Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1202 subject to the attached conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans received on September 12, 2019, ("the plans") on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size

of structure.

3. Approval of this permit shall expire 24 months from the date of approval by the Planning Commission, unless significant construction or improvements of the use authorized hereby have commenced. One or more extensions of time for use inauguration may be requested. No extension shall be considered unless requested at least 30 days prior to the expiration date.
4. By commencing any activity related to the project or using any structure authorized by this permit, Applicant accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
5. Applicant agrees, as a condition of adoption of this resolution, at Applicant's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicant's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
6. Applicant shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
7. If Applicant, owner or tenant fails to comply with any of the conditions of this permit, the Applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code. The applicant shall have been provided written notice to cease such violations and have failed to comply for a period of thirty days.
8. Prior to issuance of building permits, Applicant shall sign a letter agreeing to the conditions of approval within this resolution.

PLANNING STANDARD CONDITIONS

9. The final building plans submitted by the Applicant with the building permit application shall depict all building materials and colors to be used in construction.
10. Before the City issues building permits, Applicant shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
11. Applicant shall provide for dust control at all times during project property preparation and construction activities.
12. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
13. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute or ordinance is violated, the permit shall be suspended and the privileges granted hereunder shall lapse.

14. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
15. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
16. That final inspection shall not be granted until all conditions of approval have been met and verified by staff.
17. This approval is to permit a 414 square foot addition for a master bedroom, bathroom, closet and laundry room, and a 42 square foot garage addition to correct the existing non-conforming square footage, and a side setback modification from a require 5 foot minimum to the existing detached garage setback of three feet seven inches.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of December, 2019 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

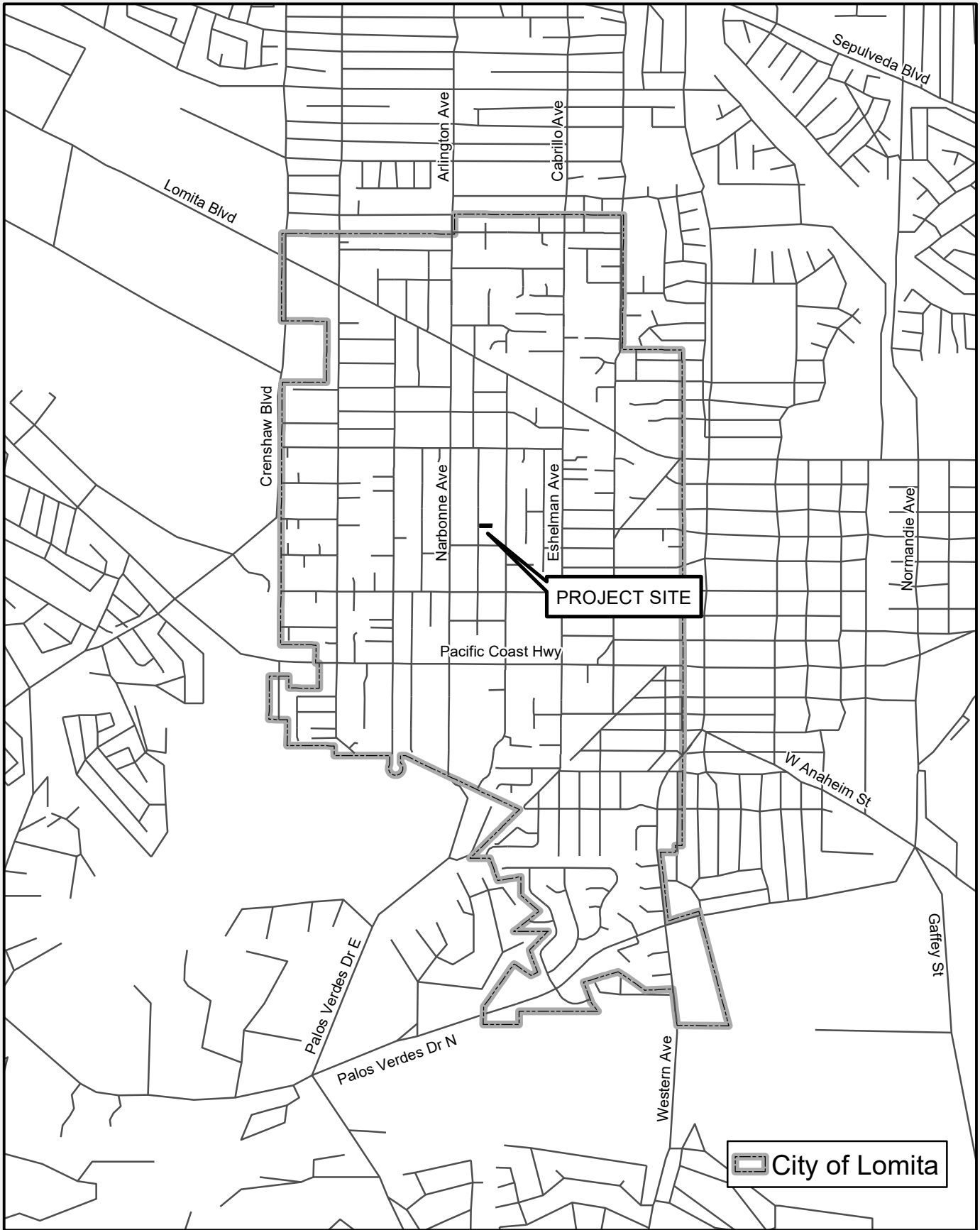
ABSENT: Commissioners:


Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Community and Economic Development Director

Within thirty days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



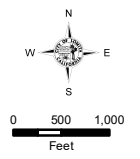
 City of Lomita

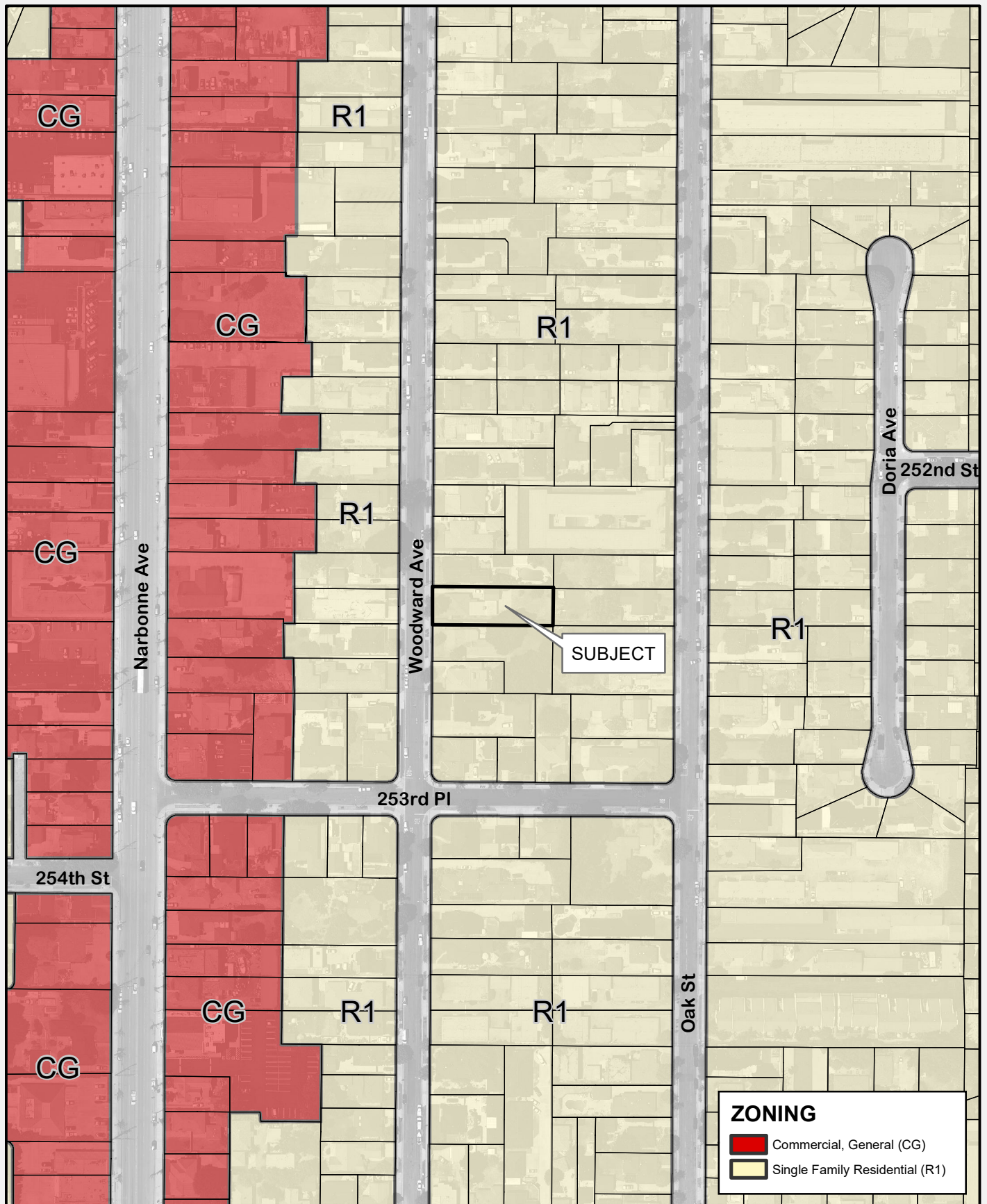


Site Plan Review No. 1202
25308 Woodward Avenue
Exhibit B

Community Development
 October 2019

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/25308Woodward_vty.mxd





ZONING

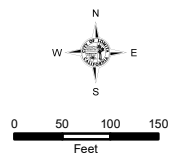
- Commercial, General (CG)
- Single Family Residential (R1)

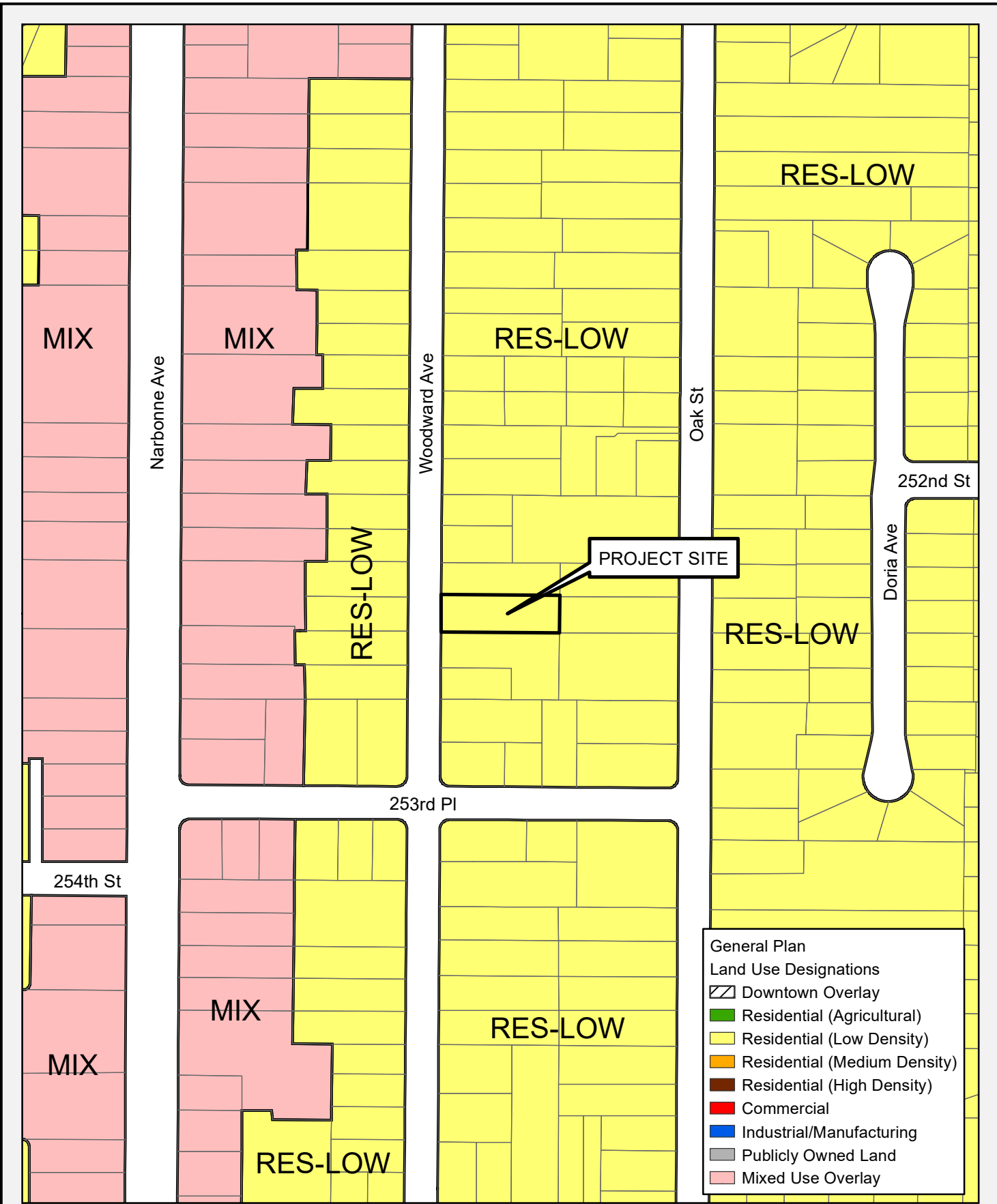


Site Plan Review No. 1202
25308 Woodward Avenue
Exhibit C

Community Development
 October 2019

Source: Lomita GIS Data Layers
 /Apps/25308Woodward_zon.mxd





**General Plan
Land Use Designations**

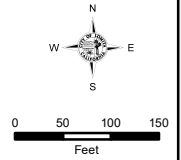
- Downtown Overlay
- Residential (Agricultural)
- Residential (Low Density)
- Residential (Medium Density)
- Residential (High Density)
- Commercial
- Industrial/Manufacturing
- Publicly Owned Land
- Mixed Use Overlay



**Site Plan Review No. 1202
25308 Woodward Avenue
Exhibit D**

Community Development
October 2019

Source: Lomita GIS Data Layers
GIS/Apps/25308/Woodward_gp.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110

NOTICE OF EXEMPTION

Project Description:

SITE PLAN NO. 1202 - A request for a modification from Section 11-1.30.02 of the zoning code to permit a side yard setback of three feet with seven inches instead of the Code required five foot minimum, for a lot line adjustment to existing single-family lot located at 25803 Woodward Avenue in the R-1 (Residential Low Density) Zone. Filed by Rian Rifkin, 25803 Woodward Avenue, Lomita, CA 90717.

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15301, Existing Facilities)
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons: In accordance with Section 15301 of the California Environmental Quality Act (CEQA) Guidelines, additions to existing structures resulting in an increase of less than 50 percent of the floor area of the structures before the addition may be found to be exempt from the requirements of CEQA. The 456 square foot addition is less than 50 percent of the floor area of the structure before the addition therefore; staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

 (Date)

 Alicia Velasco
 Community and Economic Development
 Director

RIFKIN RESIDENCE ADDITION

25308 WOODWARD AVE, LOMITA, CA 90717

PROJECT DESCRIPTION

- ADDITION: MASTER BEDROOM SUITE, LAUNDRY, AND EXPAND GARAGE.
- REMODEL: ROOF AT (E) GARAGE AND (E) FAMILY ROOM.

PROJECT DATA

PROJECT ADDRESS: 25308 WOODWARD AVE, LOMITA, CA 90717.
 APN: 7375-005-010
 PROPERTY BOUNDARY DESCRIPTION: TRACT # 480 S 55.6 FT OF W 181.25 FT OF E 362.5 FT OF LOT 133
 LAND USE DESIGNATION: SINGLE FAMILY RESIDENTIAL
 ZONING: R1-LO
 TYPE OF CONSTRUCTION: TYPE V-B (NON-SPRINKLERED)
 No. OF STORIES: 1
 YEAR BUILT: 1949/1954
 BUILDING HEIGHT: 14'-5" (27' MAX.)

