

Monica Dever, Chair
Steve Cammarata, Vice-Chair
Michael Graf, Commissioner
Dave Popelka, Commissioner
Joaquin Santos, Commissioner
Jim Thompson, Commissioner
Barry Waite, Commissioner



PLANNING COMMISSION AGENDA
Lomita City Hall
Council Chambers
24300 Narbonne Avenue
Lomita, CA 90717
Phone: (310) 325-7110
Fax: (310) 325-4024

Next Resolution No. PC 2019-13

**AGENDA
REGULAR MEETING
LOMITA PLANNING COMMISSION
TUESDAY, NOVEMBER 12, 2019
6:00 PM**

1. OPENING CEREMONIES

- a. Call Meeting to Order
- b. Flag Salute
- c. Roll Call

2. ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on subjects other than those scheduled are requested to do so at this time. Please come to the podium and give your name and address for the record. In order to conduct a timely meeting, a 5-minute time limit per person has been established. Government Code Section 54954.2 prohibits the Planning Commission from discussing or taking action on a specific item unless it appears on a posted agenda.

3. CONSENT AGENDA

All items under the Consent Agenda are considered by the Commission to be routine and will be enacted by one motion in the form listed below. There may be separate discussions of these items prior to the time the Commissioners vote on the motion. Specific items may be removed from the Consent Agenda at the request of any Commissioner or staff.

- a) **APPROVAL OF MINUTES:** October 14, 2019

RECOMMENDED ACTION: Approve minutes

- b) **SITE PLAN REVIEW NO. 1188 – One Year Extension of Time**, a request for a one-year time extension to permit a new self-storage facility, which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Blvd. in the C-G, Commercial General Zone *(continued from October 14, 2019, meeting)*.

APPLICANT: Giuseppe Finazzo, 19 Stirrup Road, Rancho Palos Verdes, CA 90275
RECOMMENDED ACTION: Adopt Resolution of Approval subject to findings.

PUBLIC HEARINGS

- 4. **SITE PLAN REVIEW NO. 1202**, a request for a modification from Section 11-1.30.02 of the zoning code to permit a side yard setback of three feet with seven inches instead of the Code required five foot minimum, located at 25308 Woodward Avenue in the R-1 (Residential Low Density) Zone.

APPLICANT: Rian Rifkin, 25308 Woodward Avenue, Lomita, CA 90717
RECOMMENDED ACTION: That this item be continued to the December 9, 2019 Planning Commission meeting.

- 5. **CONDITIONAL USE PERMIT NO. 127 (REVISION)**, a request to revise Conditional Use Permit No. 127 to allow the Blackthorn Pub, which is located at 2158 Lomita Boulevard, to expand an existing restaurant which serves beer, wine and distilled spirits for onsite consumption to the adjacent tenant space at 2160 Lomita Boulevard and to create an outdoor seating area in the D-C, Downtown Commercial zone.

APPLICANT: Louis Skelton, 2537 D Pacific Coast Highway #168, Torrance, CA 90505
PRESENTED BY: Laura MacMorran, Assistant Planner
RECOMMENDED ACTION: Adopt Resolution of Approval subject to findings and conditions, and to confirm that the project is exempt from CEQA requirements.

- 6. **VESTING TENTATIVE PARCEL MAP NO. 82771 AND SITE PLAN REVIEW No. 1201**, a request for a site plan review and a vesting tentative parcel map for the development of three new residential units with a maximum height of 25 feet 6 inches on a 7,500 square-foot lot, located at 1749 257th Street in the RVD-2500 (Residential Variable Density) Zone.

APPLICANT: Hamid Pournamdari. P.O. Box 1627, Redondo Beach, CA 90278
PRESENTED BY: Laura MacMorran, Assistant Planner
RECOMMENDED ACTION: Adopt Resolution recommending City Council approval subject to findings and conditions.

WRITTEN COMMUNICATIONS

- 7. **COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS**

OTHER MATTERS

- 8. **STAFF ITEMS – ANNOUNCEMENTS**
- 9. **PLANNING COMMISSIONER ITEMS**
- 10. **COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS**

Tuesday, December 17, 2019

11. ADJOURNMENT

The next regular meeting of the Planning Commission is scheduled for Monday, December 9, 2019, at 6:00 p.m.

Written materials distributed to the Planning Commissioners within 72 hours of the Planning Commission meeting are available for public inspection immediately upon distribution in the City Clerk's office at 24300 Narbonne Avenue, Lomita, CA 90717. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, you should contact the office of the City Clerk, (310) 325-7110 (Voice) or the California Relay Service. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.

Only comments directed to the Commission from the podium will be recognized. Comments directed to the audience or generated from the audience will be considered out of order. Any person may appeal all matters approved or denied by the Planning Commission to City Council within 30 days of receipt of notice of action by the applicant. Payment of an appeal fee is required. For further information, contact City Hall at 310 325-7110.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted not less than 72 hours prior to the meeting at the following locations: Lomita City Hall lobby and outside bulletin board, Lomita Parks and Recreation, and uploaded to the City of Lomita website http://www.lomita.com/cityhall/city_agendas/.

Dated Posted: November 7, 2019



Linda E. Abbott, Deputy City Clerk

**MINUTES
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, OCTOBER 14, 2019
6:00 PM**

Item 3a

1. OPENING CEREMONIES

- a. Call Meeting to Order

Chair Dever called the meeting to order at 6:02 p.m. in the Council Chambers, Lomita City Hall, 24300 Narbonne Avenue, Lomita, CA 90717.

- b. Flag Salute

At the request of Chair Dever, Commissioner Santos led the flag salute.

- c. Roll Call

Responding to the roll call by Deputy City Clerk Abbott were Commissioners Graf, Popelka, Santos, Thompson, Vice-Chair Cammarata, and Chair Dever. Also present were Assistant City Attorney Patrick Donegan, Assistant Planner Laura MacMorran, Planning Intern James Dotson, and Community and Economic Development Director Alicia Velasco.

PRESENT: COMMISSIONERS: Graf, Popelka, Santos, Thompson, Vice-Chair Cammarata, and Chair Dever

ABSENT: COMMISSIONERS: Waite

2. ORAL COMMUNICATIONS

None.

3. CONSENT AGENDA

Item 3(b) was pulled by Commissioner Popelka for discussion.

- a) **APPROVAL OF MINUTES:** September 9, 2019

RECOMMENDED ACTION: Approve minutes

MOTION CARRIED by the following vote (there was no mover and seconder):

AYES: COMMISSIONERS: Graf, Popelka, Santos, Thompson, Vice-Chair Cammarata, and Chair Dever

NOES: COMMISSIONERS: None

ABSENT: COMMISSIONERS: Waite

RECUSE: COMMISSIONERS: None

b) **SITE PLAN REVIEW NO. 1188 – One Year Extension of Time**, a request for a one-year time extension to permit a new self-storage facility, which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Blvd. in the C-G, Commercial General Zone.

This item was pulled by Commissioner Popelka for discussion. He stated that he has not seen any significant construction at this site in five years, and that it is currently full of weeds and homeless people, and he was reluctant to give another extension.

Commissioner Graf stated that without assurances that construction would soon begin, the Planning Commission should let the project lapse for the time being.

Commissioner Popelka made a motion, seconded by Commissioner Santos, to continue this item to the November 12, 2019, meeting, and to invite the applicant to attend (as he was not present this evening).

MOTION CARRIED by the following vote:

AYES:	COMMISSIONERS:	Graf, Santos, Thompson, Vice-Chair Cammarata, and Chair Dever
NOES:	COMMISSIONERS:	None
ABSENT:	COMMISSIONERS:	Waite
RECUSE:	COMMISSIONERS:	None

PUBLIC HEARINGS

4. **CONDITIONAL USE PERMIT NO. 312**, a request for a conditional use permit to allow the sale of distilled spirits for on-site consumption, in addition to the existing sale of beer and wine, at a bona fide eating establishment located at 24503 Narbonne Avenue in the D-C (Downtown Commercial) Zone.

Planning Intern Dotson presented the staff report, gave the history of the building and site, and added that the name of the establishment will reflect Lomita's heritage.

Assistant Planner MacMorran responded to Commission questions regarding music permits, seating capacity and the floor plan.

Chair Dever opened the public hearing at 6:20 p.m.

Luigi Schiappa spoke on behalf of the building owner, who was out of town. He said he was unsure about the maximum occupancy but believes it to be 50 or 60, which is dependent upon the layout, but that the number will be compliant with the Building Code.

Chair Dever closed the public hearing at 6:22 p.m.

In response to Commission questions, Community Development Director Velasco clarified that a liquor license is the property of the site itself, and that any new establishment at that address assumes the license. She also stated that food will be served at the location.

Vice-Chair Cammarata made a motion, seconded by Commissioner Graf, to adopt the Resolution of Approval subject to findings and conditions, and to confirm that the project is exempt from CEQA requirements.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Graf, Santos, Thompson, Vice-Chair Cammarata, and
Chair Dever
NOES: COMMISSIONERS: None
ABSENT: COMMISSIONERS: Waite
RECUSE: COMMISSIONERS: None

5. **HEIGHT VARIATION PERMIT NO.107**, a request for a Height Variation Permit to construct a 1,030 square foot second story addition to an existing, single-story, single family home with a maximum ridge height of 22 feet 0 inches for the property located at 26407 Alta Vista Avenue in the R-1 (Single-Family Residential) Zone.

Vice-Chair Cammarata and Commissioners Graf and Popelka disclosed that they had each visited the site.

Assistant Planner MacMorran presented the staff report and stated that there are no significant views in the area in question as defined by City Code.

In response to Commission questions, Director Velasco stated that the definition of "significant view" states that the view is not located within the immediate vicinity, and that all property owners within 300 feet of the location were noticed, including those in Harbor City.

Chair Dever opened the public hearing at 6:34 p.m.

Efrain Santa Cruz, the applicant, said that he wanted to add two rooms and a deck and that the addition would not obstruct any views.

Bruce Brusavich said the addition would block his neighboring tenants' view and impair ventilation in their home, and asked that the request be denied.

Jason Brusavich, a Lomita resident, said his split-level home is adjacent to the property in question, but that all other homes on the street are one-story, so the addition would be out of character for the neighborhood, would block his view of the sky, and its proximity would be intrusive.

Chair Dever closed the public hearing at 6:40 p.m.

Commissioner Graf made a motion, seconded by Commissioner Santos, to adopt the Resolution of Approval subject to findings and conditions, and to confirm that the project is exempt from CEQA requirements.

MOTION CARRIED by the following vote:

AYES: COMMISSIONERS: Graf, Santos, Thompson, Vice-Chair Cammarata, and
Chair Dever
NOES: COMMISSIONERS: None
ABSENT: COMMISSIONERS: Waite
RECUSE: COMMISSIONERS: None

WRITTEN COMMUNICATIONS

6. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS

Director Velasco stated that Council approved the Downtown Design Manual and its associated Ordinance at the October 1, 2019, meeting.

OTHER MATTERS

7. STAFF ITEMS – ANNOUNCEMENTS

None.

8. PLANNING COMMISSIONER ITEMS

In response to a question from Commissioner Graf, Director Velasco stated that the Picerne Project developer will soon be pulling permits, and that after demolition and temporary shoring, a fence will be installed around the site for the duration of construction.

Commissioner Thompson and Chair Dever both commented on their attendance at the recent Popeyes opening.

Chair Dever and Commissioner Graf expressed appreciation to the Sheriff's Department for its parking enforcement at Lomita schools.

Commissioner Popelka stated that there is a lot of commercial property for sale in the City, and that it is about to really boom. He acknowledged City staff's work in regard to both the General Plan and the Downtown Plan.

9. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Commissioner Santos will attend the City Council meeting on Tuesday, October 1, 2019, and Commissioner Popelka will attend the City Council meeting on Tuesday, October 15, 2019.

10. ADJOURNMENT

There being no further business to discuss, the meeting was adjourned at 6:55 p.m.

ATTEST:

Linda E. Abbott, Deputy City Clerk



Item 3b

CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission

November 12, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan No. 1188
One-Year Extension of Time

RECOMMENDATION

Staff recommends that the Planning Commission approve the request for a one-year extension of time for Site Plan No. 1188 establishing a new expiration date of September 11, 2020.

BACKGROUND/ANALYSIS

On September 11, 2017, the Planning Commission approved Site Plan No. 1188 to permit a new self-storage facility, which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Boulevard, in the C-G, Commercial General Zone. Filed by Giuseppe Finazzo, 19 Stirrup Rd, Rancho Palos Verdes, CA 90275.