BUILDING CALCULATIONS:

EXISTING BUILDING AREA :	
(E) HOUSE	1,416 SQ.FT.
(E) GARAGE	367 SQ.FT.
TOTAL	1,783 SQ.FT.
PROPOSED BUILDING AREA:	
HOUSE ADDITION	414 SQ.FT.
GARAGE ADDITION	42 SQ.FT.
TOTAL LIVING	456 SQ.FT.
TOTAL BUILDING AREA:	
(E) HOUSE + GARAGE	1,783 SQ.FT.
ADD. HOUSE + GARAGE	456 SQ.FT.
TOTAL	2,239 SQ.FT.
TOTAL LIVING AREA :	
(E) HOUSE	1,416 SQ.FT.
HOUSE ADDITION	414 SQ.FT.
TOTAL	1,830 SQ.FT.
LOT COVERAGE: (MAX. 60%)	
PROPOSED:	2,239/10,077.5 = 22.2%

CODES

- THE DESIGN COMPLIES TO THE CODES BELOW INCLUDING AMENDMENTS BY THE LOCAL JURISDICTION:
- 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA ENERGY EFFICIENCY CODE
 - 2016 CALIFORNIA FIRE CODE

SEPARATE PERMITS

- ELECTRICAL, MECHANICAL AND PLUMBING.

CONTRACTOR/BUILDER:

- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR METHODS OF CONSTRUCTION, WORKMANSHIP, AND JOB SAFETY. WORKMANSHIP AND MATERIALS INCLUDING FALSE WORK, BRACING, AND OTHER TEMPORARY ITEMS SHALL CONFORM TO THE GOVERNING CODES AND JOB SAFETY REQUIREMENTS PER OSHA STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SUPERVISION, AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING SHOULD ENSURE THE SAFETY OF THE WORK. BRACING AND SHORING IS TO BE INSTALLED PER THE LATEST OSHA STANDARDS. ALL BRACING AND/OR SHORING SHALL STAY IN PLACE UNTIL ALL WORK HAS BEEN SUITABLY COMPLETED.
- CONSTRUCTION SAFETY PROVISIONS IN ACCORDANCE WITH THE BUILDING CODE SHALL BE PROVIDED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO STARTING ANY WORK ON THE BUILDING. PERMITS FOR PROTECTIVE FENCES AND/OR CANOPIES CONSTRUCTED ON PUBLIC PROPERTY MUST BE SECURED FROM THE DEPARTMENT OF BUILDING AND SAFETY.
- CONSTRUCTION, INSPECTION AND PHYSICAL TESTING PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING CODES AND THE AMENDMENTS BY THE LOCAL JURISDICTION.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE FURNISHED BY THE ENGINEER WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT WARRANT CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH PERMITS, LICENSES, FEES, MATERIAL, LABOR, TOOLS, PLANT, SUPPLIES, EQUIPMENT, TRANSPORTATION, SUPERINTENDENCE, TEMPORARY CONSTRUCTION OF EVERY NATURE, INSURANCE, TAXES, CONTRIBUTIONS, AND ALL OTHER SERVICES AND FACILITIES, UNLESS SPECIFICALLY EXCEPTED NECESSARY TO COMPLETE THIS PROJECT.
- THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES, FULL AND UNLIMITED WORKMEN'S COMPENSATION INSURANCE IN ACCORDANCE WITH THE LABOR CODE OF THE STATE OF CALIFORNIA, AND SHALL CARRY PUBLIC CONTINGENT LIABILITY OF INSURANCE, IN AMOUNTS SATISFACTORY TO AND IN COMPANIES SELECTED WITH THE CONSENT OF THE OWNER.
- THE CONTRACTOR SHALL OBTAIN THE BUILDING PERMIT, AND ALL OTHER CERTIFICATIONS, INSPECTION REPORTS, RELEASES, JURISDICTIONAL SETTLEMENTS, NOTICES, RECEIPTS FOR FEE PAYMENTS, JUDGEMENTS, AND SIMILAR DOCUMENTS, CORRESPONDENCE AND RECORDS IN COLLECTION.
- NOTHING CONTAINED IN THESE CONSTRUCTION DOCUMENTS OR IN ANY ACCOMPANYING DOCUMENTS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE CONTRACTOR AND THE DESIGNER.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID AND NOTIFY THE DESIGNER OF ANY PROBLEMS OF COMPATIBILITY BETWEEN THE NEW AND EXISTING CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC., REQUIRED TO COMPLETE THE CONSTRUCTION AND OR INSTALLATION OF ALL ITEMS UNLESS DESIGNATED NOT IN CONTRACT (N.I.C.), WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT) ON THE DRAWINGS, SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE TO AFFECT SUCH INSTALLATION. ALL WORK SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND BE IN CONFORMANCE W/ THE STANDARD OF THE INDUSTRY.
- IF THE CONTRACTOR HAS QUESTIONS REGARDING THE SAME, NOTIFY THE DESIGNER FOR CLARIFICATION.
- THERE SHALL BE NO DEVIATIONS FROM THESE CONTRACT DOCUMENTS WITHOUT A WRITTEN CHANGE ORDER TO THE CONTRACT SIGNED BY THE CONTRACTOR AND OWNER IN THAT ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR DESIGNER.

PROJECT DIRECTORY

OWNER:
 MR. RIAN RIFKIN
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 TEL: (503) 819-2969

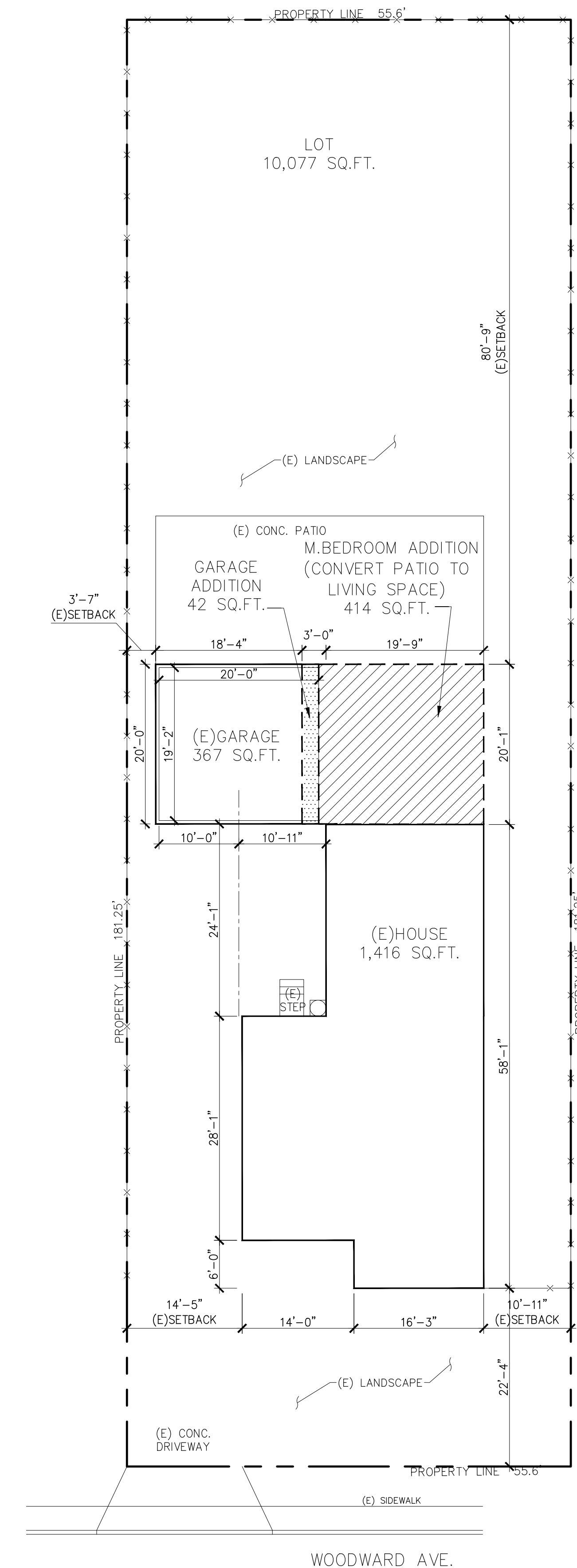
ARCHITECT & STRUCTURAL ENGINEER:
 MR. LIONEL GARCIA
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 24702 NARBONNE AVE,
 LOMITA, CA 90717
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SHEET INDEX

SHEET #	SHEET DESCRIPTION
A0.1	GENERAL NOTES AND SITE PLAN
A1.0	DEMOLITION PLAN AND ROOF PLAN
A1.1	FLOOR PLANS AND SCHEDULES
A2.1	ELEVATIONS AND SECTIONS
A3.1	DETAILS
T24.1-T24.2	TITLE 24
S0.1	GENERAL NOTES
S1.0	FOUNDATION PLAN
S2.1	FRAMING PLAN
S3.0-S3.1	DETAILS
HFX	HARDY FRAME

DRAWING NOTES:

- TYPICAL DETAILS SHALL BE USED WHERE NO SPECIFIC DETAIL OR SECTION IS REFERENCED. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL, UNLESS OTHERWISE SHOWN, TAKE PRECEDENCE OVER THESE GENERAL SPECIFICATIONS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL SPECIFICATIONS. DIMENSIONS FOR CONSTRUCTION SHALL NOT BE SCALED FROM THE DRAWINGS. PRINTED DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS AND LARGE SCALE OVER SMALL SCALE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS AND/OR SPECIFICATIONS, DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL ALLOW REASONABLE TIME FOR THE ENGINEER OF RECORD TO RESOLVE CONFLICTS AND/OR MAKE REVISIONS TO THE DRAWINGS AND/OR SPECIFICATIONS. REVISIONS TO THE DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- THE STAMPED SET OF DRAWINGS AND SPECIFICATIONS SHALL BE KEPT AT THE JOB SITE AND SHALL BE AVAILABLE TO THE AUTHORIZED REPRESENTATIVES OF THE BUILDING AND SAFETY DEPARTMENT. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS AND SPECIFICATIONS WITHOUT AN APPROVED CHANGE ORDER.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF CLARIFICATION IS REQUIRED, THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL STRUCTURAL WORK WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER CONSULTANT DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
- REFER TO ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND OTHER CONSULTANT'S DRAWINGS FOR DETAILS, CONDITIONS, PITS, TRENCHES, DEPRESSIONS, ROOF AND FLOOR OPENINGS, SLEEVE, ITEMS TO BE EMBEDDED OR ATTACHED TO STRUCTURAL ELEMENTS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.

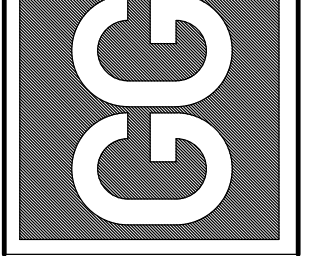


SITE PLAN
 3/32"=1'-0"

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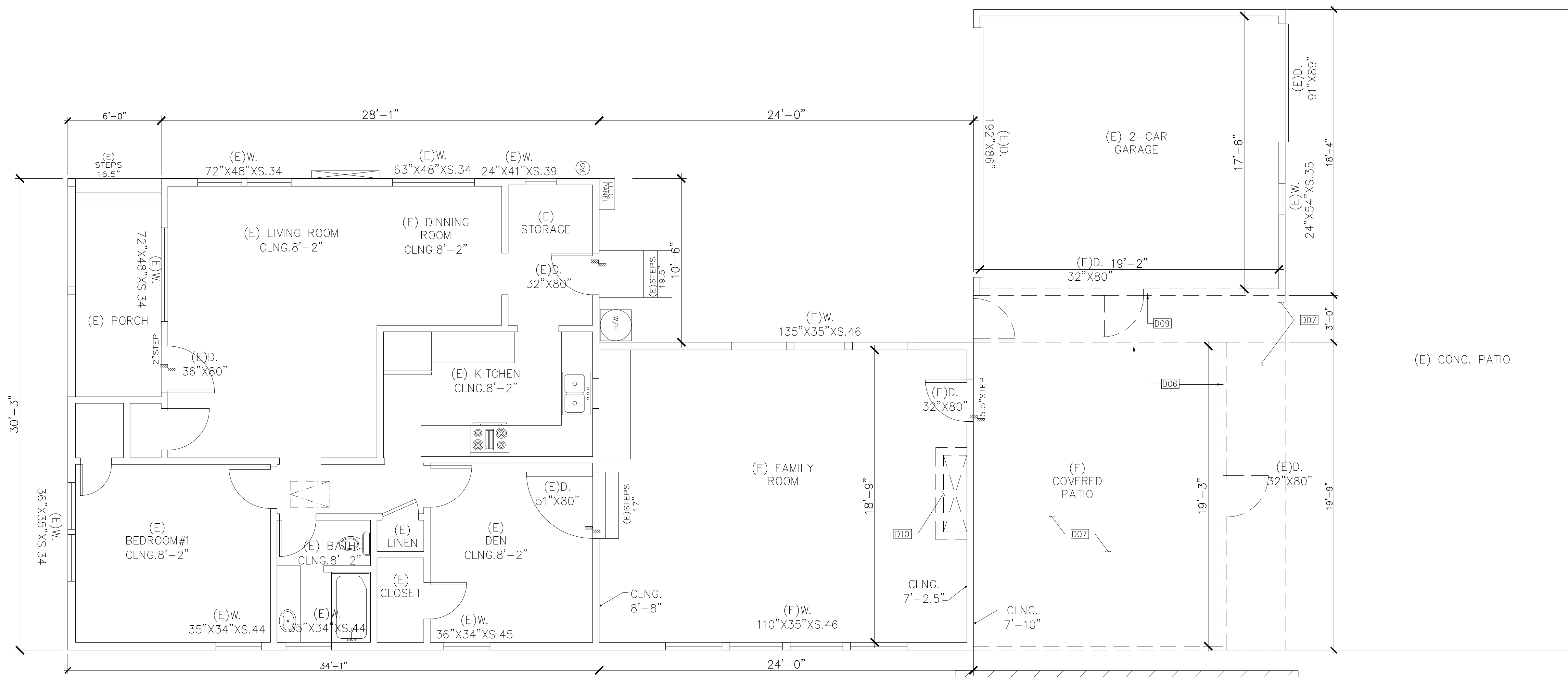


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SITE PLAN + PROJECT INFORMATION
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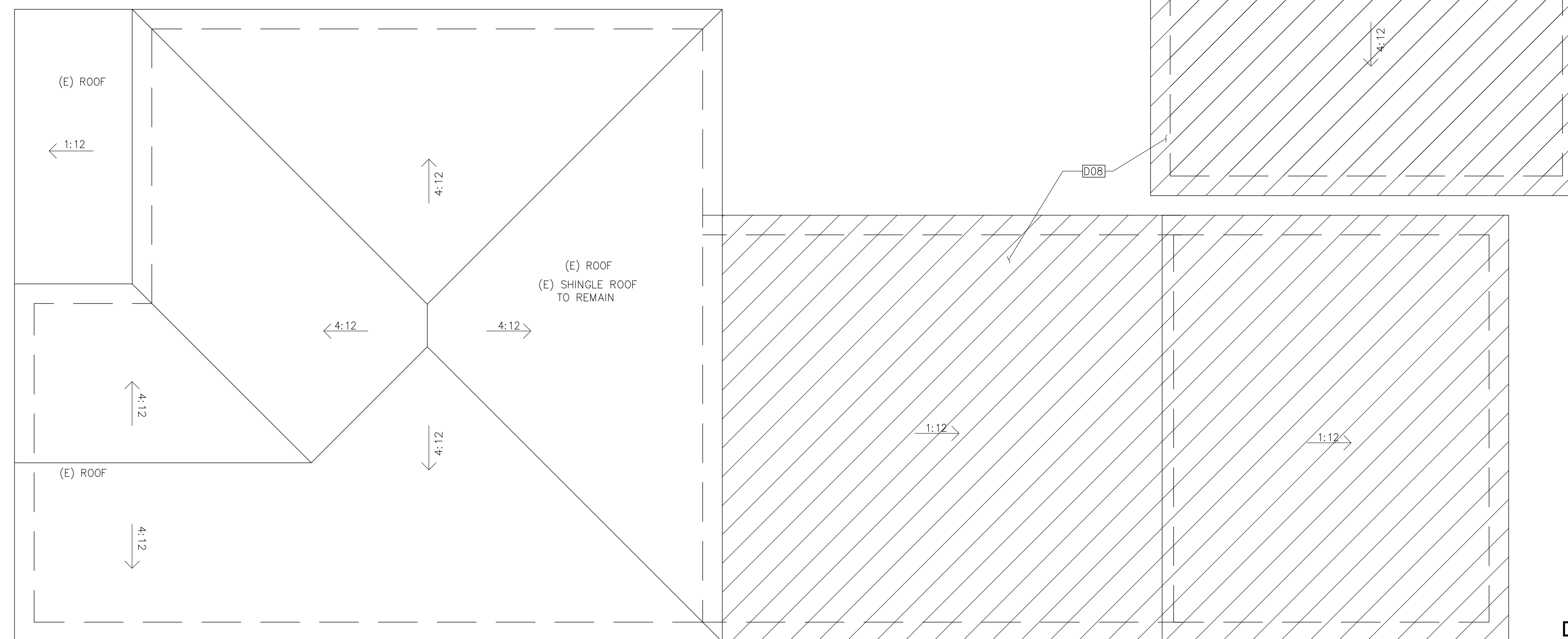
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A0.1



DEMOLITION FLOOR PLAN
1/4"=1'-0"



DEMOLITION ROOF PLAN
1/4"=1'-0"

DEMOLITION PLAN NOTES

- D01 CONTRACTOR TO PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN AS NEEDED TO ACCOMMODATE NEW WORK.
- D02 PRIOR TO DEMOLITION, CONTRACTOR SHALL VERIFY THAT ALL STRUCTURAL COMPONENTS TO BE REMOVED ARE NOT NEEDED TO COMPLETE NEW WORK OR HAVE REPLACEMENT STRUCTURAL COMPONENTS CALLED FOR IN THE CONSTRUCTION DOCUMENTS. NO STRUCTURAL COMPONENT SHALL BE REMOVED IN UNCERTAINTY.
- D04 GENERAL: REMOVE FROM SITE ACCUMULATED DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND LEGALLY DISPOSE OF OFF SITE
- D05 CONTRACTOR SHALL PROTECT EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS FROM DAMAGE.
- D06 REMOVE COVERED PATIO IN ITS ENTIRETY.
- D07 REMOVE CONCRETE SLAB.
- D08 REMOVE (E) ROOF.
- D09 REMOVE WALL/DOOR.
- D10 REMOVE FIREPLACE.

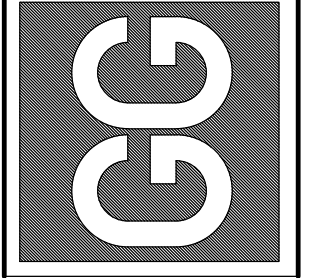
PLAN LEGEND

	(E) WALL	V.I.F.	VERIFY IN FIELD
	REMOVE WALL/FLOOR/FIXTURES/WINDOW/DOOR	(E)	EXISTING
	WINDOWS		DOOR

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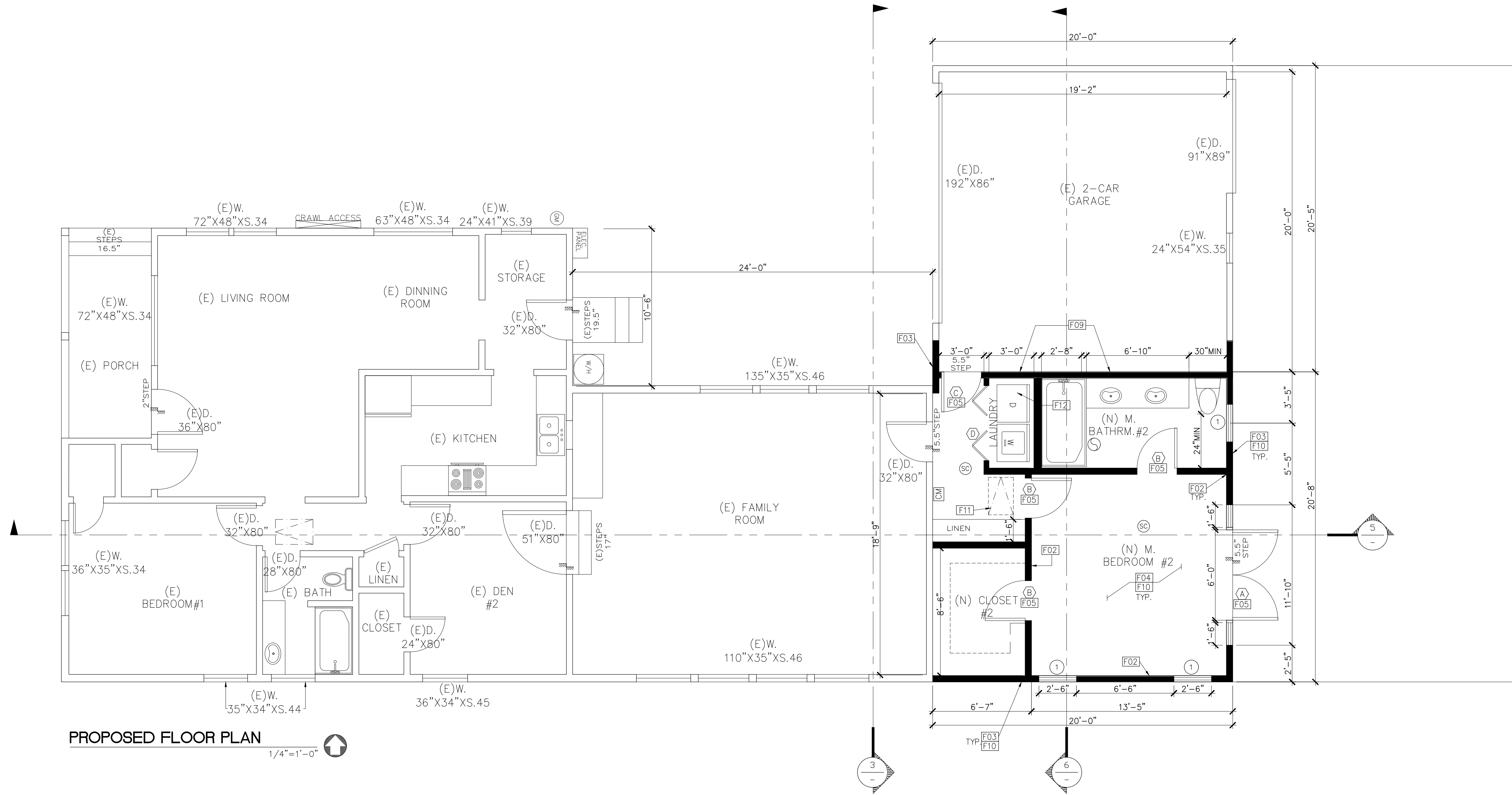


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DEMOLITION PLANS
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sheet:

A10



PROPOSED FLOOR PLAN

1/4"=1'-0"

WINDOWS SCHEDULE

#	WIDTH	HEIGHT	QTY	TYPE/MATERIAL	GLAZING	OPENING	SCREEN	REMARKS
1	30"	44"	3	HUNG/VINYL	DOUBLE	50%	YES	ENERGY FACTOR U=0.32 & SHGC=0.25

DOOR SCHEDULE

#	WIDTH	HEIGHT	QTY	TYPE/PANEL/ FINISH	FRAME FINISH	GLAZING	THRESHOLD	REMARKS
A	112"	80"	1	FRENCH/SIDELITE/VINYL	FIBERGLASS	TEMPERED	YES	ENERGY FACTOR U=0.32 & SHGC=0.25
B	32"	80"	3	SWNG/FLUSH/WOOD	WOOD		NO	
C	32"	80"	1	SWNG/FLUSH/SOLID CORE	H.M.		NO	20 MIN. RATED DOOR SELF-CLOSING, SELF-LATCHING
D	48"	80"	1	FOLDING/LOUVER/WOOD	WOOD		NO	

NOTES: PROVIDE TEMPERED GLAZING IN WINDOWS THAT MEET ALL: > 9 SQ. FT., BOTTOM EDGE IS < 18" A.F.F., TOP EDGE IS > 36" A.F.F. & WALKING SURFACE IS 36" STRAIGHT LINE HORIZONTALLY FROM WINDOW. PROVIDE TEMPERED GLAZING AT THE DOORS AND IN ALL FIXED AND OPERABLE PANELS ADJACENT TO THE DOORS WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACES. (R308.4)

FLOOR PLAN NOTES

- F01 ALL DIMENSIONS OF NEW CONSTRUCTION ARE TO FACE OF STUDS. U.N.O. ALL DIMENSIONS FROM EXISTING CONSTRUCTION ARE TO FACE OF FINISH. U.N.O. CONSIDER (E) FINISH THICK'S AND PRESENCE OF PLYWOOD SH'TG FOR (N) TO (E) WALL ALIGN.
- F02 (N) INTERIOR WALLS ARE MIN. 1/2" THK. DRYWALL & TWO COATS OF PAINT. FLUSH WALL FINISH AT EXISTING ADJACENT WALL. OWNER TO SELECT COLOR.
- F03 NEW OR PATCH WALL WITH STUCCO (MATCH EXISTING) OVER 15# FELT, PROVIDE TWO LAYERS OF GRADE "D" PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH. U.N.O. PAINT, COLOR TO BE SELECTED BY OWNER.
- F04 CEILING HEIGHT TO BE MIN. 7'-6" & 7' AT HALLS, BATHS, & CLOSETS.
- F05 (N) DOOR PER SCHEDULE.
- F06 (N) WINDOW PER SCHEDULE.
- F07 EXTEND GARAGE FLOOR WIDTH, NONCOMBUSTIBLE MATERIALS OR ASPHALTIC PAVING MATERIALS. THE MINIMUM THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3 IN. THICK.
- F09 PROVIDE 1HR. RATED BETWEEN GARAGE AND LIVING WITH MIN. 1/2" GYPSUM BOARD AT GARAGE SIDE..
- F10 AT NEW CONSTRUCTION PROVIDE INSULATION R-15 AT EXTERIOR WALLS, R-30 AT CEILING/ROOF.
- F11 MIN 20"x30" ATTIC ACCESS.
- F12 CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH 2 ELBOWS. THIS SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS OF 2. PROVIDE MIN. 4"DIA, SMOOTH, METAL DUCT.

PLAN LEGEND

- (E) WALL V.I.F. VERIFY IN FIELD
- (E) REMOVE WALL/FLOOR/ FIXTURES/ WINDOW/ DOOR (E) EXISTING
- (N) WALL (N) NEW
- WALL/FLOOR/FIXT. ABOVE (N) CEILING ACCESS PANEL 20"x30" MIN.
- FIXTURE ABOVE (SC) SMOKE DETECTOR ALARM
- WINDOWS (CM) CARBON MONOXIDE ALARM
- DOOR (S) EXHAUST FAN-50 CFM W/ LIGHT, ENERGY STAR COMPLIANT, HUMIDISTAT CONTROLLER AND DUCTED TO OUTSIDE OF BUILDING.

ELECTRICAL NOTES

- L01 THE SPECIFIED HEIGHT OF ALL OUTLETS, SWITCH AND CONTROL PLATES SHALL BE TO THE CENTER OF THE PLATES. ALL PLATES SHALL BE VERTICALLY SET EXCEPT AT COUNTER TOPS WHICH SHALL BE SET HORIZONTALLY. SWITCHES AND CONTROL PLATES SHALL BE SET HORIZONTALLY. OUTLETS AND LOW VOLTAGE SUPPLY PLATES SHALL BE SET AT 12" ABOVE FLOOR U.N.O. AT COUNTERS OUTLETS SHALL BE PLACE 8" ABOVE HORIZONTAL SURFACE.
- L02 LIGHTING SHALL BE 25 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING. RIGID CONDUITS SHALL BE USED IN ALL EXTERIOR AND UNDERGROUND INSTALLATIONS. ALL EXTERIOR WALL LIGHTS SHALL BE LOCATED 4" BELOW INTERIOR OPENING HEAD U.N.O. & 15" FROM JAMBS.
- L03 PROVIDE A RECEPTACLE OUTLET WITHIN SIX FEET OF ANY POINT ALONG IN LIVABLE ROOMS (210-52(A) CEC)
- L04 ALL BEDROOMS SHALL BE FAULT CIRCUIT INTERRUPTER (AFCI), TYP.
- L05 INSTALL GASKETS BEHIND ALL ELECTRICAL PLATES. CARE SHALL BE TAKEN TO PROVIDE A TIGHT SEAL AGAINST THE FINISHED WALL AND TO MAINTAIN ALL PLATES TRUE AND LEVEL W/ THE FINISHED FLOOR.
- L06 PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS (GFI) PROTECTION FOR ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, BASEMENTS AND COUNTERTOP RECEPTACLES WITHIN 6" OF A KITCHEN SINK/WET BAR (210-8 CEC)
- L07 AT LEAST HALF THE LIGHTING WATTS IN THE KITCHEN MUST BE HIGH EFFICACY LUMINARIES.
- L08 ALL RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT.

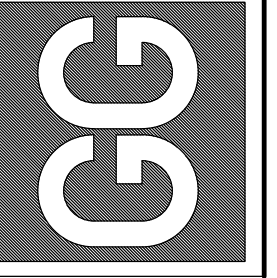
SMOKE / CARBON MONOXIDE ALARM NOTES

- 1. INSTALL SMOKE ALARMS AT: 1) IN EACH SLEEPING ROOM. 2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. (I.E. HALLWAY). 3) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS & HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES & UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVELS PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- 2. INSTALL CARBON MONOXIDE IN DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCE INSTALLED AND THAT HAVE AN ATTACHED GARAGE (OUTSIDE EACH SLEEPING AREA, IMMEDIATE VICINITY OF THE BEDROOM(S) & ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS).
- 3. WHEN MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. (EXCEPTIONS: INTERCONNECTION IS NOT REQUIRED IN EXISTING DWELLING UNITS WHERE REPAIRS DO NO RESULT IN REMOVAL OF WALL AND CEILING FINISHES. SEE SEC R315.1 & 315.2 FOR MORE INFORMATION). SMOKE DETECTORS/ CARBON MONOXIDE ALARM MAY BE BATTERY OPERATED IN SINGLE FAMILY DWELLINGS. SEC R315.1 & 315.2 FOR MORE INFORMATION.

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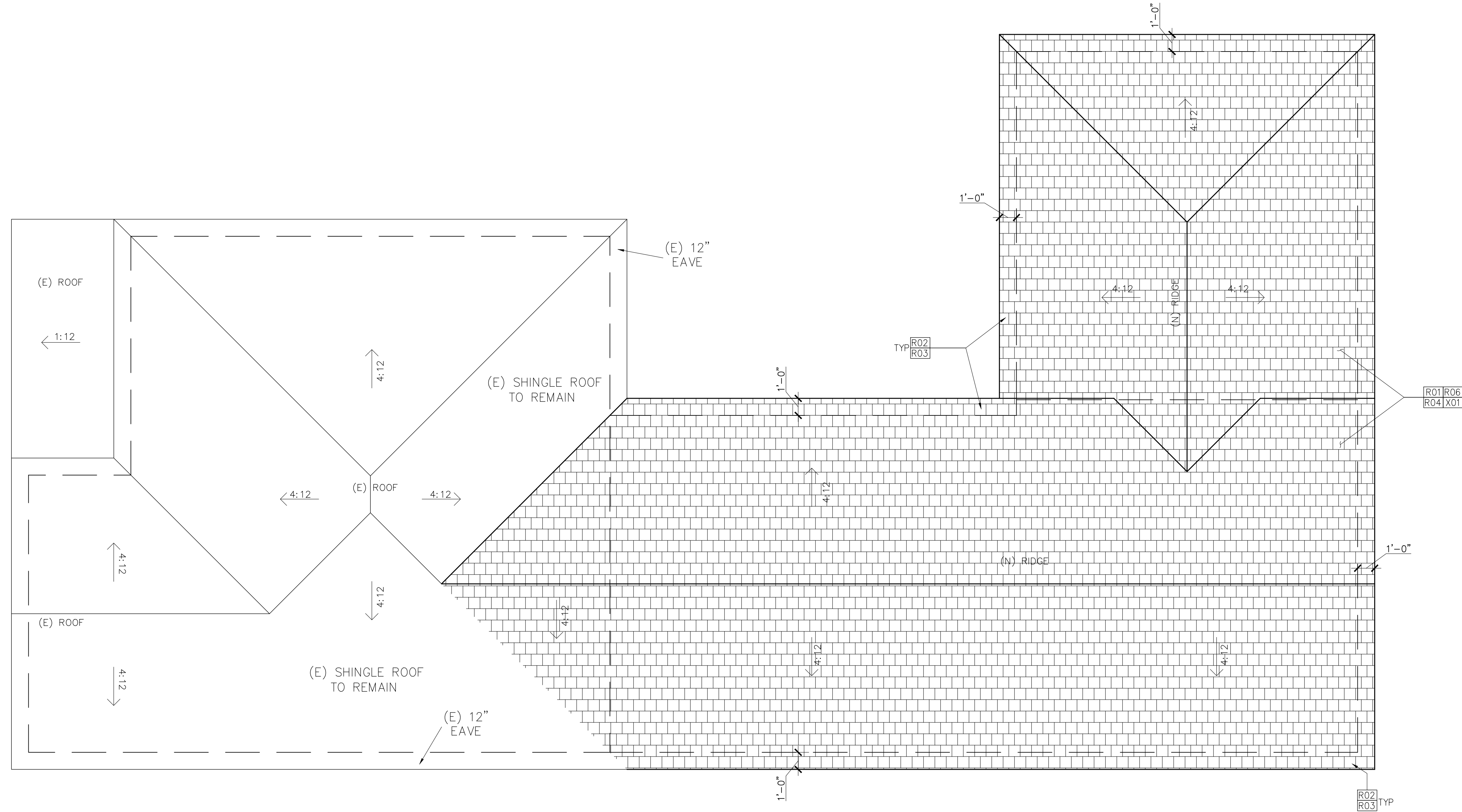


PROPOSED PLANS
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 job no.: 19-247
 sheet:

A11



PROPOSED ROOF PLAN
 1/4"=1'-0"

- R04 PROVIDE METAL FLASHING FOR ALL ROOF PENETRATIONS.
- R06 INSULATE ROOF WITH MIN. R-30 RIGID INSULATION. PROVIDE 1" MIN. AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING.