The project encountered delays due to plan corrections. The mechanical, electrical, grading and drainage, and industrial waste plans have received approval. In addition, the Fire Department has approved the project. According to Los Angeles County's Building and Safety Division, the plans have been reviewed and another round of building and structural corrections is expected. The City has received an updated landscaping plan.

Technically, this is the first extension for this project (SPR No. 1188); the project received Planning Commission approval in 2015, but that approval expired. Commercial projects are typically more complex than small residential projects and the project's plan review is substantially complete. The Planning Commission staff report and resolution dated September 11, 2017 have been attached for your reference. The Planning Commission minutes for September 11, 2017 have also been attached.

Recommended by:



Alicia Velasco
Community and Economic Development
Director

Prepared by:



Laura MacMorran
Assistant Planner

Exhibits:

- a. Resolution
- b. PC Staff Report and Resolution dated September 11, 2017
- c. PC Minutes dated September 11, 2017
- d. Letter from the Applicant dated September 9, 2019

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING A ONE-YEAR EXTENSION OF TIME FOR SITE PLAN NO. 1188 TO PERMIT A NEW SELF-STORAGE FACILITY, WHICH WILL INCLUDE 48,052 SQUARE FEET OF SELF-STORAGE SPACE AND 22 RECREATIONAL VEHICLE SPACES, AND A BLOCK WALL SEVEN FEET IN HEIGHT. THE PROJECT IS LOCATED AT 1837 LOMITA BOULEVARD, IN THE C-G, COMMERCIAL GENERAL ZONE. FILED BY GIUSEPPE FINAZZO OF 19 STIRRUP RD, RANCHO PALOS VERDES, CA 90275.

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for a one-year extension of time for Site Plan No. 1188 to permit a new self-storage facility, which will include 48,052 square feet of self-storage and space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Boulevard, in the C-G, Commercial General Zone. Filed by Giuseppe Finazzo of 19 Stirrup Rd, Rancho Palos Verdes, CA 90275.
- B. The applicant has submitted the plans for review, and intends to develop the project and satisfy the conditions of approval; and
- C. This is the first one-year extension requested for Site Plan No. 1188.

Section 2. Findings

The Planning Commission of the City of Lomita hereby approves a one-year extension of time for Site Plan No. 1188 establishing a new expiration date of November 12th, 2020.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 12th day of November 2019 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Community and Economic Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission September 11, 2017

FROM: Alicia Velasco, Principal Planner

SUBJECT: Site Plan Review No. 1188
1837 Lomita Boulevard in the C-G (Commercial, General) Zone

APPLICANT'S REQUEST

A request for a Site Plan Review to permit a new self-storage facility, which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Boulevard, in the C-G, Commercial General Zone. Filed by Giuseppe Finazzo of 19 Stirrup Rd, Rancho Palos Verdes, CA 90275.

RECOMMENDATION

Staff recommends that the Planning Commission adopt a resolution approving Site Plan Review No. 1188 subject to the attached findings and conditions, and to confirm the Categorical Exemption.

BACKGROUND

This project is identical to Site Plan Review No. 1162, which came before the Planning Commission at its March 9, 2015 meeting (staff report attached as Exhibit F), April 13, 2015 meeting (staff report attached as Exhibit G), and June 8, 2015 meeting (staff report attached as Exhibit H). At the June 8 hearing, the Commission approved Site Plan 1162 with conditions.

The approval granted for Site Plan Review No. 1162 was valid for a period of 24 months and expired on June 8, 2017. The project has yet to begin construction. The applicant has applied for building permits through the Department of Building & Safety and has cleared all requirements. The applicant applied for and received a time extension for the building permits in anticipation of their expiration and mistakenly believed this extension would also extend the Planning Commission's approval for Site Plan Review No 1162. The applicant was informed that the entitlement expired and that a new application for a site plan review was necessary. As such, the applicant is requesting the approval of Site Plan Review No. 1188, which maintains the same project description and conditions of approval as Site Plan Review No. 1162.

ANALYSIS

Project Description

The applicant is proposing to build a 48,052 square foot facility which will accommodate the storage of both personal property in designated self-storage units and 22 spaces of recreational vehicle ("RV") storage. The facility will be spread over four stories with the RV storage located on the first floor and the self-storage units located on the basement, second, and third floors. The project also proposes a 490 square foot office located at the front of the property on the first floor.

The project is identical to Site Plan Review No. 1162. As stated above, staff has attached the three staff reports for Site Plan Review No. 1162. The March 9, 2015 staff report, Exhibit G, details the project history, development standards, traffic impacts, and parking requirements. The April 13, 2015 staff report, Exhibit H, details the Planning Commission's direction relative to architectural details, landscaping, and perimeter wall height. The June 8, 2015 staff report, Exhibit I, details the final revisions made to the project relating to unit sizes and arrangement and the building's rear yard setback, all of which ultimately received the Planning Commission's approval.

Environmental Determination

Section 15332 (In-fill Development Projects) of Title 14 the California Environmental Quality Act Guidelines exempts the project from the requirements to prepare environmental documents because the project meets all required criteria: the proposed self-storage facility will be 48,052 square feet in size and located on an in-fill lot less than one acre (26,544 square feet); the development is fully located within the City limits, is consistent with the applicable General Plan and Zoning designations, and is fully served by all required utilities; and the site has no value as a habitat for endangered, rare or threatened species. Staff has determined that there is no substantial evidence that the project may have a significant effect on the environment. The Notice of Exemption is attached to this report.

Site Plan Review

Per Section 11-1.45.04 of the Lomita Zoning Code, a site plan review is required for new self-storage facilities and also for the outside storage of items. Since the proposed RV storage is not within a fully enclosed building, it is considered "outdoor storage" and subject to the Planning Commission's approval. The project is also proposing perimeter walls and a rolling gate that are seven feet in height which requires site plan approval since they are over six feet in height. Staff reviewed the project in accordance with Section 11-1.70.07 "Site Plan Review" and determined that the project is consistent with the minimum requirements of the Code with the following findings:

1. The Site Plan complies with all applicable provisions of this Title;

The subject property is located in the C-G zone. Pursuant to Section 11-1.45.04 of the Lomita Municipal Code, the Commission may approve self-storage facilities, outdoor storage, and walls exceeding six feet in height subject to site plan approval. The project complies with all other applicable requirements of the Article.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan;

The site is suitable for the proposed self-storage and RV storage facility. As detailed by the development standards analysis, the site can meet all zoning requirements. There have been several traffic studies submitted detailing that the adjacent street can accommodate the traffic expected with this type of use and that the proposed parking is adequate. To enhance the separation between the neighboring residential properties and promote compatibility with adjacent neighbors, staff has added a condition of approval requiring a minimum of five (5) live, 25-foot evergreen trees, spaced 15 feet on-center, in the rear setback area to provide screening to the adjacent residential areas. In addition, the building will be setback 16 feet from the rear property line to provide an adequate buffer between the proposed commercial development and the existing residences.

The RV storage area of the project will also not have an impact on surrounding properties due to its location and design on the property. The RV storage will be enclosed on two sides (north and south) and directly adjacent to a perimeter wall on the east side of the building. The only open area will be on the western wall towards the center of the project to provide access for the vehicles, and this area will be shielded from the Lomita Boulevard right-of-way due to the narrow shape of the lot and the installation of a security gate.

The proposed walls exceeding six feet in height will help to minimize any potential impact on the adjacent properties as well since the properties to the north are on a higher elevation than the subject site. The applicant also proposed a seven-foot rolling gate to help secure the storage area so that it will not have an impact on any of the surrounding properties.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture.*

The development and design is suitable and functional as the project meets all development standards and includes security and separation features, such as walls, gates, and trees, to enhance compatibility with surrounding properties.

Public Notice

Notices of this hearing dated August 29, 2017 were mailed to property owners within 300 feet of the subject property and posted at City Hall, the Lomita Library, and at Lomita Park.

Recommended by:



Gary Y. Sugano
Assistant City Manager

Prepared by:



Alicia Velasco
Principal Planner

Exhibits:

- a. Resolution
- b. Vicinity Map
- c. Zoning Map
- d. General Plan Map
- e. Aerial Photograph
- f. Planning Commission Staff Report and Minutes dated March 9, 2015
- g. Planning Commission Staff Report and Minutes dated April 13, 2015
- h. Planning Commission Staff Report, Minutes, and Resolution dated June 8, 2015
- i. Notice of Exemption
- j. Site Plans, Floor Plans, Elevations

RESOLUTION NO. 2017-22

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING SITE PLAN NO. 1188 TO PERMIT A NEW SELF-STORAGE FACILITY, WHICH WILL INCLUDE 48,052 SQUARE FEET OF SELF-STORAGE SPACE AND 22 RECREATIONAL VEHICLE SPACES, AND A BLOCK WALL SEVEN FEET IN HEIGHT. THE PROJECT IS LOCATED AT 1837 LOMITA BOULEVARD, IN THE C-G, COMMERCIAL GENERAL ZONE. FILED BY GIUSEPPE FINAZZO OF 19 STIRRUP RD, RANCHO PALOS VERDES, CA 90275.

Section 1. Recitals.

- A. The Planning Commission of the City of Lomita has considered a Site Plan Review to permit a new self-storage facility, which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces, and a block wall seven feet in height. The project is located at 1837 Lomita Boulevard, in the C-G, Commercial General Zone. Filed by Giuseppe Finazzo of 19 Stirrup Rd, Rancho Palos Verdes, CA 90275 (“Developer” or “Applicant”).
- B. The subject site is zoned C-G and designated “Commercial” by the City’s General Plan. Pursuant to Section 11-1.45.04 of the Lomita Municipal Code, a site plan review is required for all new proposed projects including self-storage, outdoor storage, and walls or fences exceeding six feet in height.
- C. On June 8, 2015 the Planning Commission held a duly noticed public hearing and accepted and considered all of the public testimony on an identical application for Site Plan Review No. 1162. The Commission found that the Applicant had addressed the comments from previous testimony and approved Site Plan No. 1162 subject to conditions set in Resolution No. 2015-13.
- D. The approval for Site Plan No. 1162 became null and void on June 8, 2017 after 24 months of inactivity in accordance with Condition of Approval No. 3 of Resolution No. 2015-13.
- E. On September 11, 2017 the Planning Commission held a duly noticed public hearing and accepted and considered all of the public testimony on the application.
- F. This project has been evaluated in accordance with the California Environmental Quality Act and in accordance with Section 15332 (In-fill Development Projects), projects characterized as in-fill development meeting the conditions described in that section may be found to be exempt from the requirements of CEQA. The proposed self-storage facility will be 48,052 square feet in size and located on an in-fill lot less than one acre (26,544 square feet). The development is fully located within the City limits, is consistent with the applicable General Plan and Zoning designations, and is fully served by all required utilities. The site also has no value as a habitat for endangered, rare, or threatened species. The Planning Commission has determined that the project is exempt under Section 15332 and there is no substantial evidence that the project may have a significant effect on the environment or that any of the exceptions to the exemptions apply.

Section 2. Findings.

Pursuant to Section 11-1.70.07 “Site Plan Review” of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation, that the following circumstances exist:

1. *The Site Plan complies with all applicable provisions of this Title;*

The subject property is located in the C-G zone. Pursuant to Section 11-1.45.04 of the Lomita Municipal Code, the Commission may approve self-storage facilities, outdoor storage, and walls

exceeding six feet in height subject to site plan approval. The project complies with all other applicable requirements of the Article.

- 2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan; and*

The site is suitable for the proposed self-storage and RV storage facility. As detailed by the development standards analysis, the site can meet all zoning requirements. There have been several traffic studies submitted detailing that the adjacent street can accommodate the traffic expected with this type of use and that the proposed parking is adequate. To enhance the separation between the neighboring residential properties and promote compatibility with adjacent neighbors, staff has added a condition of approval requiring a minimum of five (5) live, 25-foot evergreen trees, spaced 15 feet on-center, in the rear setback area to provide screening to the adjacent residential areas. In addition, the building will be setback 16 feet from the rear property line to provide an adequate buffer between the proposed commercial development and the existing residences.

The RV storage area of the project will also not have an impact on surrounding properties due to its location and design on the property. The RV storage will be enclosed on two sides (north and south) and directly adjacent to a perimeter wall on the east side of the building. The only open area will be towards the center of the project to provide access for the vehicles, and this area will be shielded from the Lomita Boulevard right-of-way due to the narrow shape of the lot and the installation of a security gate.

The proposed walls exceeding six feet in height will help to minimize any potential impact on the adjacent properties as well since the properties to the north are on a higher elevation than the subject site. The Applicant also proposed a seven-foot rolling gate to help secure the storage area so that it will not have an impact on any of the surrounding properties.