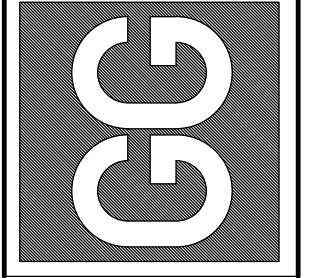
ATTIC NOTES

X01 THE VENTILATING AREA IN ENCLOSED ATTICS AND RAFTER SPACES SHALL BE 1/150 OF THE ATTIC SPACE (OR 1/300, PROVIDED A VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION) WITH AT LEAST 50% OF THE REQUIRED VENT. AREA LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MIN. AND 1/4" MAX. OPENING.
 A MIN. OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. CONTRACTOR TO VERIFY THAT ATTIC INSULATION DOES NOT OBSTRUCT ATTIC VENTING.
 PROVIDE MIN. 20" X 30" ATTIC ACCESS OPENING WITH A CLEAR HEIGHT OF OVER 30". MIN. CLEAR HEADROOM.
 VENTING SHALL CONSIST OF RIDGE VENTS AND EAVE VENTS ALL AROUND BUILDING PERIMTER AS FOLLOWS: (2) 1.5"Ø HOLES @ 12" O.C OR (3) 1.5"Ø HOLES @ 16" O.C.

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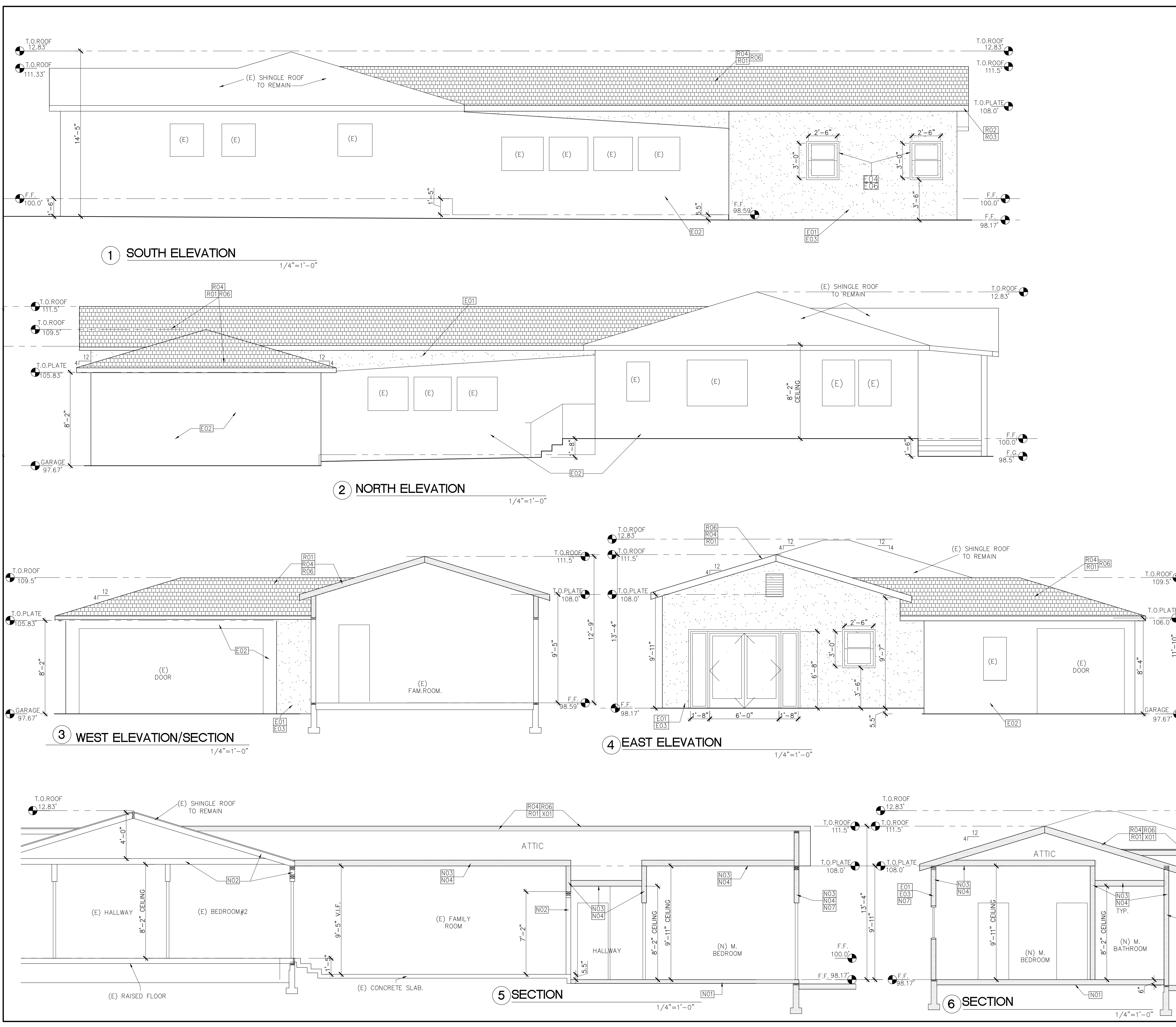
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sheet description
PROPOSED ROOF PLAN
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ELEVATION NOTES

E01 (N)/PATCH STUCCO, MATCH (E) TEXTURE, OVER 15# FELT, PROVIDE TWO LAYERS OF GRADE "D" PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH. U.N.O. PAINT COLOR OWNER SELECTED.

E02 (E) STUCCO WALL.

E03 CORROSION RESISTANT WEEP SCREED WITH 3/8" VERTICAL FLANGE INSTALLED 2" ABOVE SLAB/ 4" ABOVE GRADE TYPICAL (25065)

E04 (N) WINDOW/DOOR PER SCHEDULE. MFR, TRIM, AND COLOR TO BE SELECTED BY OWNER.

E05 AT EXTERIOR WALL PROVIDE 12" WIDE FLASHING PAPER AROUND TOP, BOTTOM, AND ALL SIDES OF THE OPENINGS, DIRECTLY OVER FRAMING PRIOR TO INSTALL OF SCRATCH COAT.

ROOF NOTES

THE CONTRACTOR SHALL CONFIRM THAT ALL ROOF AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING.

R01 ROOF SHALL BE CLASS "A" SHINGLE ROOF SYSTEM PER ICC ESR-3267 TO MATCH (E). INSTALL PER MANUFACTURER'S RECOMMENDATIONS. TOTAL ROOFING MATERIAL SHALL WEIGH MAX. 6 POUNDS/S.F. COLOR TO BE SELECTED BY OWNER.

R02 ROOF GUTTERS/SCUPPERS (26 GA GALV) SHALL CONNECT TO DOWNSPOUTS.

R03 WOOD FASCIA OR TRIM SHALL BE PAINTED, COLOR OWNER SELECTED.

R04 PROVIDE METAL FLASHING FOR ALL ROOF PENETRATIONS.

R06 INSULATE ROOF WITH MIN. R-30 RIGID INSULATION. PROVIDE 1" MIN. AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING.

ATTIC NOTES

X01 THE VENTILATING AREA IN ENCLOSED ATTICS AND RAFTER SPACES SHALL BE 1/150 OF THE ATTIC SPACE (OR 1/300, PROVIDED A VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION) WITH AT LEAST 50 % OF THE REQUIRED VENT AREA LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MIN. AND 1/4" MAX. OPENING.

A MIN. OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING. CONTRACTOR TO VERIFY THAT ATTIC INSULATION DOES NOT OBSTRUCT ATTIC VENTING.

PROVIDE MIN. 20" X 30" ATTIC ACCESS OPENING WITH A CLEAR HEIGHT OF OVER 30". MIN. CLEAR HEADROOM.

VENTING SHALL CONSIST OF RIDGE VENTS AND EAVE VENTS ALL AROUND BUILDING PERIMETER AS FOLLOWS: (2) 1.5"Ø HOLES @ 12" O.C OR (3) 1.5"Ø HOLES @ 16" O.C.

SECTION NOTES

N01 (N) CONC. SLAB OVER 6 MIL WP MEMBRANE O/ GRAVEL SEE STRUCTURAL.

N02 (E) FRAMING WALL/CEILING/ ROOF. MIN. R-19 INSULATION.

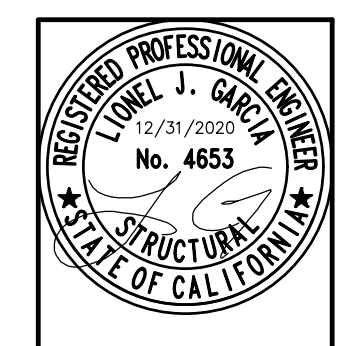
N03 (N) WOOD FRAMING WALLS/ CEILING/ROOF PER STRUCTURAL.

N04 MIN. 1/2" DRYWALL WALL & CEILING FINISH. PAINT COLOR SELECTED BY OWNER.

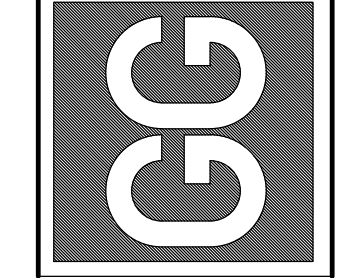
N05 PROVIDE 1HR. RATED BETWEEN GARAGE AND LIVING WITH MIN. 1/2" GYP. BOARD AT GARAGE SIDE..

N07 INSULATE EXTERIOR WALLS WITH R-13 INSULATION

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ELEVATIONS

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CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission December 9, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan Review No. 1203
1834-1848 Pacific Coast Highway, in the C-R, (Commercial Retail) Zone

PROJECT DESCRIPTION

A request for a Site Plan Review per Section 11-1.48.03(B) (uses exceeding 30% of ground floor space where the total ground floor area exceeds 5,000 square feet) of the Lomita Municipal Code to permit a tutoring center to occupy 1840 Pacific Coast Highway, a 1,160-square-foot, ground floor tenant space located at 1834-1848 Pacific Coast Highway in the Commercial Retail Zone (C-R) Zone. Filed by Christine Hathaway, 29352 Whitley Collins Drive, Rancho Palos Verdes, CA 90725 (Applicant).

RECOMMENDATION

Staff recommends that the Planning Commission adopt a resolution approving Site Plan Review No. 1203 subject to the attached findings and conditions and confirms that the project is exempt from CEQA requirements.

BACKGROUND

Project Description

The Applicant is requesting approval for a tutoring center to occupy an existing 1,160-square-foot, ground-floor unit (1840 PCH) in the 9,280-square-foot shopping center located at 1834-1848 Pacific Coast Highway.

Section 11-1.48.02(B) limits certain types of business uses to 30% of the development's total ground floor area in the C-R Zone. Those uses are primarily service based in nature, and include office, business and professional uses. A Determination of Similarity (DOS 2005-01) found tutoring centers similar to office, business, and professional uses, that business type is subject to the 30% cap of a shopping center's total ground floor area.

Section 11-1.48.03(B) permits the specified uses to occupy up to 50% of the ground floor area with a site plan approval.

Existing Conditions

The subject site is located in the center of the 1800 block of Pacific Coast Highway on the south side of the street. The City approved the 9,280-square-foot shopping center development in 1981 (SP 391). Two driveways connect the 29-space street-facing, parking lot to Pacific Coast Highway.

Presently, the shopping center contains seven-units, of which five are leased. The current tenants include a dentist office, a massage business, a printer/copy business, a pizza store, and a retail cellular store.

Per Section 11-1.48.02(B), the 1,620-square foot dental office and a 1,160 square-foot massage business are allowed by-right because their combined square footage (2,720 sq. ft.) does not exceed 30% of the shopping center’s ground floor area. The 1,160-square-foot tutoring center would exceed the 30% maximum total ground floor area allowed by right for service-based uses.

Adjacent Zoning and Land Uses

North	C-R (Commercial Retail) Current land uses: Shopping Center
South	C-R (Commercial Retail) Current land uses: Assembly Use (mosque)
West	C-R (Commercial Retail) Current land uses: Driveway for a mosque
East	C-R (Commercial Retail) Current land uses: 2-unit office building

ANALYSIS

General Plan and Zoning Designation Conformance

The General Plan designation for the subject site is commercial. The zoning designation for the subject property is C-R (Commercial Retail). Subject to Planning Commission site plan review, ground floor uses that are listed in Sec. 11-1.48.03(B) that do not exceed 50% the ground floor area are permitted in C-R zone. The project is consistent with these designations.

Development Standards

The project was reviewed with the applicable Code requirements as follows:

Development Standards	Project	Allowed/Required	Compliance
Lot Size	21,600 square feet	10,000 square feet	Yes
Square Footage of Uses	43% (2,720 sf + 1,160 sf = 3,950 sf)	< 50% (4,640sf)	Yes
Off-Street Parking	29	47	No*

*Legal nonconforming

Site Plan Review No. 1203

Uses specified in Section 11-1.48.03 (B) of the LMC are permitted with the Planning Commission's approval if they do not exceed 50% of the ground floor area. After reviewing the proposed development in accordance with Section 11-1.70.07, staff has determined that the proposed project is consistent with the following required findings:

1. *The Site Plan complies with all applicable provisions of Title 11;*

As set forth in the staff report and with Planning Commission review of the 1,160 square foot tutoring center as required under Section 11-1.48.03(B) of the LMC, the project complies with the applicable provisions of Title 11. As a whole, the shopping center will have 3,950 square feet of service-based uses, which is less than 50% of the entire shopping center's total ground floor square footage.

2. *The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan; and*

The site has not changed since its approval in 1981, except two years ago the parking lot was restriped to accommodate ADA-compliant parking spaces. The site possesses 160 feet of frontage on PCH with two 25-foot wide driveways. The driveway design permits vehicles to enter the shopping center with ease and not cause traffic congestion. There is no foreseeable increase in traffic due to the tutoring center occupying the space. The quantity of the parking is considered legal nonconforming, and the demand for parking is not necessarily greater than that of another occupant.

A tutoring center does not generate noise, pollution, or excessive trash; therefore, it should not create adverse effects on public health, safety and the general welfare. In addition, the surrounding properties are all zoned Commercial Retail, and are not orientated towards the proposed tutoring center.

The tutoring center is consistent with the elements of General Plan, specifically the Land Use Element.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design is suitable and functional. The proposed unit will contain a small waiting/pickup space at entrance, a reception desk, space for academic material, ten fixed tutoring tables with two seats per table, and two additional tables for graders. The maximum occupancy of 1840 PCH shall not exceed 50 people. (COA No. 19)

In addition, the building and the freestanding sign have not had any significant changes since approval in 1981 (SP No. 391).

Environmental Determination

Section 15301 exempts the operation, permitting, licensing or minor alteration of private structures involving negligible or no expansion of use beyond that existing use. The project consists of leasing a 1,160-square-foot, ground-floor space to a tutoring center, which is classified as an office, business, or professional use. Only minor interior work will occur, and no new square footage will be created. Staff has determined that there is no substantial evidence that the project may have a significant effect on the environment and recommends that the Planning Commission confirms the CEQA exemption. The Notice of Exemption is attached as Exhibit F to this staff report.

Public Notice

Notices of this hearing, dated November 27, 2019, were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, and at Lomita Park. As of the date this staff report was prepared, staff has not received any correspondence either for or against the proposed project.

Recommended by:



Alicia Velasco
Director of Community and Economic
Development

Prepared by:



Laura MacMorran
Assistant Planner

Exhibits:

- a. Resolution
- b. Vicinity Map
- c. Zoning Map
- d. General Plan Map
- e. Aerial Photograph
- f. Notice of Exemption
- g. Project Plans

RESOLUTION NO. PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN REVIEW NO. 1203, TO PERMIT A TUTORING CENTER TO OCCUPY 1840 PACIFIC COAST HIGHWAY, A 1,160-SQUARE-FOOT, GROUND FLOOR UNIT LOCATED AT 1834-1848 PACIFIC COAST HIGHWAY IN THE COMMERCIAL RETAIL ZONE (C-R) ZONE. FILED BY CHRISTINE HATHAWAY, 29352 WHITLEY COLLINS DRIVE, RANCHO PALOS VERDES, CA 90725 (APPLICANT).

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application to permit a tutoring center to occupy 1840 Pacific Coast Highway, a 1,160-square-foot, ground floor unit located at 1834-1848 Pacific Coast Highway in the Commercial Retail Zone (C-R) Zone. Filed by Christine Hathaway, 29352 Whitley Collins Drive, Rancho Palos Verdes, CA 90725 (Applicant).
- B. Under Section 11-1.48.03(B) of the Lomita Municipal Code (Code), uses exceeding 30% of the ground floor space where the total ground floor area exceeds 5,000 square feet in the C-R Zone are subject to site plan review and approval by the Planning Commission.
- C. Section 15301 of the California Environmental Quality Act guidelines exempts the operation, permitting, licensing or minor alteration of private structures involving negligible or no expansion of use beyond that existing use. The project consists of leasing a 1,160-square-foot, ground-floor space to a tutoring center, which is classified as an office, business, or professional use. Only minor interior work will occur, and no new square footage will be created.
- D. On December 9, 2019, the Planning Commission held a duly noticed public hearing and accepted public testimony.

Section 2. Pursuant to Sections 11-1.70.07 (Site Plan Review) of the Code, the Planning Commission of the City of Lomita finds, after due study and deliberation that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of this Title;

As set forth in the staff report and with Planning Commission review of the 1,160 square foot tutoring center as required under Section 11-1.48.03(B) of the LMC, the project complies with the applicable provisions of Title 11. As a whole, the shopping center will have 3,950 square feet of service-based uses, which is less than 50% of the entire shopping center's total ground floor square footage.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan;

The site has not changed since its approval in 1981, except two years ago the parking lot was restriped to accommodate ADA-compliant parking spaces. The site possesses 160 feet of frontage on PCH with two 25-foot wide driveways. The driveway design permits vehicles to enter the shopping center with ease and not cause traffic congestion. There is no foreseeable increase in traffic due to the tutoring center occupying the space. The quantity of the parking is considered legal nonconforming, and the

demand for parking is not necessarily greater than that of another occupant.

A tutoring center does not generate noise, pollution, or excessive trash; therefore, it should not create adverse effects on public health, safety and the general welfare. In addition, the surrounding properties are all zoned Commercial Retail, and are not orientated towards the proposed tutoring center.

The tutoring center is consistent with the elements of General Plan, specifically the Land Use Element.

3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture;

The development design is suitable and functional. The proposed unit will contain a small waiting/pickup space at entrance, a reception desk, space for academic material, ten fixed tutoring tables with two seats per table, and two additional tables for graders. The maximum occupancy of 1840 PCH shall not exceed 50 people. (COA No. 19)

In addition, the building and the freestanding sign have not had any significant changes since approval in 1981 (SP No. 391).

Section 3. The Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1203 subject to the attached conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. Approval of this permit shall expire 24 months from the date of approval by the Planning Commission, unless significant construction or improvements or the use authorized hereby have commenced. One or more extensions of time for use inauguration may be requested. No extension shall be considered unless requested at least 30 days prior to the expiration date.
3. By commencing any activity related to the project or using any structure authorized by this permit, Applicant accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
4. Applicant agrees, as a condition of adoption of this resolution, at Applicant's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicant's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
5. Applicant shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
6. If Applicant, owner or tenant fails to comply with any of the conditions of this permit, the Applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code.

7. Prior to issuance of building permits, Applicant shall correct all violations of the City Code existing on the project property.
8. Prior to issuance of building permits, Applicant shall sign a letter agreeing to the conditions of approval within this resolution.

PLANNING STANDARD CONDITIONS

9. The final building plans submitted by the Applicant with the building permit application shall depict all building materials and colors to be used in construction.
10. Before the City issues building permits, Applicant shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
11. Applicant shall provide for dust control at all times during project property preparation and construction activities.
12. Applicant shall not store construction materials or vehicles outdoors on the project property.
13. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
14. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute or ordinance is violated, the permit shall be suspended and the privileges granted hereunder shall lapse. The Applicant shall have been provided written notice to cease such violations and have failed to comply for a period of thirty days.
15. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
16. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred to the Planning Commission for a decision prior to the issuance of a building permit.
17. That final inspection shall not be granted until all conditions of approval have been met and verified by staff.
18. This approval is for a tutoring center to occupy the 1,160-square-foot unit located at 1840 Pacific Coast Highway.
19. The maximum occupancy shall not exceed 50 people per Building and Safety standards.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 9th day of December, 2019 by the following vote:

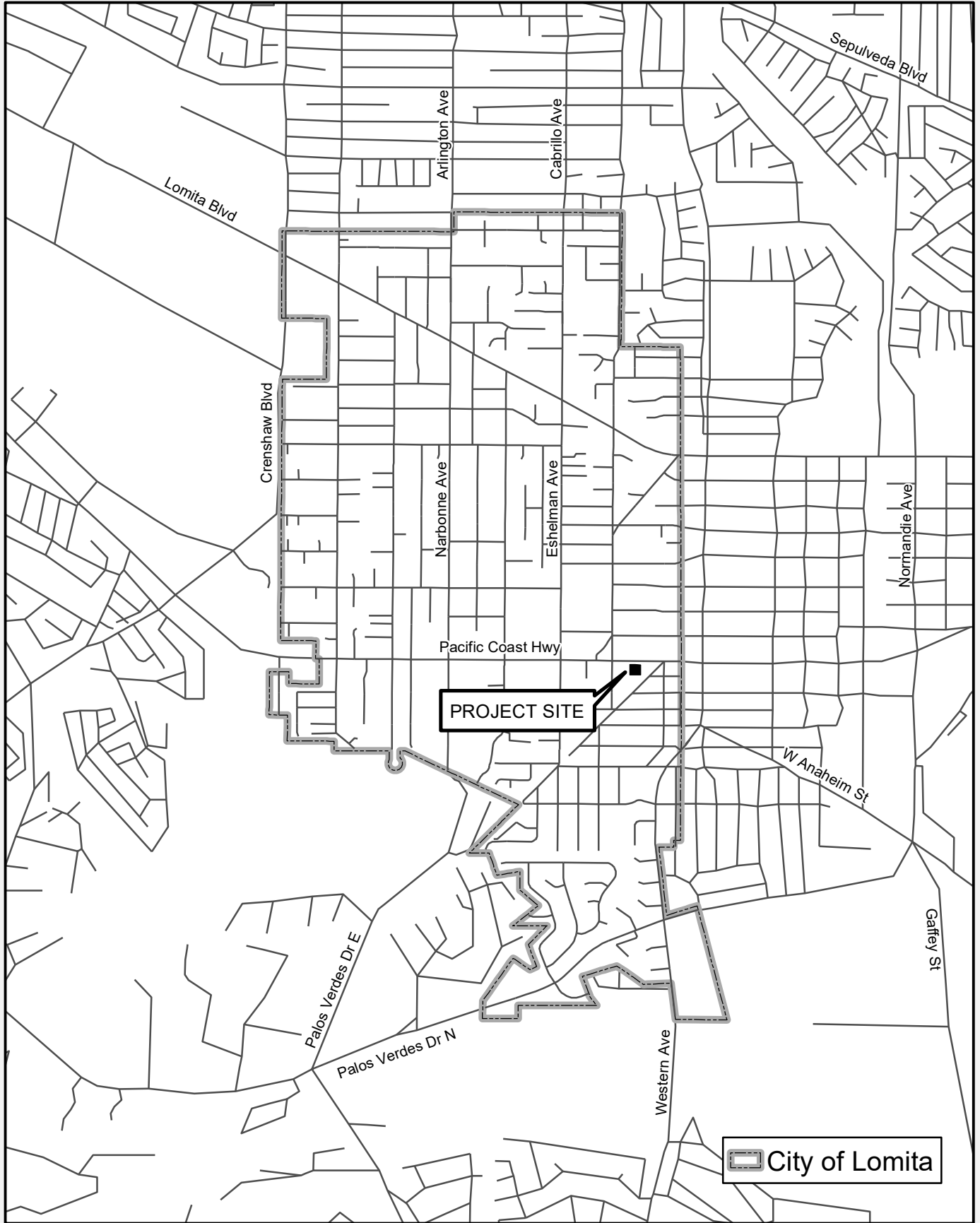
AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Community and Economic Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

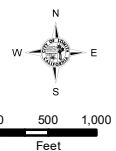
Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

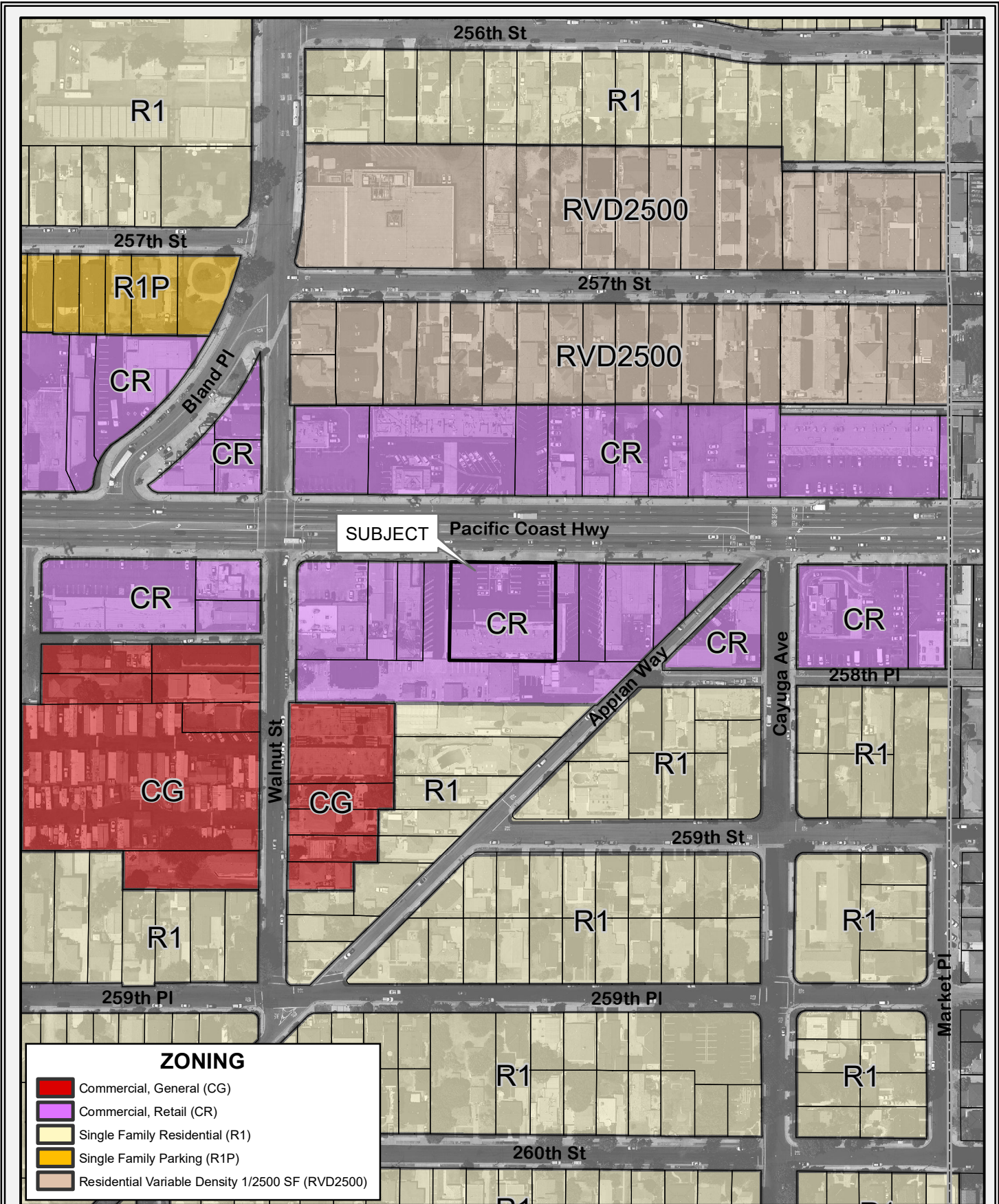


Site Plan Review No. 1203
1834-1848 Pacific Coast Highway
Exhibit B

Community Development
 November 2019

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/1834PCH_vty.mxd





ZONING

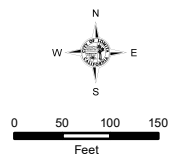
- Commercial, General (CG)
- Commercial, Retail (CR)
- Single Family Residential (R1)
- Single Family Parking (R1P)
- Residential Variable Density 1/2500 SF (RVD2500)