The proposed use and project is consistent with the "Commercial" General Plan land use designation and is a permitted use within the corresponding CG zone.

- 3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type or architecture.*

The development and design is suitable and functional as the project meets all development standards and includes security and separation features, such as walls, gates, and trees, to enhance compatibility with surrounding properties.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby approves Site Plan Review No. 1188 subject to compliance with all applicable laws and ordinances of the City as well as the addition of the following conditions:

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans dated May 11, 2015, ("the plans") on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls.

3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend, and hold harmless the City and its agents, officers, and employees from and against any claim, action, or proceeding to attack, review, set aside, void, or annul the approval of the resolution or any condition attached thereto or any proceedings, acts, or determinations taken, done, or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
7. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required per City Code.
8. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
9. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit.
10. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic, or otherwise potentially hazardous to human health to be handled, stored, or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
11. If Developer, owner, or tenant fails to comply with any of the conditions of this permit, the Developer, owner, or tenant shall be subject to a civil fine pursuant to the City Code.
12. Prior to the issuance of building permits, Developer shall correct all violations of the City Code existing on the project property.
13. Prior to the issuance of building permits, Developer shall sign an affidavit agreeing to the conditions of approval within this resolution.

FIRE DEPARTMENT STANDARD CONDITIONS

14. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Los Angeles County Fire Department and in compliance with the City Code.
15. Before the City issues building permits, Developer shall obtain the Los Angeles County Fire Department approval of a plan to ensure fire equipment access and the availability of water for fire

combat operations to all areas of the project property. The Los Angeles County Fire Department shall determine whether or not the plan provides adequate fire protection.

16. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. The tests must be certified by a mechanical, civil, or fire protection engineer. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Los Angeles County Fire Department and the City Engineer.
17. Developer shall identify all hydrants and fire protection equipment on the project property as required by the Los Angeles County Fire Department.

LANDSCAPING STANDARD CONDITIONS

18. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
19. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by the Community Development Director.
20. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer.
21. All trees planted or placed on the project property by Developer shall be at least a 36-inch-box size. All shrubs and vines shall be at least a five-gallon size, except as otherwise specified by this permit.
22. The project shall meet the maximum allowable water usage requirements as published by the California Department of Water Resources in compliance with AB 325. The calculations shall be shown on the submitted landscape plans for verification.
23. Developer shall submit four sets of median and parkway landscape and irrigation plans with the first submittal of public improvement plans. Median and parkway landscape and irrigation plans shall be submitted for approval with public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
24. Before the City accepts medians and parkways from Developer, the landscaping thereon must complete a plant establishment period of 90 days or such other time as specified in this permit.
25. Sprinkler heads must rotate and be designed with 70% distribution uniformity in turf areas and 80% in non-turf areas.
26. Runoff directional flow shall be detailed on the landscape plan with as much run-off water captured in landscaped areas as possible.
27. Turf and non-turf areas shall be installed on individual valves of the irrigation system.

LANDSCAPING SPECIAL CONDITIONS

28. The Applicant shall provide a minimum of five (5), live 25-foot-tall evergreen trees (36-inch-box size) to be distributed 15 feet on-center in the rear yard setback.

29. The type and location of trees to be planted in the rear yard setback shall not undermine the existing retaining wall located to the rear of the property.
30. A minimum of three (3) trees (36-inch-box size or larger) shall be installed along the required landscaped area facing Lomita Boulevard.

PLANNING STANDARD CONDITIONS

31. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
32. The Developer shall install a solid waste and recyclable material storage area as required by Los Angeles Department of Building and Safety.
33. Any application for a minor modification to the project shall be accompanied by three copies of the plans reflecting the requested modification, together with applicable processing fees.
34. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
35. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible.
36. Developer shall provide for dust control at all times during project property preparation and construction activities.
37. Developer shall stripe loading zones for loading and unloading activities only and post adequate signage to prohibit storage or other non-loading activity within the loading zone.
38. Developer shall not store construction materials or vehicles outdoor on the project property.
39. It is further declared and made a condition of this permit that if any condition of this permit is violated, or if any law, statute, or ordinance is violated, the permit may be revoked, suspended, or modified by the Planning Commission or the City Council at any time, after a noticed hearing in accordance with the Lomita Zoning Ordinance.
40. The Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
41. The final inspection shall not be granted until all conditions of approval have been met and verified by staff.
42. The Community Development Director may approve minor changes to the approved plans. For numerical standards, the Community Development Director may approve deviations up to 10% if City code requirements are otherwise met.
43. In the event of a disagreement in the interpretation or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
44. It is hereby declared to be the intent of the Planning Commission that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.

PLANNING SPECIAL CONDITIONS

45. This permit allows the construction of a self-storage facility with recreational vehicle storage and walls with a maximum of seven feet in height at the project property.
46. The Applicant shall submit a photometric plan that provides energy-efficient, vandal-resistant lights in their parking areas, arranged to reflect light away from adjoining properties. All parking lot areas shall be lit at 1-foot candle or greater, not to exceed 3-foot candles. Design and location of lighting in the parking area will be subject to the Community Development Director's approval.
47. The project property's on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, light standards in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Developer shall recess or conceal under canopy lighting elements so as not to be directly visible from a public street. Developer shall submit a lighting plan showing standard height and material for design review and approval of the Community Development Director.
48. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall divert lighting downward onto the project property and shall not cast light on any adjacent property or roadway.
49. The Applicant shall install 25 feet of red curb immediately west and east of the project property's driveway located on Lomita Boulevard to provide additional visibility for that access.
50. The Applicant shall provide at least three (3) feet of vertical airspace to be kept clear east and west of the project property's driveway on Lomita Boulevard to further enhance motorists' awareness when exiting the driveway.
51. Developer shall pay the applicable Water Facilities Fee, currently one-and-a-half (1½) percent of the valuation of the development.
52. Developer shall pay the applicable Commercial Development Tax.
53. The Developer shall pay the Parkway Tree Fee.
54. Developer shall provide sound attenuation systems to reduce the noise generated by rooftop mechanical and Heating, Ventilation, and Air Conditioning ("HVAC") equipment to the satisfaction of the Community Development Director.
55. All rooftop mounted mechanical and HVAC equipment shall be architecturally screened by use of similar material, texture, and finish as the rest of the building and shall be painted to match the building's exterior.
56. The Developer shall install "No Trespassing" & "No Skateboarding" signage to the satisfaction of the Community Development Director.
57. The permitted hours of operation for the self-storage facility are 8:00 a.m. to 8:00 p.m. every day of the week.
58. On-site management shall be present during all hours of operation.
59. On-site security personnel shall be present between the hours of 8:00 p.m. and 8:00 a.m.
60. No hazardous materials shall be stored anywhere on the project property or within any storage unit.

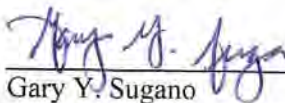
61. The block wall at the rear north side of the property shall be constructed before construction of the structure to the extent feasible as determined by the Community Development Director.
62. The perimeter block wall shall be seven feet in height as measured from the higher grade.
63. The project property's lighting located along the rear (north) elevation shall be motion sensor activated and reviewed and approved by the Community Development Director as part of the lighting plan.
64. All signs, including those shown on the plans, shall be reviewed under a separate permit and comply with Section 11-1.67 (Signs) of the Lomita Municipal Code.
65. There shall be no repair or maintenance of the recreational vehicles on-site.
66. The Developer shall provide a minimum of three (3) trees subject to review and final placement by the Community Development Director.
67. In accordance with Lomita Zoning Code Section 11-1.66.04 (Loading), the Developer shall provide a minimum of three (3) designated loading spaces. Final location shall be to the satisfaction of the Community Development Director.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 11th day of September, 2017 by the following vote:

AYES: Commissioners: Thompson, Cammarata, Dever, Hoy, Popelka, Santos, Graf
NOES: Commissioners: None
ABSENT: Commissioners: None



Michael Graf, Chair

ATTEST: 

Gary Y. Sugano
Assistant City Manager

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

A REGULAR MEETING OF THE
LOMITA PLANNING COMMISSION

1. OPENING CEREMONIES

- a. Call Meeting to Order

Chair Graf called the meeting to order at 6:30 PM in the Council Chambers, Lomita City Hall, 24300 Narbonne Avenue, Lomita, CA 90717.

At the request of Chair Graf, Commissioner Dever led the flag salute.

- b. Roll Call

Responding to roll call by Recording Secretary Teresa Vallejo were Commissioners Cammarata, Dever, Hoy (arrived at 6:32pm), Popelka, Santos, Thompson and Graf. Also present were Assistant City Attorney Lauren Langer, Principal Planner Alicia Velasco and Assistant Planner Laura MacMorran and Administrative Analyst Daniella Ward.

2. ORAL COMMUNICATIONS

None.

3. CONSENT AGENDA

- a. Approval of Minutes: August 14, 2017

Commissioner Popelka moved to approve the August 14, 2017 Minutes. Commissioner Santos seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Popelka, Santos, Cammarata, Dever, Thompson, Graf
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: Hoy
ABSENT: COMMISSIONERS: None

Chair Graf requested items #4 and #5 to be reversed for discussion. Commissioner Thompson will be recusing himself from item #5.

Commissioner Cammarata moved to reverse items #4 and #5. Commissioner Santos seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Cammarata, Santos, Dever, Hoy, Popelka, Graf
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: Thompson
ABSENT: COMMISSIONERS: None

PUBLIC HEARINGS

- 4. SITE PLAN REVIEW NO. 1188** – A request to permit a new self-storage facility which will include 48,052 square feet of self-storage space and 22 recreational vehicle spaces and to permit a block wall seven feet in height. The project is located at 1837 Lomita Blvd., in the C-G, Commercial General Zone. Filed by Giuseppe Finazzo, 19 Stirrup Road, Rancho Palos Verdes, CA 90275.

Principal Planner Alicia Velasco presented the report. The General Plan and Zoning designation for this property is Commercial. The existing condition of the lot is that it's 26,544 sq. ft. and is currently vacant. This is the fifth proposal for a self-storage facility at this location. The four previous proposals did expire, including Site Plan Review No. 1162 which is identical to this proposal. The applicant is here this evening, and he will be able to speak regarding the expiration. However, in the staff report, there was an explanation that the project is prepared for Building and Safety permits; but applicant had requested a renewal for Building and Safety not realizing that it did not trigger a renewal through the City as well and that there are actually two separate entities.

The identical project was initially approved on June 8, 2015 and only valid for 24 months and expired on June 8, 2017. The Building and Safety plans have been approved. Details of the identical previous proposal were briefly reviewed. The Conditional of Approval remains regarding the evergreen trees being planted in that space. The majority of the parking is located at the front with the office; there is access to the rear of the property and the fire truck turnaround. The RV storage spaces are at grade and also loading spaces which were a Condition of Approval from the previous proposal. Power point presentation showed elevations of the project.

A traffic study was prepared by a licensed engineer for the previous proposal which found that the trip generation rates were 121 trips per day and that the project will have no impact on current operating levels on Lomita and Western Boulevards. A parking analysis was also conducted because the City doesn't have a parking requirement for self-storage facilities. That analysis found that the parking ratio of one space per 5,000 sq. ft. is appropriate for this type of use. The project requires 12 spaces. The project meets all development standards including providing those 12 parking spaces.

Staff reviewed this project with the required site plan review findings and found that it's identical to the previously approved site plan and adheres to those conditions of approval. It meets all development standards and is consistent with the general plan. The site is suitable for the proposed self-storage and RV storage facility. The proposed 7 ft. walls and gates minimize potential impact on the adjacent properties, and the traffic study determined that there will be no impact. Staff recommends approving Site Plan No. 1188 with the attached conditions.

Chair Graf opened the public hearing.

Joe Finazzo, applicant, stated that they had a couple of setbacks with the project. One was a personal issue with immediate family. The other issue was the L.A. County Department of Bldg. & Safety office in Alhambra. They have a huge waiting time before sending the plans back to applicant; and just before final approval, there was a problem with the fire department that held up the permit for the fire portion of the project. Everything is now finalized and ready to move forward as soon as site plan review is approved.

George Kivett, Lomita resident, is in favor of the project and would recommend approval. He feels that the 7 ft. wall will help mitigate noise.

Chair Graf closed the public hearing.

Commissioner Popelka stated that this is a great looking facility and added that there is a need for RV storage and glad to see this project moving forward.

Commissioner Cammarata was in agreement with Commissioner Popelka.

Chair Graf asked staff about the possibility of installing a block wall prior to excavation and construction to limit noise for adjacent properties.