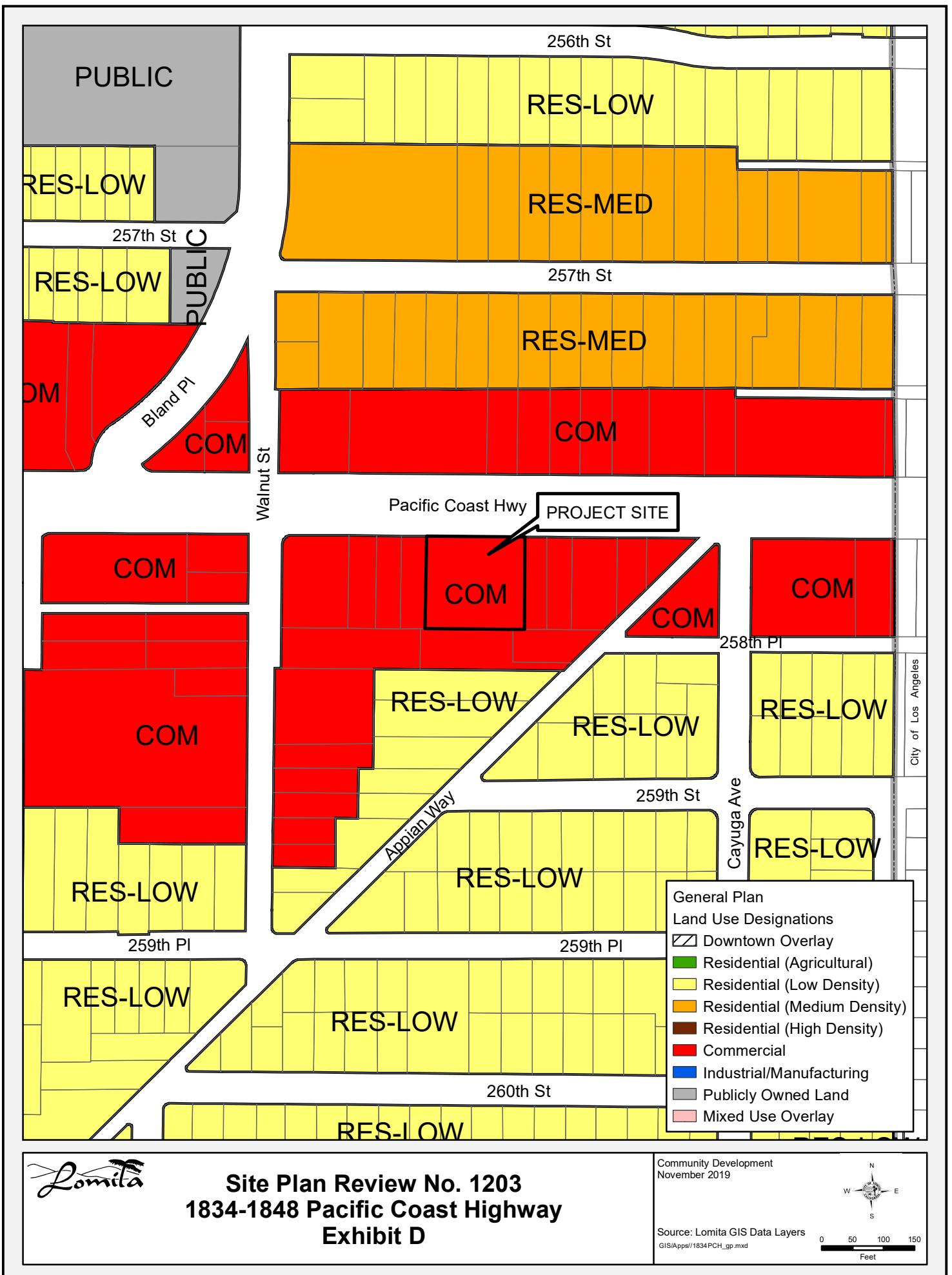


Site Plan Review No. 1203
1834-1848 Pacific Coast Highway
Exhibit C

Community Development
 November 2019

Source: Lomita GIS Data Layers
 GIS/Apps/1834PPCH_zon.mxd

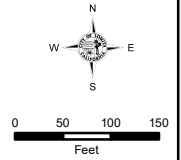


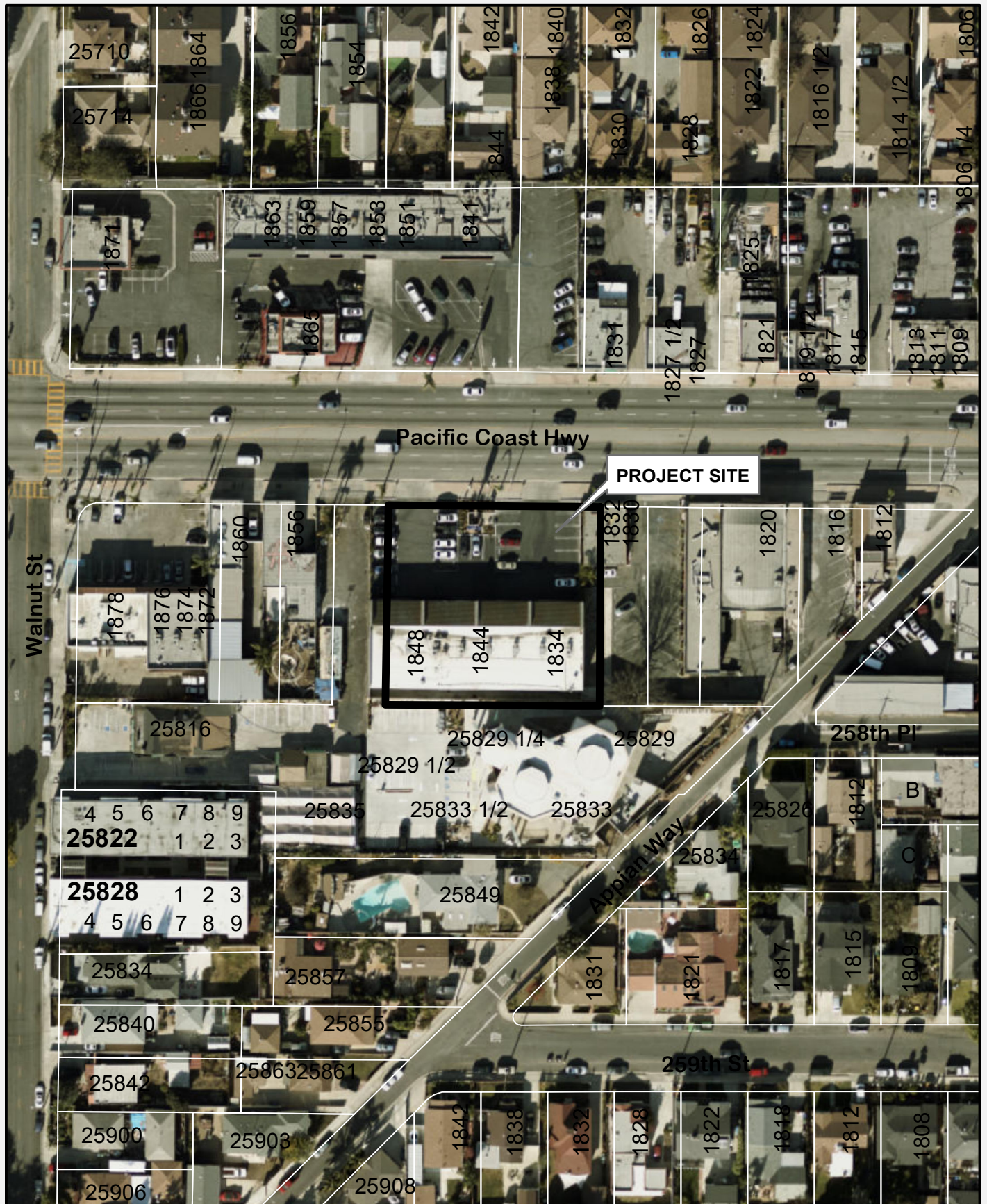


Site Plan Review No. 1203
1834-1848 Pacific Coast Highway
Exhibit D

Community Development
 November 2019

Source: Lomita GIS Data Layers
 GIS/Apps/1834PCH_gp.mxd

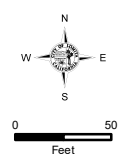




Site Plan Review No. 1203
1834-1848 Pacific Coast Highway
Exhibit E

Community Development
November 2019

Source: Lomita GIS Data Layers
/Apps/1834PCH_aer.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110
 FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1203 A request for a Site Plan Review per Section 11-1.48.03(B) of the Lomita Municipal Code to permit a tutoring center to occupy 1840 Pacific Coast Highway, a 1,160-square-foot, ground floor unit located at 1834-1848 Pacific Coast Highway in the Commercial Retail Zone (C-R) Zone. Filed by Christine Hathaway, 29352 Whitley Collins Drive, Rancho Palos Verdes, CA 90725 (the "Applicant").

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15301 (Existing Facilities))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons: Section 15301 exempts the operation, permitting, licensing or minor alteration of private structures involving negligible or no expansion of use beyond that existing use. The project consists of leasing a 1,160-square-foot, ground-floor space to a tutoring center, which is classified as an office, business, or professional use. Only minor interior work will occur, and no new square footage will be created. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.

 (Date)

 Alicia Velasco
 Director of Community and Economic
 Development



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission December 9, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Vesting Tentative Tract Map No. 82069
(2018-2020 Lomita Boulevard)

APPLICANT'S REQUEST

A request to allow a subdivision for condominium purposes for an existing 20-unit industrial complex for the property located at 2018-2020 Lomita Boulevard in the M-C, Light Manufacturing & Commercial Zone. Filed by Luigi Schiappa of Luigi Schiappa Development, 2040 Lomita Blvd., Lomita CA 90717.

RECOMMENDATION

Staff recommends that the Planning Commission recommend City Council approval of Vesting Tentative Tract Map No. 82069, subject to the attached conditions and to confirm the CEQA categorical exemption.

BACKGROUND

Existing Conditions

The project area consists of five lots with a total area of 57,595 square feet and contains two light industrial buildings. The larger building is 17,722 square feet in size and contains 13 units and the second building is 7,098 square feet and contains seven units. Both buildings were constructed in 1974 and considered legal. There is a total of 61 exterior parking spaces and 20 interior parking spaces. The property is a flat through lot with a primary driveway on Lomita Boulevard and two driveways on 248th Street.

Project Description

The applicant is proposing a vesting tentative tract map to permit the subdivision of the existing two industrial buildings with 20 rental units into 20 separate industrial condo units that can be sold individually. The project will not change the existing footprint of either building or the lot; it exclusively involves a change in the arrangement of ownership. Staff has added additional conditions to bring the property into compliance with current code requirements. These improvements include installation of parking lot lighting, restriping the parking lot, repairing damaged right-of-way, and correcting non-ADA-compliant paths of travel.

Parking Analysis

The project meets the Code-required parking for industrial uses. There are 61 existing exterior spaces and each industrial unit has a roll-up garage door that provides access to an additional parking space creating 20 additional parking spaces. Further, dividing the ownership of the existing 20 units from one property owner to multiple property owners will not affect the demand for parking.

Circulation and Access

2018-2020 Lomita Boulevard fronts both Lomita Boulevard and 248th Street. One two-way driveway provides access to and from Lomita Boulevard and two two-way driveways provide access to and from 248th Street. The property is one parcel west of the signalized intersection at Lomita Boulevard and Eshelman Avenue. Per the General Plan, Lomita Boulevard is considered a major highway and Eshelman Avenue is considered a collector. As a result, vehicular traffic is able to primarily utilize higher capacity roadways and access the site from a variety of directions.

Further, the Department of Public Works has placed conditions on the project requiring ADA compliance for sidewalks and driveways, and also parkway requirements for the property frontage on 248th Street.

ANALYSIS

Adjacent Zoning and Land Uses

Direction	Zone and Land Use
North	C-G (Commercial-General) Land use: Retail, small medical office
South	R-1 (Single-Family Residential) Land use: Single family residence, duplex
West	RVD-5000 (Residential, Variable Density)/M-C (Light Manufacturing & Commercial) Land use: Townhomes/multi-family residential
East	M-C (Light Manufacturing & Commercial) Land use: Auto Repair, apartment building

General Plan and Land Use Designation Conformance: The underlying general plan and land use designation for the property is Industrial/Manufacturing. This designation applies to areas in the City which are developed with light industrial uses and is limited to portions of east Lomita Boulevard and the area near the intersection of Crenshaw Boulevard and Lomita Boulevard. The proposed use of industrial condominiums is consistent with this general plan designation. The floor area ratio (FAR) for the industrial area is 1.0. This development has a FAR of 0.43 and is consistent with the General Plan.

Review of Development Standards

The project was reviewed with the applicable City Code requirements as follows:

Development Standard	Project	Allowed/Required	Compliance
Setbacks/Yards	Front: 0 ft. Side: 0 ft. Rear: 0 ft.	Front: 0 ft. Side: 0 ft. Rear: 0 ft.	Yes Yes Yes
Off-Street Parking	61 spaces and 20 spaces inside all units	63 spaces	Yes

Review of Vesting Tentative Tract Map

In July of 2019, the City’s consulting engineer, Quantum Engineering, finalized their review and recommended approval of VTTM No. 82771 with conditions. The City Public Works and Engineering staff also reviewed the map and recommended conditions numbered 26 through 36 in regards to ADA compliance, water meter locations, and right-of-way improvements. The Los Angeles County Fire Department’s Land Development Division reviewed the tract map and did not place any holds.

The proposed tentative tract project meets all of the required findings pursuant to the Subdivision Map Act Sections 66473.5 and 66474 (A through G) and Lomita Municipal Code Section 11-2.116:

- The subdivision will retain a light industrial complex which was constructed in the 1970’s. The proposed subdivision into industrial and commercial condominiums is consistent with the General Plan designation.
- The two buildings with a total of 20 units for light industrial/manufacturing occupants and a common parking lot are consistent with the General Plan’s land use industrial/manufacturing designation.
- The site is physically suitable for the type of development. The project has ingress and egress on to two streets and all utilities provide service to the site. The proposed project will not increase the number of vehicle trips to the site.
- The site is physically suitable for the density of development. Industrial land uses are permitted a FAR or 1.0 and this site has a FAR of 0.43. The site contains a sufficient number of exterior and interior parking spaces to satisfy the parking requirements.
- The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The site is located in an urbanized area and no fish, no wildlife or their habitats can be impacted by its development and is exempt from CEQA requirements.
- The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the tract map. The existing rights-of-way will remain intact and there is no foreseeable interference. As a condition of approval, the City’s Public Works Department will specify any needed rights-of-way repairs.
- The design of the subdivision will not cause serious public health problems. Sewer discharge requirements will occur pursuant to Section 66474.6 of the Subdivision Map Act.

Therefore, pursuant to the Municipal Code Section 11-2.116 and Government Code Sections 66473.5 and 66474 (A through G), the proposed tract map qualifies for approval.

Environmental Determination

The proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act guidelines. This category of exemptions “consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination.” The existing buildings will not undergo any expansion. The project solely consists of changing the ownership structure of the property from a single owner to multiple owners, which will not impact the environment.

Public Notice

Notices of this hearing, dated November 27, 2019 were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, the Lomita Library, and at Lomita Park.

Recommended by:

Prepared by:



Alicia Velasco
Community and Economic Development
Director



Laura MacMorran
Assistant Planner

Exhibits:

- a) Resolution
- b) Vicinity Map
- c) Zoning Map
- d) General Plan Map
- e) Aerial Photograph
- f) Notice of Exemption
- g) Vesting Tentative Tract Map

RESOLUTION NO. 2019

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF VESTING TENTATIVE TRACT MAP NO. 82069 TO ALLOW A SUBDIVISION FOR INDUSTRIAL/COMMERCIAL CONDOMINIUM PURPOSES FOR AN EXISTING 20 UNIT INDUSTRIAL COMPLEX FOR THE PROPERTY LOCATED AT 2018-2020 LOMITA BOULEVARD IN THE M-C, LIGHT MANUFACTURING & COMMERCIAL ZONE. FILED BY LUIGI SCHIAPPA OF LUIGI SCHIAPPA DEVELOPMENT, 2040 LOMITA BOULEVARD, LOMITA, CA 90717.

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for Vesting Tentative Tract Map No. 82069 to allow a subdivision for industrial/commercial condominium purposes for an existing 20 unit industrial complex for the property located at 2018-2020 Lomita Boulevard (APN Nos. 7376-022-009, 7376-022-010, 7376-022-004, 7376-022-006 and 7376-022-028) in the M-C, Light Manufacturing & Commercial Zone. Filed by Luigi Schiappa of Luigi Schiappa Development, 2040 Lomita Boulevard, Lomita, CA 90717 (“Applicant”)
- B. The Planning Commission has held a duly noticed public hearing on December 9, 2019, and accepted testimony for and against the proposed project.
- C. Said Vesting Tentative Tract Map has been reviewed and approved with conditions by the City’s Public Works Department, the Los Angeles County Fire Department Land Development Division, and the City’s civil engineering consultants.
- D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City’s General Plan.
- E. Section 15301 of the California Code of Regulations exempts the project from the requirements for the preparation of documents imposed by the California Environmental Quality Act. This category of exemptions “consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination.” The existing buildings will not undergo any expansion. The project solely consists of changing the ownership structure of the property from a single owner to multiple owners, which will not impact the environment.
- F. The Planning Commission finds that the applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and

welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. The Planning Commission of the City of Lomita finds, after due study and deliberation, that the project meets all of the required findings pursuant to the Subdivision Map Act Sections 66473.5 and 66474 (A through G) and Lomita Municipal Code Section 11-2.116:

- A. This subdivision is in conformance with the General Plan of the City of Lomita pursuant to Sections 66473.5 and 66474(A and B) of the Subdivision Map Act;

The underlying general plan land use designation for the property is Industrial. This designation applies to areas in the City which are developed with light industrial uses and is limited to portions of east Lomita Boulevard and the area near the intersection of Crenshaw Boulevard and Lomita Boulevard. The project is currently a light industrial complex which was constructed in the 1970's. The proposed subdivision into industrial and commercial condominiums is consistent with this general plan designation.

- B. The design or improvement of the proposed subdivision is consistent with the General Plan;

The existing design/improvement consists of two buildings with 20 units and a common parking lot for industrial and manufacturing uses. The site will not experience any physical changes. Improvements will be made to driveways, parkways and sidewalks and are consistent with the General Plan's policies.