Discussion followed regarding adding a condition for installation of block wall prior to construction. Mr. Finazzo stated that the project is estimated to be completed in a year and a half.

Ms. Langer stated that there could be an addition to Condition #61; “the block wall at the rear north side of the property shall be constructed before construction of the structure to the extent feasible as determined by the Community Development Director”. It can also be separated out, the pre-construction work that happens with the grading and shoring as opposed to work on the building permit that is even more specific.

Commissioners and staff agreed to the addition to Condition #61 in the Resolution.

Vice-chair Thompson moved to approve Site Plan Review No. 1188 subject to the findings and conditions set forth in the staff report and additional condition as stated above. Commissioner Cammarata seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Thompson, Cammarata, Dever, Hoy, Popelka, Santos, Graf
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: None
ABSENT: COMMISSIONERS: None

Vice-chair Thompson recused himself from item #5 due to conflict of interest.

- 5. SITE PLAN REVIEW NO. 1189** – A request to permit a new block wall with a height of six feet within the 20-foot front yard setback, instead of the 42-inch Code allowed maximum, to an existing single-family residence located at 25149 Ebony Lane, in the Single-Family Residential (R-1) Zone. Filed by James Thompson, 25419 Ebony Lane, Lomita, CA 90717.

Administrative Analyst Daniella Ward presented the report. This Site Plan Review is a request for a modification from the Zoning Code to permit a new block wall with a height of six ft. within the 20 ft. front yard setback instead of the code allowed 42 inch maximum. The property is located in the Single Family Residential Zone which is consistent with its general plan designation of Low Density Residential. It was constructed in 1956, the existing residence and attached garage is 1, 325 sq. ft.; the lot is 5501 sq. ft. Currently, there is an existing wooden fence which is not located within the 20 ft. setback.

Due to the configuration of the dwelling and driveway at the rear of the irregularly shaped corner lot, the property lacks a back yard. Although the Code defines the front of the property, according to the U.S. mailing address on Ebony Lane, the dwelling is in fact oriented to face 252nd Street. These conditions make it difficult for the property owners to enjoy the typical back yard space that most single family residential properties have.

The wall will be constructed of concrete blocks and includes a gate flanked with light posts. Extending across less than half of the front property line, the wall will provide property owners back yard space while maintaining the visual appearance of the front yard in an aesthetically pleasing manner. The driveway of this property and the driveway of the adjacent property are both the required width of 12 ft., which will allow for adequate visibility when exiting the properties.

The project meets all development standards apart from the 42 inch maximum front yard setback. The 6 ft. block wall is both suitable and functional. The wall will allow the property owners to make better use of their yard on the irregularly shaped, narrow, corner lot. The wall will not extend across more than half of the property line, maintaining the visual appearance of the front yard in an aesthetically pleasing manner.

Therefore, staff recommends that the Planning Commission approve Site Plan No. 1189. Ms. Ward stated that staff received two letters regarding this request today and copies were provided for Commissioners.

Brief discussion followed regarding setbacks for proposed project.

Chair Graf opened the public hearing.

Roy Atia, Project Manager with Signature Home Remodeling, stated that it will not just be a block wall and will have stucco with veneer stone on six ft. columns with lights.

George Kivett, Lomita resident, stated that he is familiar with the property and the property does have a unique lot shape and location. Ebony Lane runs in a somewhat diagonal direction. He added that will be aesthetically pleasing with the stonework. He is in favor of this project.

Chair Graf closed public hearing.

Commissioner Popelka moved to approve Site Plan Review 1189. Commissioner Santos seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Popelka, Santos, Dever, Hoy, Cammarata, Graf
NOES: COMMISSIONERS: None
RECUSE: COMMISSIONERS: Thompson
ABSENT: COMMISSIONERS: None

- 6. CONDITIONAL USE PERMIT No. 304** – A request to allow a restaurant and catering business located at 25600 Narbonne Avenue to sell beer and wine for consumption on the premises in the Commercial General Zone. Filed by Crystal Coser, 56 Eastfield Drive, Rolling Hills, CA 90274.

Assistant Planner Laura MacMorran presented the report. Request is to consider the sale of beer and wine at 25600 Narbonne Avenue at an incoming restaurant and caterer. The site is approximately 5,291 sq. ft. at the corner of 256th Street and Narbonne Avenue and contains a 2,500 sq. ft. building. It was originally constructed in 1956. In 1997, the building was expanded and the Planning Commission approved six parking spaces. In 2009, Planning Commission issued a Determination of Similarity for a commercial kitchen to operate at the site. The immediate prior use was also a food service establishment. The proposed use is for beer and wine at 25600 Narbonne Avenue which is a permitted use in the Commercial General Zone. The General Plan designates this area as commercial. This is compatible with a restaurant and caterer that sells beer and wine with a conditional use permit.

The restaurant primarily faces Narbonne Avenue and access to the site's parking lot is from 256th Street. The applicant is renovating the interior dining area. The kitchen will not have modifications. There is seating for 37 individuals. The following findings have been made: a previous food establishment occupied this site for several years and the addition of beer and wine at a bona fide eating establishment will not change the use; the building is being renovated and no new square footage is proposed; six parking spaces are required and provided; the operating hours are suitable; and the site is located on Narbonne which is a major north-south thoroughfare.

For the sale of alcoholic beverages, the City has distance requirements. The first is that it is a minimum of 300 feet from sensitive uses. Within the 300 feet radius is Kid's Story Inc., a preschool located at 25527 Narbonne. Another distance requirement is that it shall be 300 ft. away from any establishment authorized to sell alcoholic beverages for off-site consumption. Across the street is Ace Hi Liquors at 25511 Narbonne. However, the Planning Commission may modify the distance requirements if additional findings are made. Given the depth and the width of Lomita's parcels and the proximity to sensitive uses, it would be a hardship if this was the sole criteria to evaluate a conditional use permit for beer and wine sales. In addition, on-site consumption at a bona fide eating establishment should not affect public safety. This business will not have "cash and carry" sales at this location. Also, restaurants and those that serve beer and wine draw people to commercial areas.

Staff examined the public safety data from 2016 within the reporting district 1711, there 85 incidences compared to an average of 68 incidences per district for the city of Lomita. However, reporting district 1715 only had nine incidences and that skews the average. In reporting district 1711, 40% of those crimes were attributed to auto-related crimes; and therefore, this business would not have any impact.

In conclusion, staff is recommending approval of CUP No. 304 with conditions.

Brief discussion followed regarding beer and wine consumption for on-site only and business license at this location.

Chair Graf opened the public hearing.

Crystal Coser, applicant, stated that she feels that this full-service restaurant is a nice addition to the community. The sale of beer and wine would be an added amenity to the menu.

George Kivett, Lomita resident, stated that he has heard very positive comments regarding the new proprietors of this business. He added that the sale of beer and wine could be a great complement to their meals. He recommends approval of the CUP.

Chair Graf closed the public hearing.

Commissioner Popelka stated that a restaurant business has a hard time surviving and the sale of beer and wine would be a good addition and also help the bottom line to remain open.

Commissioner Dever asked staff about a lot of red curb on 256th and feels that it takes away need parking for patrons at the restaurant. Ms. Velasco stated that Public Works is looking into this matter.

Commissioner Cammarata moved to approve Conditional Use Permit No. 304. Commissioner Hoy seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Cammarata, Hoy, Dever, Popelka, Santos, Thompson, Graf
NOES: COMMISSIONERS: None
RECUSE: COMMISSIONERS: None
ABSENT: COMMISSIONERS: None

7. CONDITIONAL USE PERMIT No. 305 – A request to allow an automobile repair and automobile body shop to operate with four service bays for the properties located at 2429-2431 Lomita Boulevard in the CG, Commercial General Zone. This Conditional Use Permit shall supersede Conditional Use Permit No. 144. Filed by Nery M. Hernandez Alvarado, 21313 Halldale Avenue, Torrance, CA 90501.

Assistant Planner Laura MacMorran presented the report. This is a request for a conditional use permit for an auto body and auto repair at 2429-2431 Lomita Boulevard. The subject site comprises of approximately 31,000 sq. ft. It was a former swim club for approximately 30 years. In 1994, the Planning Commission approved Conditional Use Permit No. 144 for mixed use for residential and auto sales uses with auto repair. Auto repair and auto body uses are not permitted in mixed use developments. The property owner has decided to move forward with this use and has opted to relinquish CUP 144, and Condition of Approval #23 specifies that CUP No. 305 shall supersede Conditional Use Permit 144. The property has three existing pools which are drained and a 6 ft. fence that separates the pools from the adjacent properties as well as from the rest of the site in the interior of the lot.

The proposed auto body and auto repair shop is compatible with a Conditional Use Permit. The business intends to operate Monday through Friday from 8am to 6pm on Saturdays from 8am to 2pm and closed on Sunday and will employ 3-5 people. Condition of Approval No. 29 specifies these hours of operation.

The applicant is proposing to have four bays on site and a mixture of 1200 sq. ft. of waiting room, office and storage space. The parking requirement is 4 spaces for each bay and 1 for every 250 sq. ft. of other area. The site complies with the parking requirement. The 28 ft. driveway is oversized and the gated entrance is setback 32 ft. from Lomita Boulevard making entrance to the property swift from Lomita Boulevard. The site is served by roads adequate enough to carry traffic generated by the use. Auto repairs were previously performed on this site. The site provides sufficient parking.

Staff is recommending that the Planning Commission adopt a Resolution approving Conditional Use Permit No. 305 with conditions.

Brief discussion followed regarding past and previous uses on this site.

Chair Graf opened the public hearing.

Mr. Nery Hernandez, applicant, stated that he hopes that the proposed permit is approved for auto repair and the business name will be Nery's Auto Repair.

Commissioner Thompson asked applicant about current use. Mr. Hernandez stated that the site was empty at this time but that it was previously used for auto sales. Discussion followed regarding the various functions of auto and auto body repair.

Roxanne Lechuga, Lomita resident and speaking on behalf of St. Mark's Church and preschool. She stated that the preschool's play yard is 6 ft. from an existing bay at the proposed project site. She added that her concern is regarding toxins and exhaust fumes that will blow over onto the play yards. She is requesting stringent rules and regulations be applied for the safety of the children.

Tony Van Dam, speaking on behalf of the Volunteers of America Head Start Program, stated this is one of the programs within St. Mark's Presbyterian Church. On behalf of the parents, he is voicing concern for the safety and health of the preschool children and hopes that there is proper monitoring of air quality.

George Kivett, Lomita resident, stated that this is a very unique parcel in the City. He added that there is a definite hardship for a use at this site. He is in favor of the two parcels being joined for a usable space and doesn't feel that the use would generate a lot of added traffic. Mr. Kivett's concern is with the auto body repair due to the sanding and dust that will be created. He is in favor of the auto repair component of the permit.

Mr. Hernandez stated that he would like to have site permitted for auto repair and auto body but would limit it to auto repair if that is an issue with residents.

Chair Graf closed the public hearing.

Discussion followed regarding AQMD requirement standards and City codes, along with the size and actual uses of buildings/bays for auto and body repair. Status of apartment buildings and pools were briefly reviewed.

Commissioner Cammarata asked staff if a condition could be added regarding AQMD standards. Ms. Langer stated that the Commission could add a condition (Condition #30) saying "operations shall comply with all applicable regulations and licenses including AQMD requirements".

Commissioner Cammarata moved to approve Conditional Use Permit No. 305 with the added Condition. Commissioner Dever seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Cammarata, Dever, Hoy, Popelka, Santos, Thompson, Graf
NOES: COMMISSIONERS: None
RECUSE: COMMISSIONERS: None
ABSENT: COMMISSIONERS: None

8. WRITTEN COMMUNICATIONS

Ms. Velasco reviewed Council actions of August and September.

-City Council approved and entered into an agreement with L.A. County Department of Health to inspect the massage establishments once or twice a year for health and sanitation measures.

-Restriping on Narbonne Avenue has been completed.

-Final Map was approved for the project at Narbonne and 250th Street.

OTHER MATTERS

9. PLANNING COMMISSIONER ITEMS

Commissioner Popelka stated that there is a lot of trash on 250th and Feijoa due to a remodel on that corner; Commissioner Popelka thanked Commissioner Cammarata for the answering the audience's questions at the public hearing on the Picerne project.

Commissioner Hoy apologized to the Commission for attendance due to his work schedule.

Chair Graf also thanked Commissioner Cammarata for his service and thanked staff for the way the Picerne public hearing was handled and the detailed report provided for this project. Chair Graf added that the concrete was started on the Brewhouse on Narbonne Avenue along with the mixed use project across from the post office.

10. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS

Commissioner Popelka will attend the Council meeting of September 19, 2017. Commissioner was not assigned to the Council meeting of October 3, 2017.

11. STAFF ITEMS - ANNOUNCEMENTS

None.

ADJOURNMENT

The meeting adjourned at 8:10 PM.

ATTEST:

Teresa Vallejo

Teresa Vallejo, Planning Secretary

Lomita Self Storage

26302 S. Western Ave., suite #7

Lomita, Ca 90717

Phone- (310)534-9174 Fax-(310)519-1148

September 9, 2019

Dear planning commission,

The reason we need an extension on the Lomita Self Storage project is that we are waiting for final approval on the Architectural and Structural plans. All corrections have been made and submitted. We are waiting for the plans to be reviewed and approved by the county of Los Angeles.

We have already received final approvals for the following:

Mechanical Engineering

Electrical Engineering

Fire Department

Industrial waste

Grading and Drainage

Landscape

We have been told that once we receive this last approval from the county we can pull permits.

Sincerely



Giuseppe Finazzo and Giovanni Funicello



Item 5

CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission November 12, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Conditional Use Permit No. 127 (Revision)
2158 & 2160 Lomita Boulevard, in the D-C (Downtown Commercial) Zone

APPLICANT'S REQUEST

A request to revise Conditional Use Permit No. 127 to allow the Blackthorn Pub, which is located at 2158 Lomita Boulevard, to expand an existing restaurant which serves beer, wine and distilled spirits for onsite consumption to the adjacent tenant space at 2160 Lomita Boulevard and to create an outdoor seating area in the D-C, Downtown Commercial zone. Filed by Louis Skelton, 2537 D Pacific Coast Highway #168, Torrance, CA 90505 ("Applicant").

RECOMMENDATION

Staff recommends that the Planning Commission adopt a resolution approving the revision to Conditional Use Permit No. 127, subject to the findings and conditions and to confirm the categorical exemption.

BACKGROUND

Property History

On April 9, 1991, the Planning Commission approved Conditional Use Permit ("CUP") No. 127 and Zone Variance No. 109; a request to allow a bar serving beer and wine to convert to a cocktail lounge with less than the required distance from other alcohol sales and with less than the required parking with the operating hours of 11 a.m. to 11 p.m. Sunday through Thursday and 11 a.m. to 12 a.m. Friday and Saturday. The owner of the cocktail lounge sold the ABC distilled spirits license on the private market between 2012-2014 and the location reverted to a beer and wine license only.

On July 12, 2016, the Planning Commission approved a modification to CUP No. 127 to extend the hours of operation from 6 a.m. to 2 a.m. seven days a week. At the time of this approval, the ABC license was for beer and wine only.

On January 9, 2017, the Planning Commission approved a modification to CUP No. 127 to permit the onsite sale of distilled spirits at a Bona Fide Public Eating Place.

Existing Condition

The Blackthorn Pub is located on a 7,775-square-foot lot and contains a 2,496-square-foot, single-story, two-unit building. It has 48 feet of frontage on Lomita Boulevard, of which the Blackthorn has approximately half the length. There's a parking lot in the rear of the property

which is accessed via a public alley. The current maximum occupancy is 44 persons and typically two to three people work on-site.

Project Description

The project would expand the existing restaurant (2158 Lomita Blvd.) to the unit next door (2160 Lomita Blvd.), and redesign the facade. The plans include substantially increasing the amount interior tabletop seating, creating an outdoor seating area, adding seven new counter-seats, and enlarging the kitchen and back of the house areas. The total number of occupants will increase to 98 persons. In order to comply with the American with Disabilities Act (“ADA”), an existing bathroom will be made handicap accessible, and an ADA-accessible parking space will be created. As a result, the number of parking spaces will be reduced to 12. The requested CUP revision is to specifically permit the restaurant expansion as it relates to the on-site consumption of alcohol. A restaurant which does not serve alcohol is permitted by right in the zone. Therefore, the CUP findings discussed below address the expansion of the on-site service of alcohol to the adjacent tenant space and outdoor seating area.

Environmental Determination

The proposed project is categorically exempt pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (“CEQA”) guidelines. This categorical exemption consists of the operation, permitting, licensing or minor alteration of existing public or private structures facilities, involving negligible or no expansion of use beyond that existing at the time of lead agency’s determination may be found to be exempt from the requirements of CEQA. The CUP is a permit to serve alcohol at an adjacent existing tenant space at 2160 Lomita Boulevard. This CUP is specifically for the operation of the alcohol permit at an existing facility and is therefore exempt from CEQA. The plans include renovation of both spaces; however, no new square footage will be constructed, and the remodel is not subject to discretionary approval.

General Plan Designation

The general plan designation for the subject property is commercial. This land use designation applies to the commercial corridors in Lomita including those located along Pacific Coast Highway, Lomita Boulevard, Western Avenue and Narbonne Avenue.

Adjacent Zoning and Land Uses

Direction	Zone and Land Use
North	D-C (Downtown Commercial) Zone Land use: Art School
South	C-R (Commercial Retail) Zone Land use: Multi-Family Dwelling
West	D-C (Downtown Commercial) Land use: Hair Salon
East	D-C (Downtown Commercial) Land use: Restaurant and Karaoke, and a Non-Conforming Single-Family Dwelling

ANALYSIS

Development Standards Review

<u>Development Standard</u>	<u>Project</u>	<u>Allowed/Required</u>	<u>Compliance</u>
Zoning	D-C	D-C	Yes
Lot Area	7,775 sq. ft.	5,000 sq. ft.	Yes
Off-Street Parking	12 parking spaces	14 parking spaces ZV 109	No

Conditional Use Permit

Staff has reviewed the project in accordance with Section 11-1.70.09 (Conditional Use Permit) and Article 56 (Sale of Alcoholic Beverages) of the Lomita City Code and advises that the expansion of an existing restaurant that serves alcoholic beverages for onsite consumption is consistent with the following required findings:

- 1) *The proposed use is allowed within the District with approval of a CUP and complies with all other applicable requirements of the Article;*

Section 11-1.49.04(A)(5) of Article 49 (D-C, Downtown Commercial) states that restaurants, serving alcoholic beverages are permitted within the D-C zone with the approval of a CUP and subject to the requirements of Article 56. The existing restaurant is compliant with the Downtown Commercial zoning requirements, Article 56 of the Municipal Code, and its existing CUP. The expansion of the restaurant into the adjacent tenant space, with the service of alcohol for on-site consumption, is permitted and will comply with all applicable requirements of the Municipal Code.

- 2) *The proposed use is consistent with the General Plan;*

The General Plan's land use designation for this area is Commercial which provides for retail sales activities and limited service establishments. A restaurant with or without alcohol sales is consistent with the General Plan.

- 3) *The design, location, size and operating characteristics are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity.*

The Blackthorn Pub has been in business since 2015. Prior to 2015, a bar operated at 2158 Lomita Blvd. for many decades. The project will not change the building's footprint; however, the existing two units will become one. To create a cohesive restaurant from these two spaces, the building's façade and interior will be extensively remodeled. The Lomita Boulevard entrance will be centered, and the

single-story building's parapet wall will be redesigned to accentuate the entrance. New windows will flank the entrance and the westerly windows will retract. The exterior alterations are subject to the City's 2019 Downtown Design Manual standards (COA #20). The new floor plan improves the kitchen area, increases the space for food storage, and creates a secure room for alcoholic products. The renovations will also make the facility more accessible to people with physical disabilities. Finally, there is a dedicated refuse area and the waste hauler retrieves the bin via the alley.

Regarding the operating characteristics, the opening and closing hours will remain the same; however, the new outdoor dining area to the rear will have restricted operating hours. To minimize noise impacts to the residents to the east and the south of the project site, it is recommended that the rear outdoor patio close at 9:00 p.m. Sunday through Thursday, and 10:00 p.m. on Friday's and Saturday's (COA # 18).

The Blackthorn Pub has not been the subject of any recent code enforcement complaints. All the conditions of the prior CUP have been incorporated into the new resolution, except for the former COA #19, which required the rear doors to remain closed at all times. With the new outdoor dining to the rear, this will no longer be possible. However, as a practical matter to keep a comfortable indoor temperature, the restaurant will be incentivized to keep the doors closed. Also, the former COA # 14, which specified kitchen hours has been removed. Food service is required at all times that the restaurant is open.

These changes are compatible with existing and future uses as it enlivens the downtown business district, and does not adversely affect, endanger or constitute a menace to the public health safety or general welfare or be materially detrimental to the property of other persons located in the vicinity.

- 4) *The site is adequate in size and shape to accommodate the yards, walls, fences parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood.*

The site meets all the development features prescribed under the Zoning Ordinance, except for parking and landscaping standards. The property has a masonry wall between its parking lot and the single-family dwelling's rear yard located at 24655 Woodward Avenue. As the subject property was developed in 1934, the site's design was not built to today's development standards and it is not feasible to satisfy all of the current standards. The subject property has an approved variance for the reduction in parking and reduced landscape standards are permitted when existing site factors make it unfeasible to provide the required 6%.

Further, for situations where a property does not conform to the parking requirements, Section 11-1.66.03 of the Lomita Municipal Code allows the Planning Commission to consider spaces in a municipal parking lot if it is within 500 feet of the subject property for parking. The Blackthorn Pub is within 500 feet away from the municipal parking lot at the corner of Narbonne Avenue and 245th Street. In addition, a

restaurant's parking requirement is not based on the types of beverages served, but instead is derived from a business's square footage.

- 5) *The site is served by highways and streets adequate to carry the kind and quantity of traffic such use would generate.*

The project is located on Lomita Boulevard between Woodward Avenue and Narbonne Avenue. Lomita Boulevard is designated a major highway in the City which is adequate for the kind and quantity of traffic the proposed use will generate.

- 6) *Any business selling alcoholic beverages for off-site or on-site consumption shall be located a minimum of 300 feet from schools, parks, public recreation areas and any other use determined to be a sensitive use by the Community Development Director. The distance shall be measured from the closest property line from the subject parcel to the closest property line of the parcel containing the sensitive use (LMC Sec. 11-1.56.03(C)).*

There is one sensitive use located within 300 feet from the subject property:

Sensitive Land Use	Address
Lomita Math/Science Magnet Elementary School	2211 W. 247 th Street

Section 11-1-56.03 (D) of the Lomita Municipal Code states that the Planning Commission may modify the distance requirements when granting a conditional use permit if the following additional findings can be made. This section enables the City to scrutinize the impacts of a new alcohol uses or modifications on existing sensitive uses.

1. *The proposed use will not have an adverse impact on public safety. Factors that could be considered to determine impact include but are not limited to Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding reporting districts, Los Angeles County Sheriff Department's crime statistics for the underlying and surrounding properties and the types of crime within those same areas.*

The Los Angeles County Sheriff's Department's 2019 (01/01-06/03) Crime Statistics for all of Lomita reported 396 incidents and of that Reporting District ("RD") 1710 (the RD in which the subject property is located) cited 54 total incidents. RD 1710 had the second fewest number of incidents of any of Lomita's districts. As a deterrent, staff has added a condition requiring outdoor lights, new cameras on the front and rear of the property, and a new security system (COA # 21). In addition, all other conditions will remain in effect and this is not a new alcohol service use, but only an expansion an existing restaurant's CUP to serve alcoholic beverages. The hours for food service have been extended, and food service is required during all operating hours.

2. *The business will provide beneficial commercial vitality to the area.*

Restaurants are as much social gathering place as a place to eat a meal. The expansion of Blackthorn Pub will provide more of a full-service dining experience and diversifies the types of full-service sit-down restaurants in the area. With the additional kitchen capacity and tabletop seating, the business will attract people, particularly couples and groups, to the area, who might look elsewhere because of the lack of local options.

3. *The use will not be objectionable or detrimental to surrounding properties and the neighborhood.*

The business is located between other commercial uses and the primary entrance is on Lomita Boulevard. This request is to expand an existing restaurant use into the adjacent tenant space and is not a request for a new alcohol license. The rear parking lot has a wall and fence along the side property lines and a 15-foot wide alley separates the parking lot from the multi-family property to the south.

The five tables and one booth are proposed for outdoor dining along the back of the building. In order to limit the potential noise impacts on the residential properties within the neighborhood, staff has suggested Conditional of Approval No. 18 limiting the hours that this outdoor space can be occupied.

PUBLIC NOTICE

Notices of this hearing dated October 30, 2019 were mailed to property owners within 300 feet of the subject property and posted at on the Lomita City web page, Lomita City Hall, and Lomita Park.