- C. The proposed subdivision creates a total of 20 commercial condominium units which are utilized for light manufacturing and commercial purposes. This is consistent with the property's General Plan's light industrial and manufacturing land use designation. That the site is physically suitable for the type of development;

The site is physically suitable for the proposed industrial condominiums. The existing buildings meet the development standards for the M-C zone and no new construction is proposed. There are three two-way driveways for ingress and egress, and the all utilities provide service to the site.

- D. That the site is physically suitable for the density of the development;

The site is physically suitable for the density of the development. Industrial land uses are permitted a FAR of 1.0. The 57,595 square-foot site contains two buildings with a combined area of 24,936 square feet and has a FAR of 0.43. The site contains a sufficient number of exterior and interior parking spaces to satisfy the parking requirements.

The existing buildings currently have 20 rental units. The number of units will not increase with the subdivision of the site; the units will merely be under individual ownership rather than all units being owned by one individual.

- E. The design of the proposed subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;

The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The site is located in an urbanized area and no fish, no wildlife or their habitats can be impacted by its development and is exempt from CEQA requirements; The proposed subdivision is to create 20 condominium units within two existing buildings. No new construction is proposed and therefore no environmental damage will occur.

- F. The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public rights-of-way and/or easements within the tract map;

The design of the proposed subdivision has been reviewed by the City's Public Works Department and the City's civil engineering consultants who found that the design will not interfere with the free and complete exercise of a public entity and/or public rights-of-way. As a condition of approval, the City's Public Works Department will specify any needed rights-of-way repairs

- G. That there will be no violation of sewer discharge requirements pursuant to Section 66474.6 of the Subdivision Map Act.

There will be no change in the current sewer discharge from the site. The number of buildings and units will remain the same and therefore it is not anticipated that the subdivision will cause a violation of sewer discharge requirements.

Section 3. The Planning Commission of the City of Lomita hereby recommends City Council approval of Vesting Tentative Tract Map No. 82069 as shown on said tract map subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This Vesting Tentative Tract Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This Vesting Tentative Tract Map is granted for the plans dated February 20, 2018, ("the plans") on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community and Economic Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls.

3. This Tentative Tract Map shall automatically become null and void 24 months from the date of City of Lomita City Council approval, if the final map has not recorded prior to the expiration date. The Applicant must apply in writing to the City of Lomita before the expiration date for an extension of this approval per Section 11-2.355.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community and Economic Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Division.
6. By commencing any activity related to the project or using any structure authorized by this map, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
7. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this Vesting Tentative Tract Map and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.
8. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code.
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this Vesting Tentative Tract Map.
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
13. If Developer, owner or tenant fails to comply with any of the conditions of this Tentative Parcel Map, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
14. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property.

15. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPE CONDITIONS

16. Before submitting landscape and irrigation plans, Developer shall obtain the Community and Economic Development Director's approval of a plan showing on the project property all existing trees and identifying the trees to be saved, transplanted or removed.
17. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
18. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
19. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer.
20. The project shall meet the maximum allowable water usage requirements as calculated by the AB 325 formula. The calculations shall be shown on the submitted landscape plans for verification.
21. Developer shall submit two sets of median and parkway landscape and irrigation plans with the first submittal of public improvement plans. The City shall approve median and parkway landscape and irrigation plans when the City approves public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
22. Before the City accepts medians and parkways from Developer, the landscaping thereon must complete a plant establishment period of 90 days or such other time as specified in this permit.
23. Sprinkler heads must rotate and be designed with a 70% distribution uniformity in turf areas and 80% in non-turf areas.
24. Run off directional flow shall be detailed on the landscape plan with as much run-off water captured in landscaped areas as possible.
25. Turf and non-turf areas shall be installed on individual valves of the irrigation system.

ENGINEERING (CITY OF LOMITA PUBLIC WORKS) CONDITIONS

26. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications.
27. Per the Public Works Director approval, remove and replace driveway approaches, sidewalks, curbs and gutters from property line to property line, if missing, substandard, or broken along Lomita Boulevard and 248th Street, and shall be constructed to meet American with Disabilities Act requirements.
28. Per the Public Works Director approval, remove approximately 6' wide AC pavement from edge of gutter pan on 248th Street from east property line to west property line.
29. Per the Public Works Director approval, provide retention basin or infiltration system for the 50-year rain fall from hardscape and roof areas on site.
30. Per the Public Works Director approval, construct 6" VCP or SCR-35 sewer lateral with wye connection to the City sewer main.
31. All right-of-way improvements shall be completed prior to City Council approval of the final map.
32. The developer shall obtain an encroachment permit, and place bonds as necessary from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
33. Per the Public Works Director approval, the developer shall install separate water meters or sub-water meters for each unit with the brand/type of meter subject to the Department of Public Works approval.
34. All water meters shall be located outside of the driveway apron. The new location shall be to the satisfaction of the City's Public Works Director.
35. Plant street trees along the property frontage on Lomita Boulevard and 248th to the satisfaction of Public Works. Existing trees in dedicated right of way shall be removed and replaced if not acceptable as street trees.
36. Relocate all existing block walls within the right of way along the property frontage on Lomita Boulevard and 248th Street outside of the public right of way to the satisfaction of Public Works.

ENGINEERING (QUANTUM CONSULTING) CONDITIONS

37. Subdivision

- a) Applicant shall pay all development impact fees.
- b) Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the city.
- c) Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.
- d) Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar-Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, subordination must be executed by the easement holder prior to the filing of the final map.
- e) The owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the City Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.
- f) All utility extensions within the site shall be placed underground.
- g) All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the City for approval.
- h) Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete all to the satisfaction of Public Works.
- i) Prior to expiration of the tentative map, a final tract map must be processed through the

Planning Division prior to being filed with the Registrar- Recorder/County Clerk's Office.

j) A final subdivision guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. A preliminary title report was not provided with this submittal.

k) Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with the City to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (California Fish and Wildlife, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

38. Road

a) Construct any required new driveways to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.

b) Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on streets within this subdivision to the satisfaction of City of Lomita.

c) Repair any damaged improvements during construction to the satisfaction of the City of Lomita.

39. Trash

a) The subdivider shall provide an enclosed screened trash enclosure to serve the proposed units.

40. Water

a) The subdivider shall serve each proposed unit with a separate service and meter.

41. Requirements Prior to Final Map Recordation

- a) A maintenance agreement or CC&Rs may be required for all privately maintained drainage devices, slopes, and other facilities.

PLANNING STANDARD CONDITIONS

- 42. This permit is granted subject to the City's approval and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community and Economic Development Director.
- 43. Developer shall install parking lot lighting, which shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, lighting in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Developer shall recess or conceal under-canopy lighting elements so as not to be directly visible from a public street. The commercial parking area shall provide a minimum 1 foot-candle throughout. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Community and Economic Development Director.
- 44. Developer shall provide for dust control at all times during project property preparation and construction activities.
- 45. Developer shall establish a condominium association and shall submit covenants, conditions, and restrictions (CC&R's) for review and approval of the Community and Economic Development Director. The CC&R's shall identify regulations for parking, day-to-day operating procedures and the maintenance of common areas.
- 46. CC&R's shall expressly prohibit overnight parking of recreational vehicles or boats on the premises.
- 47. The applicant shall also comply with the attached conditions of approval from the County of Los Angeles Fire Department.
- 48. The parking lot shall be striped per City standards-. All non-ADA parking spaces shall be 9' wide by 19' deep and have wheel stops.
- 49. The planter facing Lomita Boulevard shall be upgraded and planted with landscaping not to exceed 3 feet in height to the satisfaction of the Community and Economic Development Director.
- 50. All required on- and off-site improvements shall be completed prior to recordation of the final map.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 9th day of December, 2019 by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:

Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Community and Economic Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

PROJECT: TR 82069 MAP DATE: July 19, 2019
ADDRESS: 2018 & 2020 Lomita Boulevard Planner: Laura MacMoran
City: Lomita
Inspector: Nancy Rodeheffer FPEA II Report Date: December 4, 2019

THE FIRE DEPARTMENT RECOMMENDS THAT THIS PROJECT BE APPROVED AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.

FAILURE TO COMPLY WITH THE LAND DEVELOPMENT UNIT HOLDS DURING THE TENTATIVE MAP PROCESS PRIOR TO PUBLIC HEARING, AND OR THE FINAL MAP REVIEW PRIOR TO RECORDATION, MAY RESULT IN THE BUILDING PLANS NOT BEING APPROVED DURING THE FIRE DEPARTMENT FIRE PREVENTION ENGINEERING SECTION BUILDING PLAN REVIEW.

The required fire flow for public fire hydrants at this location is 3,500 GPM at 20 psi for a duration of 3 hours, over and above the maximum daily domestic demand.

TENTATIVE MAP HOLDS:

1. Install one new fire hydrant on Lomita Boulevard adjacent to the westerly property line. The new required fire hydrant shall be designed to provide a minimum 3,500 Gallons Per Minute at 20 PSI for a minimum duration of 2 hours.

Water plans for the new required public fire hydrant shall be submitted to the County of Los Angeles Fire Department Fire Prevention Land Development Unit through the local water purveyor to epicla.lacounty.gov, prior to Final Map Recordation.

FINAL MAP REQUIREMENTS:

1. Submit the Final Map to the County of Los Angeles Fire Department Fire Prevention Land Development Unit for review and approval prior recordation at epicla.lacounty.gov
2. Label the drive aisles "No Parking Fire Lane" on the final map.
3. Provide verification of financial obligation (bond or receipt for the installation of

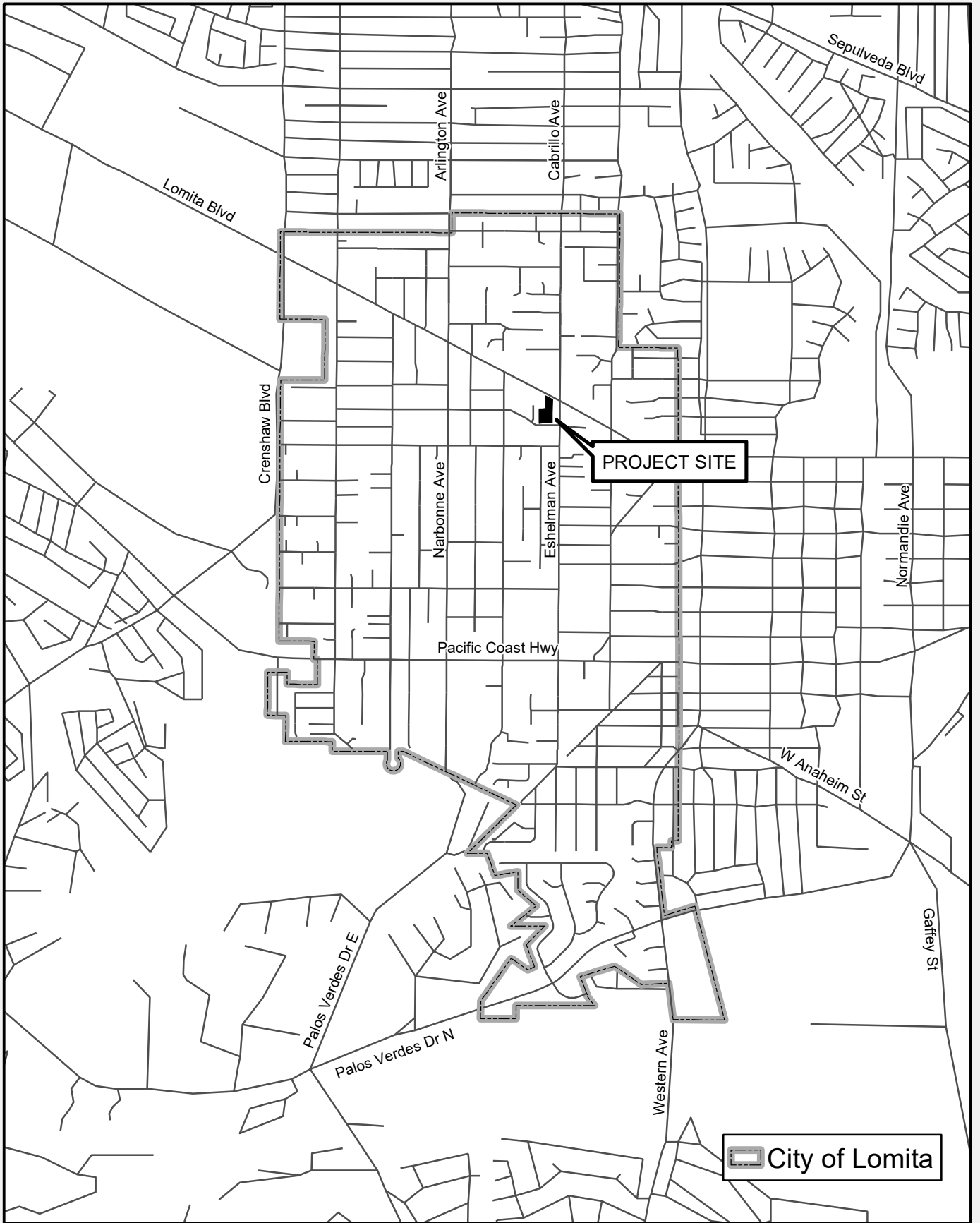


COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

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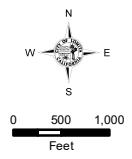
the required fire hydrant) or verification that the required fire hydrant has been installed. This information is required to be submitted for review prior to the County of Los Angeles Fire Department Fire Prevention Land Development Unit clearance for Final Map recordation

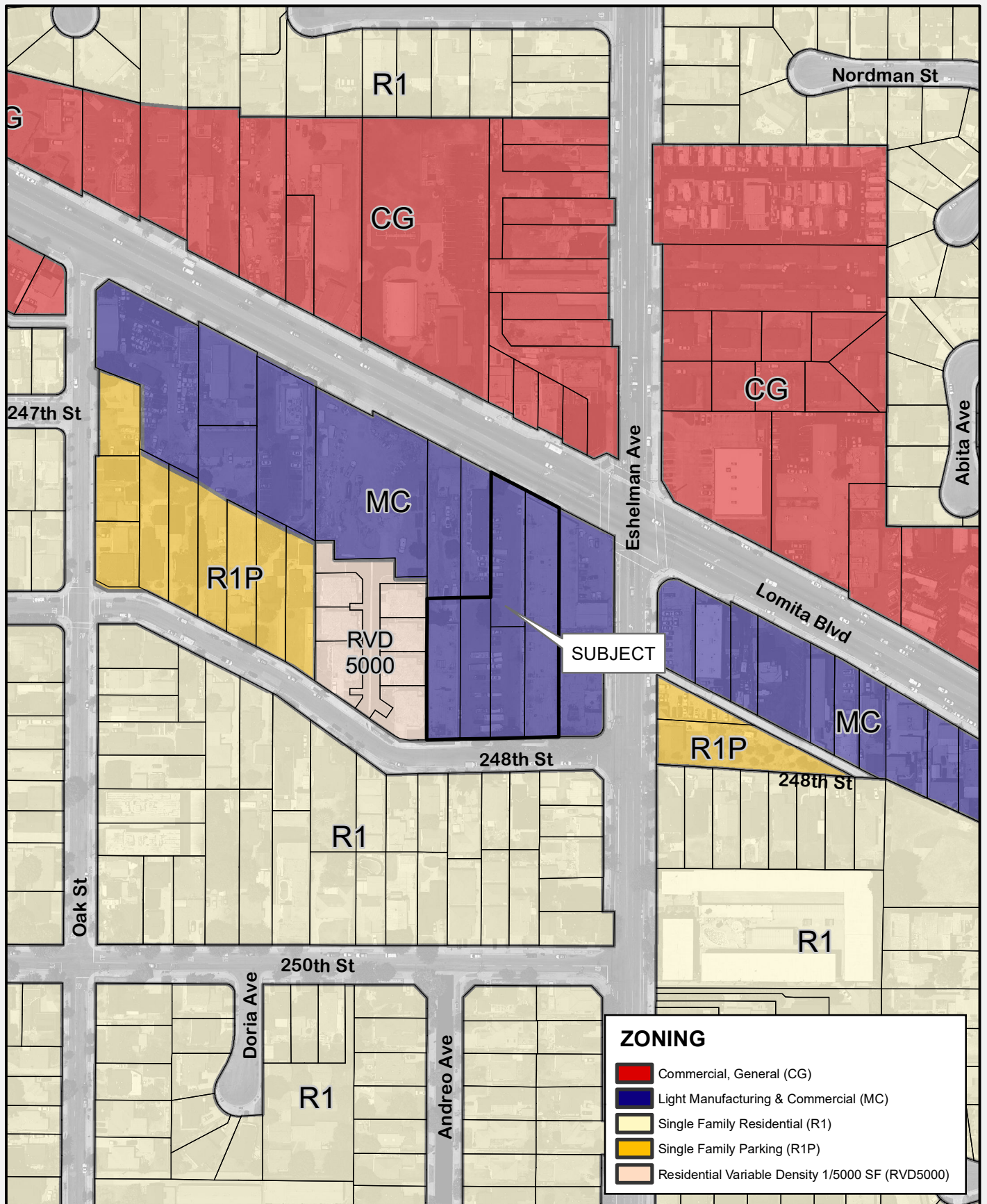







Vesting Tentative Tract Map No. 82069
2020 Lomita Boulevard
Exhibit B

Community Development
 September 2019

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/2020Lomita_vty.mxd





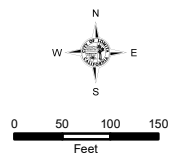
ZONING	
	Commercial, General (CG)
	Light Manufacturing & Commercial (MC)
	Single Family Residential (R1)
	Single Family Parking (R1P)
	Residential Variable Density 1/5000 SF (RVD5000)