Recommended by:

Prepared by:



Alicia Velasco
Director of Community and Economic



Laura MacMorran
Assistant Planner

Exhibits:

- a. Resolution
- b. Vicinity Map
- c. Zoning Map
- d. General Plan Map
- e. Aerial Photograph
- f. Notice of Exemption
- g. Elevation
- h. Plans
- i. Menu

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING A REVISION TO CONDITIONAL USE PERMIT NO. 127 TO ALLOW THE BLACKTHORN PUB, WHICH IS LOCATED AT 2158 LOMITA BOULEVARD, TO EXPAND AN EXISTING RESTAURANT THAT SERVES BEER, WINE AND DISTILLED SPIRITS TO THE ADJACENT TENANT SPACE AT 2160 LOMITA BOULEVARD IN THE D-C, DOWNTOWN COMMERCIAL, ZONE. FILED BY LOUIS SKELTON, 2537 D PACIFIC COAST HIGHWAY, #168 TORRANCE, CA 90505

Section 1. Recitals

- A. A request to revise Conditional Use Permit No. 127 to allow the Blackthorn Pub, which is located at 2158 Lomita Boulevard, to expand an existing restaurant that serves beer, wine and distilled spirits to the adjacent tenant space at 2160 Lomita Boulevard in the D-C, Downtown Commercial zone. Filed by Louis Skelton, 2537 D Pacific Coast Highway #168, Torrance, CA 90505 (“Applicant”).
- B. The subject site is zoned D-C (Downtown Commercial) and designated “commercial” by the City’s General Plan. Pursuant to Section 11-1.49.04(A)(5) of the Lomita Municipal Code, a conditional use permit is required for the sale alcoholic beverages in the D-C zone.
- C. On November 12, 2019 the Planning Commission held a duly noticed public hearing and accepted public testimony for and against the item.
- D. The proposed project is categorically exempt pursuant to Section 15301 of the California Environmental Quality Act (CEQA) guidelines, projects involving the operation, permitting, licensing or minor alteration of existing public or private structures facilities, involving negligible or no expansion of use beyond that existing at the time of lead agency’s determination may be found to be exempt from the requirements of CEQA. The Conditional Use Permit (CUP) is a permit to serve alcohol at an adjacent existing tenant space at 2160 Lomita Boulevard. This CUP is specifically for the operation of the alcohol permit at an existing facility and is therefore exempt from CEQA. The plans include renovation of both spaces; however, no new square footage will be constructed, and the remodel is not subject to discretionary approval. Therefore, Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.
- E. The Planning Commission finds that the Applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Findings.

Pursuant to Section 11-1.70.09 (Conditional Use Permit) and Article 56 (Sale of Alcoholic Beverages) of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation that the following circumstances exist:

- 1) *The proposed use is allowed within the District with approval of a CUP and complies with all other applicable requirements of this Article;*

Section 11-1.49.04(A)(5) of Article 49 (D-C, Downtown Commercial) states that restaurants, serving alcoholic beverages are permitted within the D-C zone with the approval of a CUP and subject to the requirements of Article 56. The existing restaurant is compliant with the Downtown Commercial zoning requirements, Article 56 of the Municipal Code, and its existing CUP. The expansion of the restaurant into the adjacent tenant space, with the service of alcohol for on-site consumption, is permitted and will comply with all applicable requirements of the Municipal Code.

- 2) *The proposed use is consistent with the General Plan;*

The General Plan's land use designation for this area is Commercial which provides for retail sales activities and limited service establishments. A restaurant with or without alcohol sales is consistent with the General Plan.

- 3) *The design, location, size and operating characteristics are compatible with existing and future land uses, building and structures in the vicinity and the proposed use will not jeopardize, adversely affect, endanger or otherwise constitute a menace to the public health, safety or general welfare or be materially detrimental to the property of other persons located in the vicinity;*

The Blackthorn Pub has been in business since 2015. Prior to 2015, a bar operated at 2158 Lomita Blvd. for many decades. The project will not change the building's footprint; however, the existing two units will become one. To create a cohesive restaurant from these two spaces, the building's façade and interior will be extensively remodeled. The Lomita Boulevard entrance will be centered, and the single-story building's parapet wall will be redesigned to accentuate the entrance. New windows will flank the entrance and the westerly windows will retract. The exterior alterations are subject to the City's 2019 Downtown Design Manual standards (COA #20). The new floor plan improves the kitchen area, increases the space for food storage, and creates a secure room for alcoholic products. The renovations will also make the facility more accessible to people with physical disabilities. Finally, there is a dedicated refuse area and the waste hauler retrieves the bin via the alley.

Regarding the operating characteristics, the opening and closing hours will remain the same; however, the new outdoor dining area to the rear will have restricted operating hours. To minimize noise impacts to the residents to the east and the south of the project site, it is recommended that the rear outdoor patio close at 9:00 p.m. Sunday through Thursday, and 10:00 p.m. on Friday's and Saturday's (COA # 18).

The Blackthorn Pub has not been the subject of any recent code enforcement complaints. All the conditions of the prior CUP have been incorporated into the new resolution, except for the former COA #19, which required the rear doors to remain closed at all times. With the new outdoor dining to the rear, this will no longer be possible. However, as a practical matter to keep a comfortable indoor temperature, the restaurant will be incentivized to keep the doors closed. Also, the former COA # 14, which specified kitchen hours has been removed. Food service is required at all times that the restaurant is open.

These changes are compatible with existing and future uses as it enlivens the downtown business district, and does not adversely affect, endanger or constitute a menace to the public health safety or general welfare or be materially detrimental to the property of other persons located in the vicinity.

- 4) *The site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this chapter, or as required as a condition in order to integrate the use with the uses in the neighborhood; and*

The site meets all the development features prescribed under the Zoning Ordinance, except for parking and landscaping standards. The property has a masonry wall between its parking lot and the single-family dwelling's rear yard located at 24655 Woodward Avenue. As the subject property was developed in 1934, the site's design was not built to today's development standards and it is not feasible to satisfy all of the current standards. The subject property has an approved variance for the reduction in parking and reduced landscape standards are permitted when existing site factors make it unfeasible to provide the required 6%.

Further, for situations where a property does not conform to the parking requirements, Section 11-1.66.03 of the Lomita Municipal Code allows the Planning Commission to consider spaces in a municipal parking lot if it is within 500 feet of the subject property for parking. The Blackthorn Pub is within 500 feet away from the municipal parking lot at the corner of Narbonne Avenue and 245th Street. In addition, a restaurant's parking requirement is not based on the types of beverages served, but instead is derived from a business's square footage.

- 5) *The site is served by highways and streets adequate to carry the kind and quantity of traffic such use would generate.*

The project is located on Lomita Boulevard between Woodward Avenue and Narbonne Avenue. Lomita Boulevard is designated a major highway in the City which is adequate for the kind and quantity of traffic the proposed use will generate.

- 6) *Any business selling alcoholic beverages for off-site or on-site consumption shall be located a minimum of 300 feet from schools, parks, public recreation areas and any other use determined to be a sensitive use by the Community Development Director. The distance shall be measured from the closest property line from the subject parcel to the closest property line of the parcel containing the sensitive use (LMC § 11-1.56.03(C)).*

There is one sensitive use located within 300 feet of the subject property:

Sensitive Land Use	Address
Lomita Math/Science Magnet Elementary School	2211 W. 247 th Street

Section 11-1-56.03 (D) of the Lomita Municipal Code states that the Planning Commission may modify the distance requirements when granting a conditional use permit if the following additional findings can be made. This section enables the City to scrutinize the impacts of a new alcohol uses or modifications on existing sensitive uses. Since the approval of the conditional use permit in 1991, no additional sensitive uses have been established within 300 feet of 2158 Lomita Boulevard.

1. *The proposed use will not have an adverse impact on public safety. Factors that could be considered to determine impact include but are not limited to Los Angeles County Sheriff Department’s crime statistics for the underlying and surrounding reporting districts, Los Angeles County Sheriff Department’s crime statistics for the underlying and surrounding properties and the types of crime within those same areas.*

The Los Angeles County Sheriff’s Department’s 2019 (01/01-06/03) Crime Statistics for all of Lomita reported 396 incidents and of that Reporting District (“RD”) 1710 (the RD in which the subject property is located) cited 54 total incidents. RD 1710 had the second fewest number of incidents of any of Lomita’s districts. As a deterrent, staff has added a condition requiring outdoor lights, new cameras on the front and rear of the property, and a new security system (COA #21). In addition, all other conditions will remain in effect and this is not a new alcohol service use, but only an expansion an existing restaurant’s CUP to serve alcoholic beverages.

2. *The business will provide beneficial commercial vitality to the area;*

Restaurants are as much social gathering place as a place to eat a meal. The expansion of Blackthorn Pub will provide more of a full-service dining experience and diversifies the types of full-service sit-down restaurants in the area. With the additional kitchen capacity and tabletop seating, the business will attract people, particularly couples and groups, to the area, who might look elsewhere because of the lack of local options.

3. *The use will not be objectionable or detrimental to surrounding properties and the neighborhood.*

The business is located between other commercial uses and the primary entrance is on Lomita Boulevard. This request is to expand an existing restaurant use into the adjacent tenant space and is not a request for a new alcohol license. The rear parking lot has a wall and fence along the side property lines and a 15-foot wide alley separates the parking lot from the multi-family property to the south.

The five tables and one booth are proposed for outdoor dining along the back of the building. In order to limit the potential noise impacts on the residential properties within the neighborhood, staff has suggested Conditional of Approval No. 18 limiting the hours that this outdoor space can be occupied.

Section 3. The Planning Commission of the City of Lomita hereby approves Conditional Use Permit No. 127 (Revision) subject to the following conditions.

GENERAL PROJECT CONDITIONS

1. This permit is granted for the application received on December 5, 2016, on file with the Planning Division, and may not be transferred from one property to another.
2. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Officer.
3. By commencing any activity related to the project or using any structure authorized by this permit, Applicant accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
4. Applicant agrees, as a condition of adoption of this resolution, at Applicant's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Applicant's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof.
5. Before placing or constructing any signs on the project property, Applicant shall obtain a sign permit from the City. Except as provided in the sign permit, Applicant may not change any signs on the project property.
6. If Applicant, owner or tenant fails to comply with any of the conditions of this permit, the Applicant, owner or tenant shall be subject to a civil fine pursuant to the City Code.
7. This permit shall not be effective for any purpose until a duly authorized representative of the owner of the property has filed with the Department of Community Development, a notarized affidavit accepting all the conditions of this permit. This affidavit, or a copy of this resolution, shall be recorded with the County Recorder and is binding on successors. If the Applicant is a corporation, then an officer of the corporation shall sign the acceptance affidavit.

PLANNING STANDARD CONDITIONS

8. Any application for a minor revision to the project shall be accompanied by three copies of plans reflecting the requested revision, together with applicable processing fees.
9. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
10. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission.