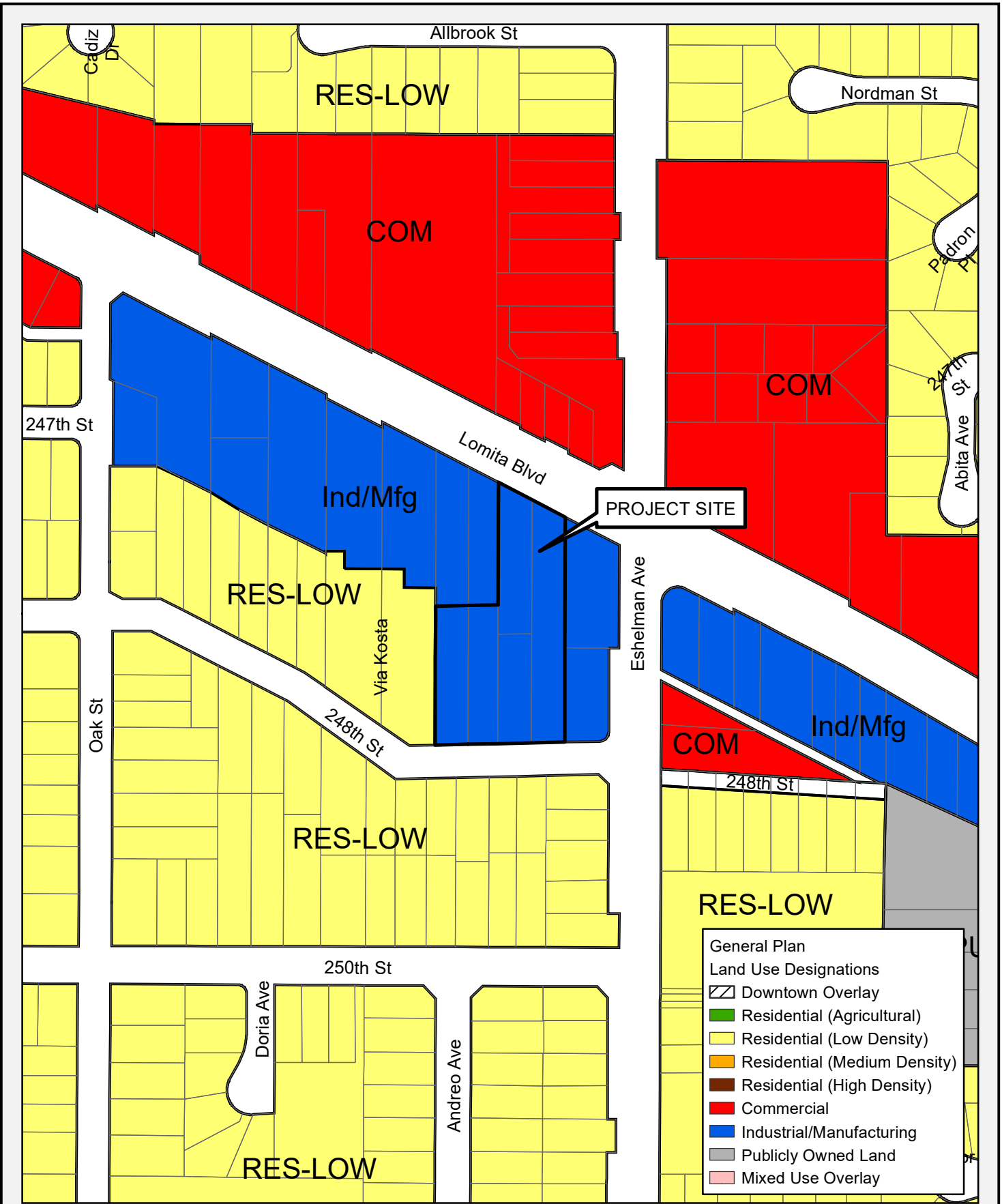


Vesting Tentative Tract Map No. 82069
2020 Lomita Boulevard
Exhibit C

Community Development
 September 2019

Source: Lomita GIS Data Layers
 /Apps/2020Lomita_zon.mxd





**General Plan
Land Use Designations**

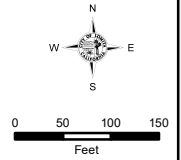
- Downtown Overlay
- Residential (Agricultural)
- Residential (Low Density)
- Residential (Medium Density)
- Residential (High Density)
- Commercial
- Industrial/Manufacturing
- Publicly Owned Land
- Mixed Use Overlay

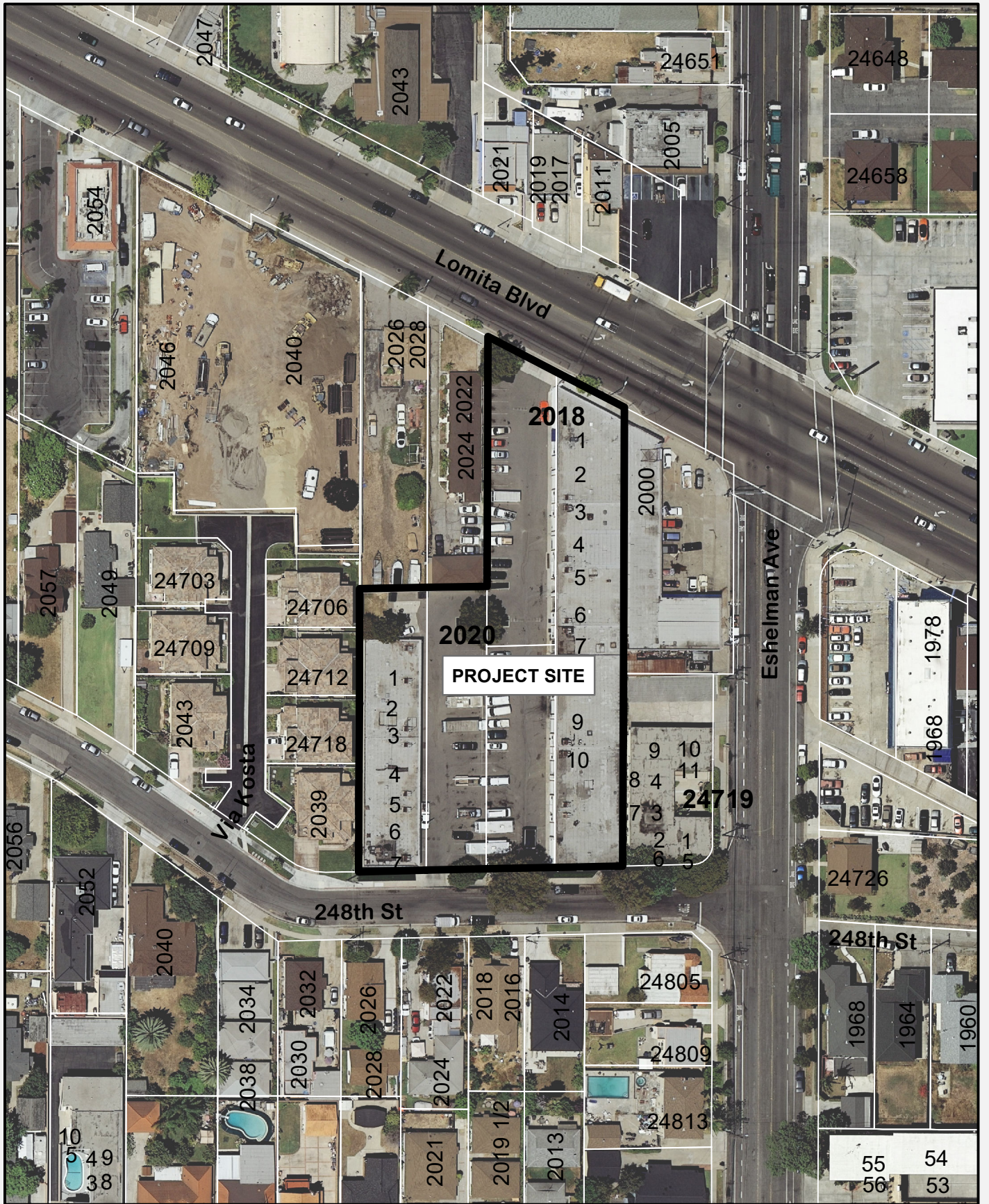


**Vesting Tentative Tract Map No. 82069
2020 Lomita Boulevard
Exhibit D**

Community Development
September 2019

Source: Lomita GIS Data Layers
GIS/Apps/2020Lomita_gp.mxd





**Vesting Tentative Tract Map No. 82069
2020 Lomita Boulevard
Exhibit E**

Community Development
September 2019

Source: Lomita GIS Data Layers
/Apps/2020Lomita_aer.mxd





Community Development Department
 Planning Division
 24300 Narbonne Avenue
 Lomita, CA 90717
 310/325-7110
 FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Vesting Tentative Tract Map No. 82069 – A request to allow a subdivision for industrial/commercial condominium purposes for an existing 20 unit industrial complex for the property located at 2018-2020 Lomita Boulevard (APN Nos. 7376-022-009, 7376-022-010, 7376-022-004, 7376-022-006 and 7376-022-028) in the M-C, Light Manufacturing & Commercial Zone. Filed by Luigi Schiappa, XXX. (“Applicant”)

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, §15301, Existing Facilities)
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons Pursuant to § 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines, project with negligible or no expansion may be found exempt from the requirements of CEQA. No additional square footage to the two existing light industrial buildings is proposed. Therefore, City Council has determined that there is no substantial evidence that the project may have a significant effect on the environment.

 (Date)

 Alicia Velasco
 Community & Economic Development
 Director

SCALE: 1" = 30'

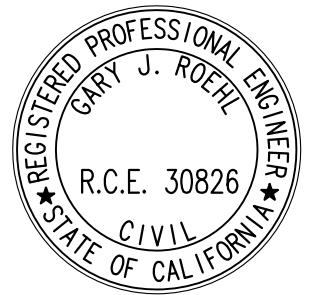
VESTING TENTATIVE

SHEET 1 OF 1 SHEET

TRACT NO.82069

IN THE CITY OF LOMITA
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

FOR CONDOMINIUM CONVERSION PURPOSES



SUBDIVIDER
LOMITA LOTTS, LLC
2040 LOMITA BOULEVARD, SUITE 100
LOMITA CA, 90717
PHONE 310-373-8555

LEGAL DESCRIPTION
PORTIONS OF LOTS 2 & 3
TRACT NO. 543
M.B. 17-4-22
APN 7376-022-004/006/009/010/028

JOB ADDRESS
2018-2020 LOMITA BOULEVARD
LOMITA, CA 90717

ENGINEER

DENN ENGINEERS

3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

DATE 2/20/2018

GARY J. ROEHL

R.C.E. 30826

18-047

NOTES

1. ALL EXISTING STRUCTURES TO REMAIN.
2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
3. THIS IS A 20 UNIT CONDOMINIUM CONVERSION PROJECT WITH 61 EXISTING PARKING SPACES.

* TRACT NO. 543
M.B. 17-4-22

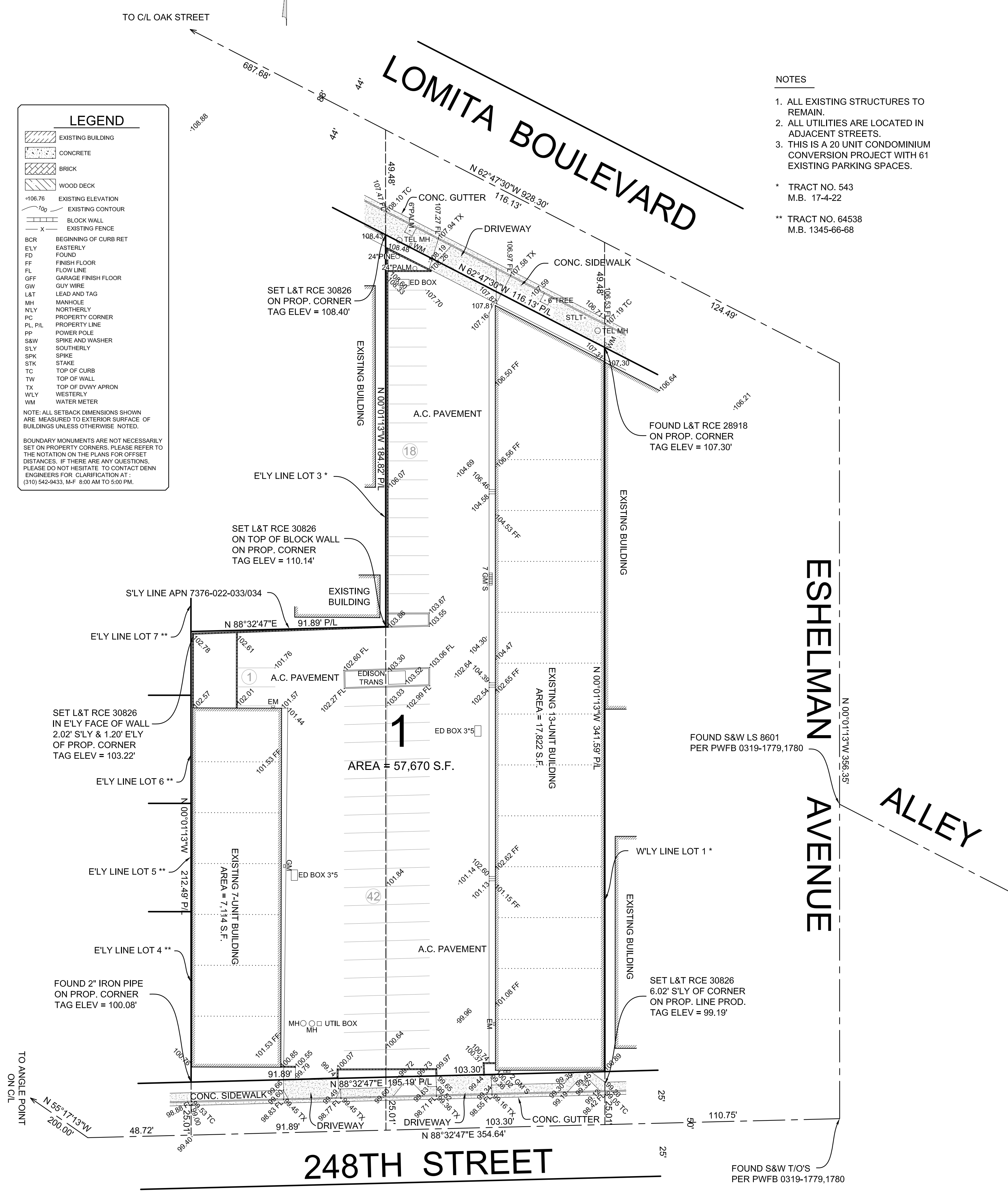
** TRACT NO. 64538
M.B. 1345-66-68

LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- +106.76 EXISTING ELEVATION
- 100 EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RET
- EY EASTERLY
- FD FOUND
- FF FINISH FLOOR
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER
- PL, P/L PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- S/LY SOUTHERLY
- SPK SPIKE
- STK STAKE
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DWVY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.



ESHELMAN AVENUE ALLEY

248TH STREET

18-047