PLANNING SPECIAL CONDITIONS

11. No sale, service or consumption of alcoholic beverages may occur outside the establishment, unless a special event permit is approved.
12. The establishment shall be operated as a “bona fide public eating place” as defined by Business and Professions Code section 23038. In the event that food service ceases on the property, this permit for the sale of alcoholic beverages for on-site consumption may be modified or revoked pursuant to the Lomita Municipal Code.
13. The hours of operation (*i.e.*, the sale of both food and all alcohol) shall be limited to 6 a.m. to 2 a.m., Monday through Sunday.
14. All restaurant employees serving alcohol must be 18 years of age or older.
15. All crimes occurring inside or outside the project property shall be reported to the Lomita Sheriff’s Station at the time of occurrence.
16. No sales to obviously intoxicated patrons shall be allowed.
17. On a daily basis, the applicant shall remove cigarette butts at a distance of 25 feet in both directions from its front door on Lomita Boulevard.
18. The outdoor dining area may be occupied from 8:00 a.m. to 9:00 p.m. Sunday through Thursday, and from 8:00 a.m. to 10:00 p.m. Friday and Saturday.
19. This Resolution shall supersede prior resolutions, these conditions shall control.
20. The exterior renovations and signage shall adhere to the City’s 2019 Downtown Design Manual standards.
21. The exterior of the building shall be equipped with outdoor lighting, and security cameras, and a new security system shall be installed. Plans and specifications for the equipment shall be approved by Director of Community and Economic Development prior to building permit issuance.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 12th day of November, 2019 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Monica Dever, Chair

ATTEST:

Alicia Velasco


Director of Community and Economic Development

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



PROJECT SITE

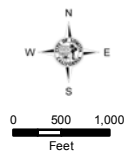
 **City of Lomita**

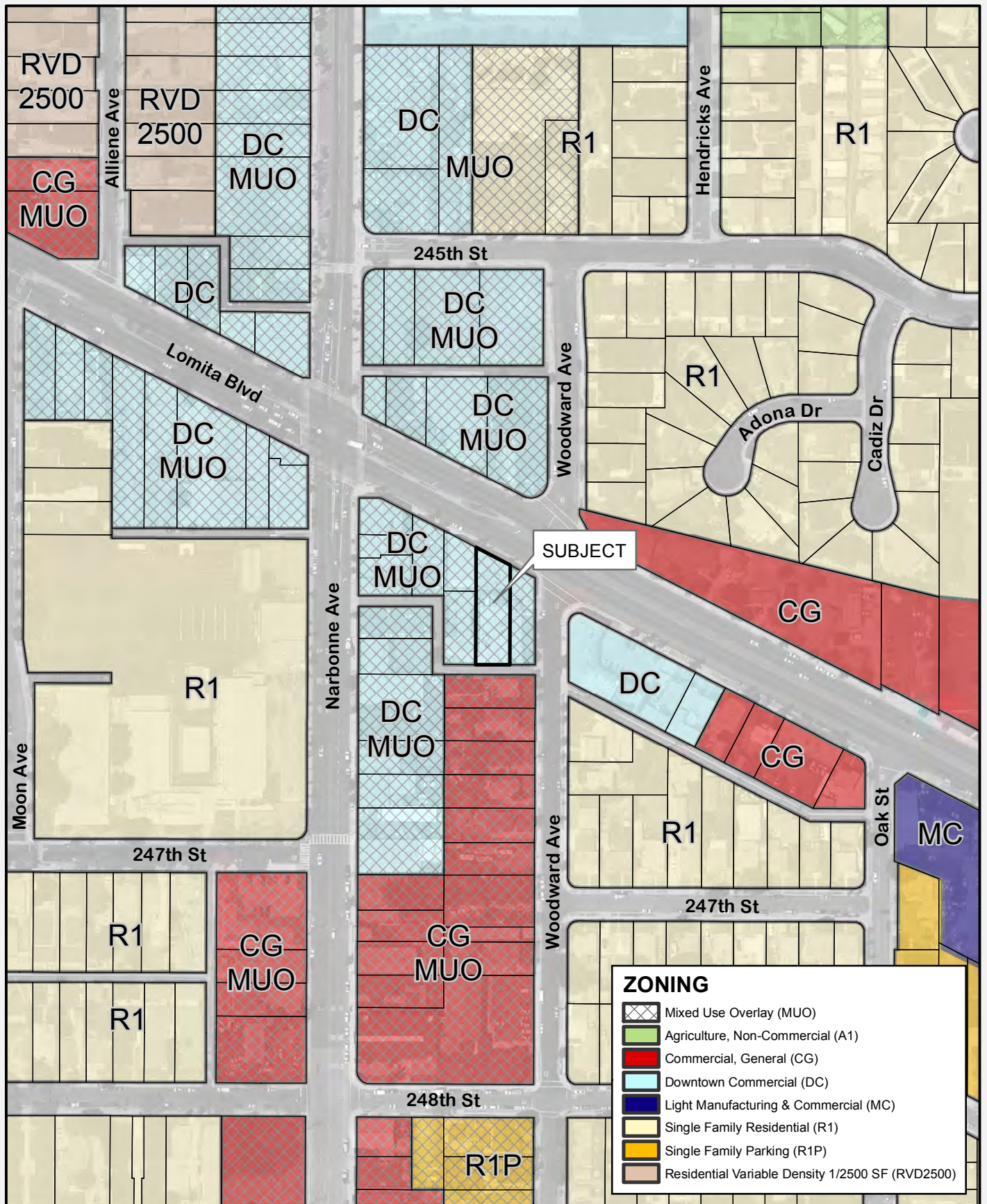


Conditional Use Permit No. 313
2158 & 2160 Lomita Boulevard
Exhibit B

Community Development
 October 2019

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/2158Lomita_3vty.mxd





ZONING

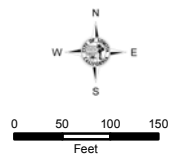
	Mixed Use Overlay (MUO)
	Agriculture, Non-Commercial (A1)
	Commercial, General (CG)
	Downtown Commercial (DC)
	Light Manufacturing & Commercial (MC)
	Single Family Residential (R1)
	Single Family Parking (R1P)
	Residential Variable Density 1/2500 SF (RVD2500)

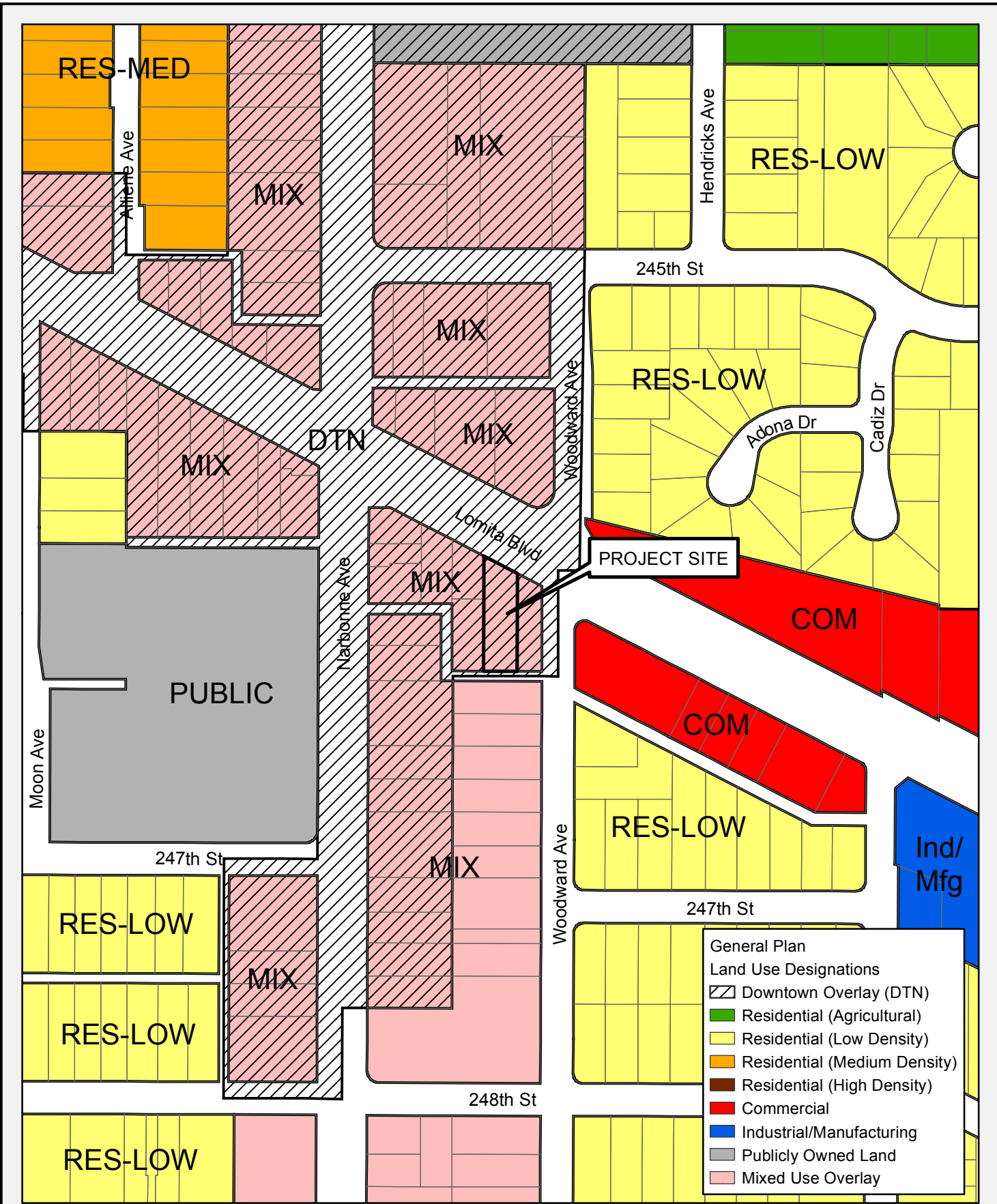


Conditional Use Permit No. 313
2158 & 2160 Lomita Boulevard
Exhibit C

Community Development
 October 2019

Source: Lomita GIS Data Layers
 /Apps/2158Lomita_3zon.mxd





General Plan
Land Use Designations

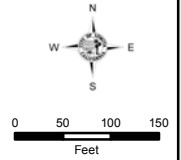
- Downtown Overlay (DTN)
- Residential (Agricultural)
- Residential (Low Density)
- Residential (Medium Density)
- Residential (High Density)
- Commercial
- Industrial/Manufacturing
- Publicly Owned Land
- Mixed Use Overlay



Conditional Use Permit No. 313
2158 & 2160 Lomita Boulevard
Exhibit D

Community Development
 October 2019

Source: Lomita GIS Data Layers
 GIS/Apps/2158Lomita_3gp.mxd

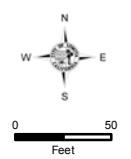




Conditional Use Permit No. 313
2158 & 2160 Lomita Boulevard
Exhibit E

Community Development
 October 2019

Source: Lomita GIS Data Layers
 /Apps/2158Lomita_3eer.mxd





Community Development Department
Planning Division
24300 Narbonne Avenue
Lomita, CA 90717
310/325-7110
FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Conditional Use Permit No. 127 (Revision) A request to revise Conditional Use Permit No. 127 to allow the Blackthorn Pub, which is located at 2158 Lomita Boulevard, to expand an existing restaurant which serves beer, wine and distilled spirits for onsite consumption to the adjacent tenant space at 2160 Lomita Boulevard and to create an outdoor seating area in the D-C, Downtown Commercial zone. Filed by Louis Skelton, 2537 D Pacific Coast Highway #168, Torrance, CA 90505 (“Applicant”).

Finding:

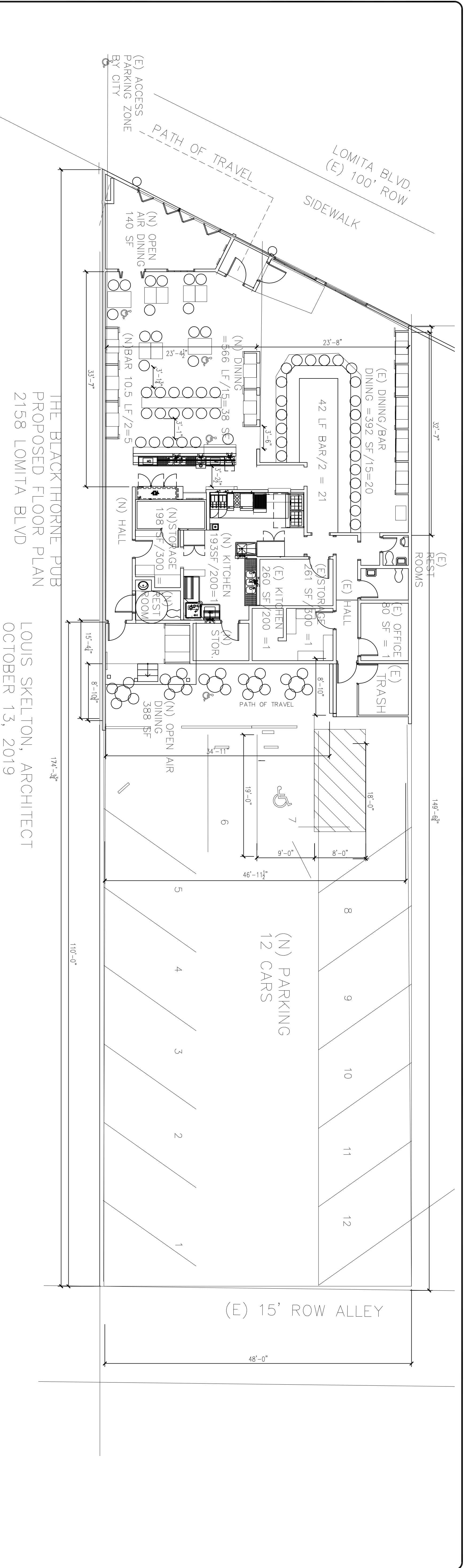
The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, Section 15301(e)(2) (Existing Facilities))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

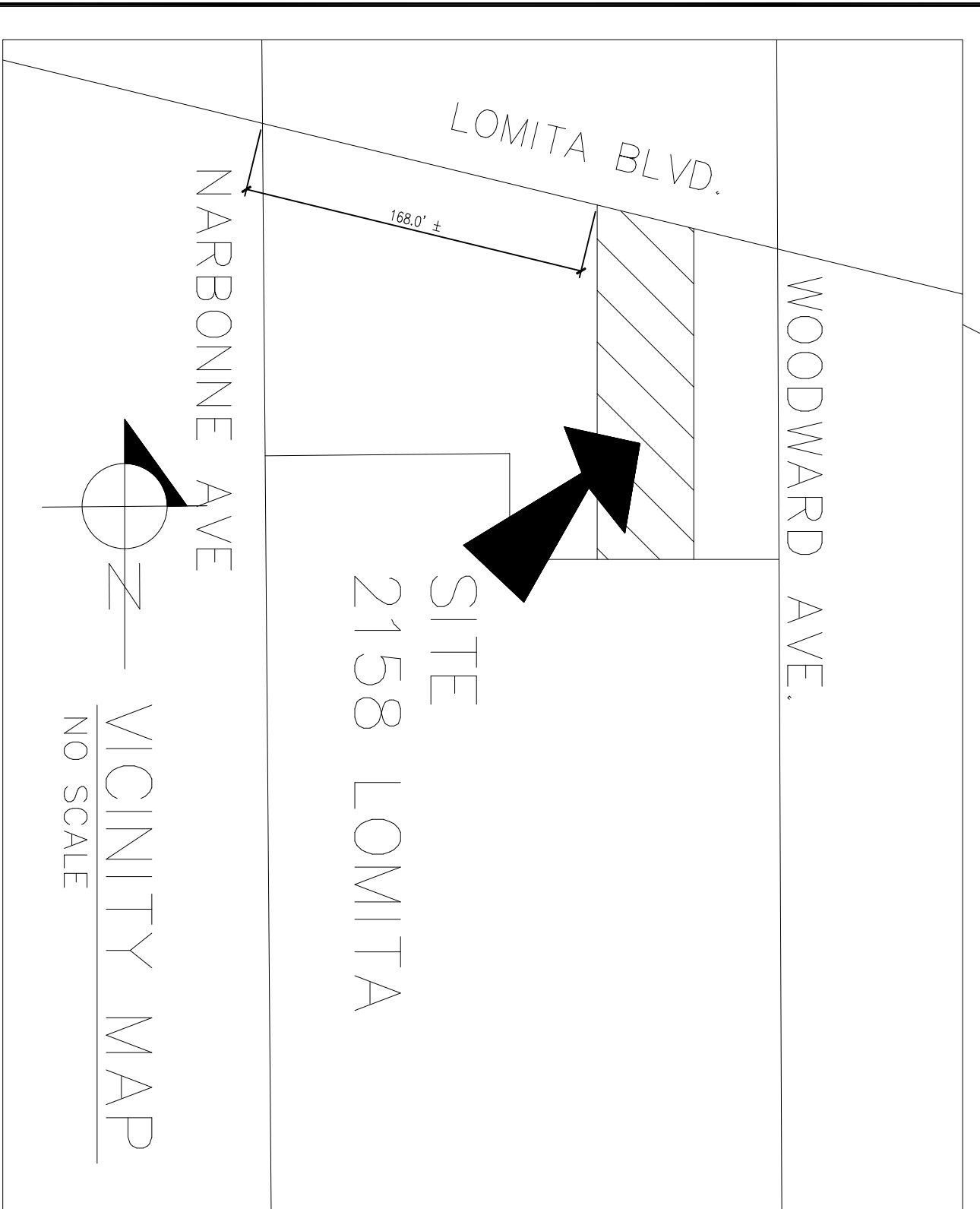
Supporting Reasons: In accordance with Section 15301 of the California Environmental Quality Act (CEQA) guidelines, projects involving the operation, permitting, licensing or minor alteration of existing private structures involving negligible or no expansion of use beyond that existing at the time of lead agency’s determination may be found to be exempt from the requirements of CEQA. The Conditional Use Permit (CUP) permits alcohol to be served at an adjacent existing tenant space, 2160 Lomita Boulevard. This CUP is specifically for the operation of the alcohol permit at an existing facility. The plans include renovation of both spaces; however, no new square footage will be constructed, and the remodel is not subject to discretionary approval. Therefore, the Planning Commission has determined that there is no substantial evidence that the project may have a significant effect on the environment.

(Date)

Alicia Velasco
Director of Community and Economic
Development



THE BLACKTHORNE PUB
 PROPOSED FLOOR PLAN
 2158 LOMITA BLVD
 LOUIS SKELTON, ARCHITECT
 OCTOBER 13, 2019



PROPOSED OCCUPANT LOAD: - 98 PERSONS

OCCUPANCY CALCULATIONS

OCCUPANCY USE	AREA (EXISTING)	AREA (PROPOSED)	SF / PERSON	OCCUPANTS (EXISTING)	OCCUPANTS (PROPOSED)
DINING ROOM	394	962	15	20	64
BAR	42 LF	52.5 LF	2 LF/SEAT	21	26
BAR SERVICE AREA	0	384	100	0	3
KITCHEN	260	460	200	1	2
STORAGE	261	459	300	1	2
OFFICE	84	125	100	1	1
TOTAL OCCUPANCY				44	98
OUTDOOR PATIO DINING	0	388	15	0	26

CONTACT INFORMATION

LANDLORD:

CAROLINE SWARTZ
 28736 GÜENTHER ROAD
 RANCHO PALOS VERDES, CA 90275
 PHONE: (310) 561-5189

INTERIOR DESIGN:

WHITE & CO.
 1501 PALOS VERDES BLVD. #114
 HARBOR CITY, CA. 90710
 PHONE (770)856-2331
 EMAIL: ONON@YAHOO.COM
 CONTACT: REBECCA WHITE

GENERAL CONTRACTOR:

TBD

OWNER/TENANT:

KITTYMAC, CORP.
 2158 LOMITA BLVD. \
 LOMITA CA 90717
 PHONE (310) 406-5602
 EMAIL: CONTACT: Mac McLaughlin

ARCHITECT

LOUIS SKELTON
 2537-D PACIFIC COAST HWY #168
 TORRANCE, CA 90505
 PHONE (310)375-9992 f
 FAX (310)378-7935
 EMAIL: admin@louisskelton.com
 CONTACT: LOUIS SKELTON

STRUCTURAL:

GARCIA-GUZMAN
 1033 GREENHEDGE ST
 TORRANCE, CA 90502
 PHONE: (310) 953-3922
 FAX: (310) 953-3923
 ATTENTION: GARCIA SE#4653

MECHANICAL:

HYC Consulting Engineers, Inc.
 556 N. Diamond Bar Blvd., #304
 Diamond Bar, CA 91765
 PHONE Tel: 909-396-8168
 Fax: 909-396-8169
 EMAIL: hyc@hycengineer.com

PROJECT DESCRIPTION:

RECONFIGURE NON BEARING INTERIOR WALLS OF EXISTING RESTAURANT AND ADJACENT FORMER OFFICE. REPARTITION LARGER KITCHEN, RESTROOMS (CBC ACCESSIBILITY COMPLIANT), DINING AND BAR. ADD OPEN AIR DINING SECTION OF SEATING TO FRONT OF ADDITIONAL SPACE. FACADE RENOVATION AND ROOF REPAIR. FACADE TO INCLUDE NEW LOGO AND BLADE SIGN AS WELL AS IRISH AND AMERICAN FLAGS, DODGERS AND RAMS CLUB BANNERS

PROJECT DATA:

REV.#

ADDRESS: 2158 LOMITA BLVD. LOMITA CA.
 LEGAL: TRACT 47 LOT 27

APN: 7376-017-030
 ZONING - LOMITA COMMERCIAL C-2

OCCUPANCY - A
 CONSTRUCTION TYPE V-N
 PROPOSED BUILDING AREA 2496 SF
 FIRE SPRINKLERS - NO

GOVERNANCE - CODES

2016 CBC
 2016 CFC
 2016 CEC
 LOMITA MUNICIPAL CODE
 LA COUNTY ENVIRONMENTAL HEALTH DEPT.
 LA COUNTY FIRE DEPT.

SHEET INDEX

SHEET #	DESCRIPTION
C-1.0	COVER SHEET
A-0.1	EXISTING FLOOR PLAN
A-1.0	MAIN FLOOR ELEVATIONS
A-2.0	

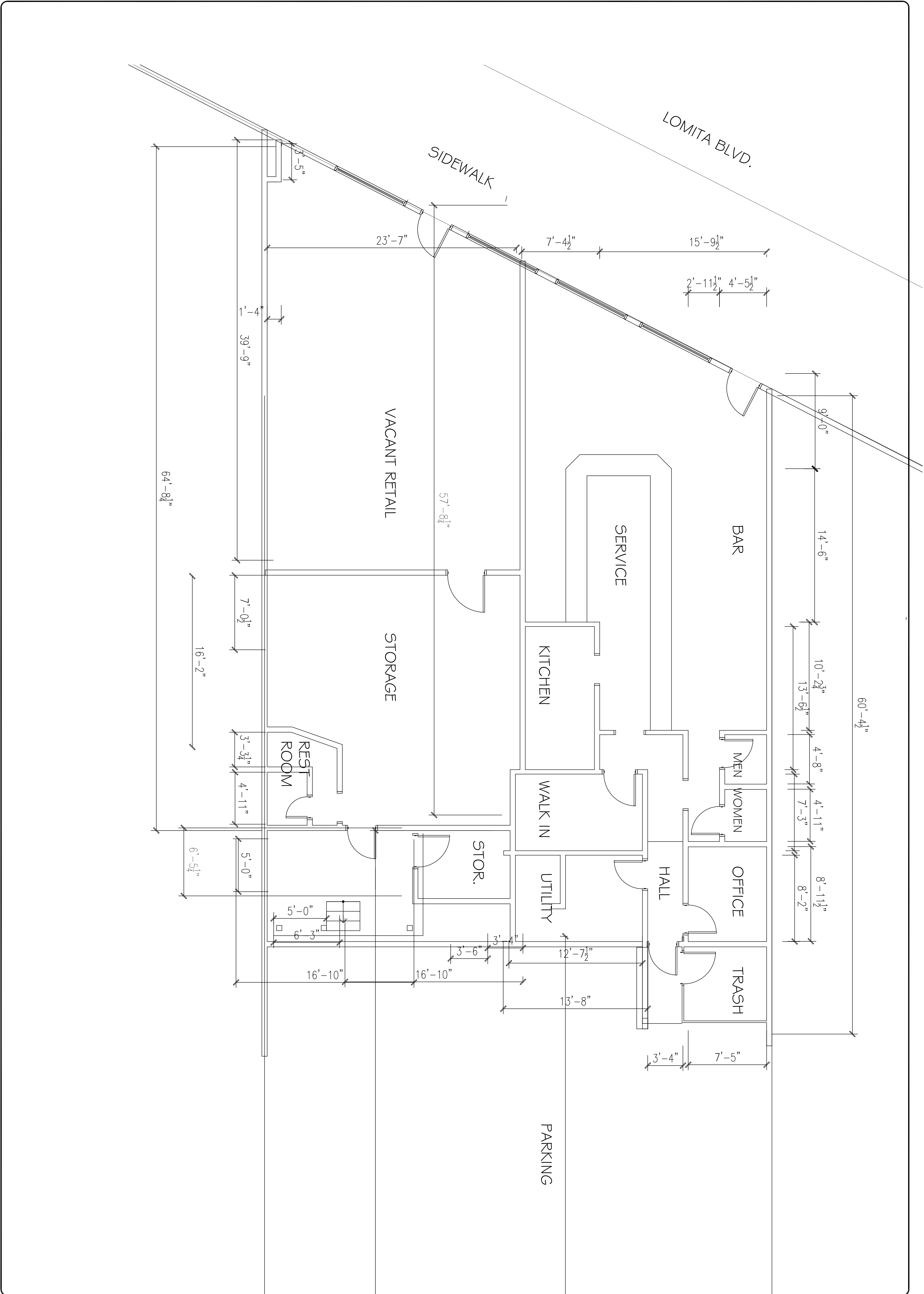
REVISIONS	BY
	LES

COVER SHEET
 PROJECT DATA

REMODEL RESTAURANT
 the BLACKTHORNE pub
 2158 LOMITA BLVD.
 LOMITA CA. 90717

LOUIS SKELTON, ARCHITECT
 2537 D PACIFIC COAST HIGHWAY - # 168
 TORRANCE, CALIFORNIA 90505
 e-MAIL: onon@yahoo.com
 (310) 962-4017

DRAWN	DATE
LES	OCTOBER 13, 2019
CHECKED	NOTED
	JOB NO.
	SHEET
C-1	
	of
	of



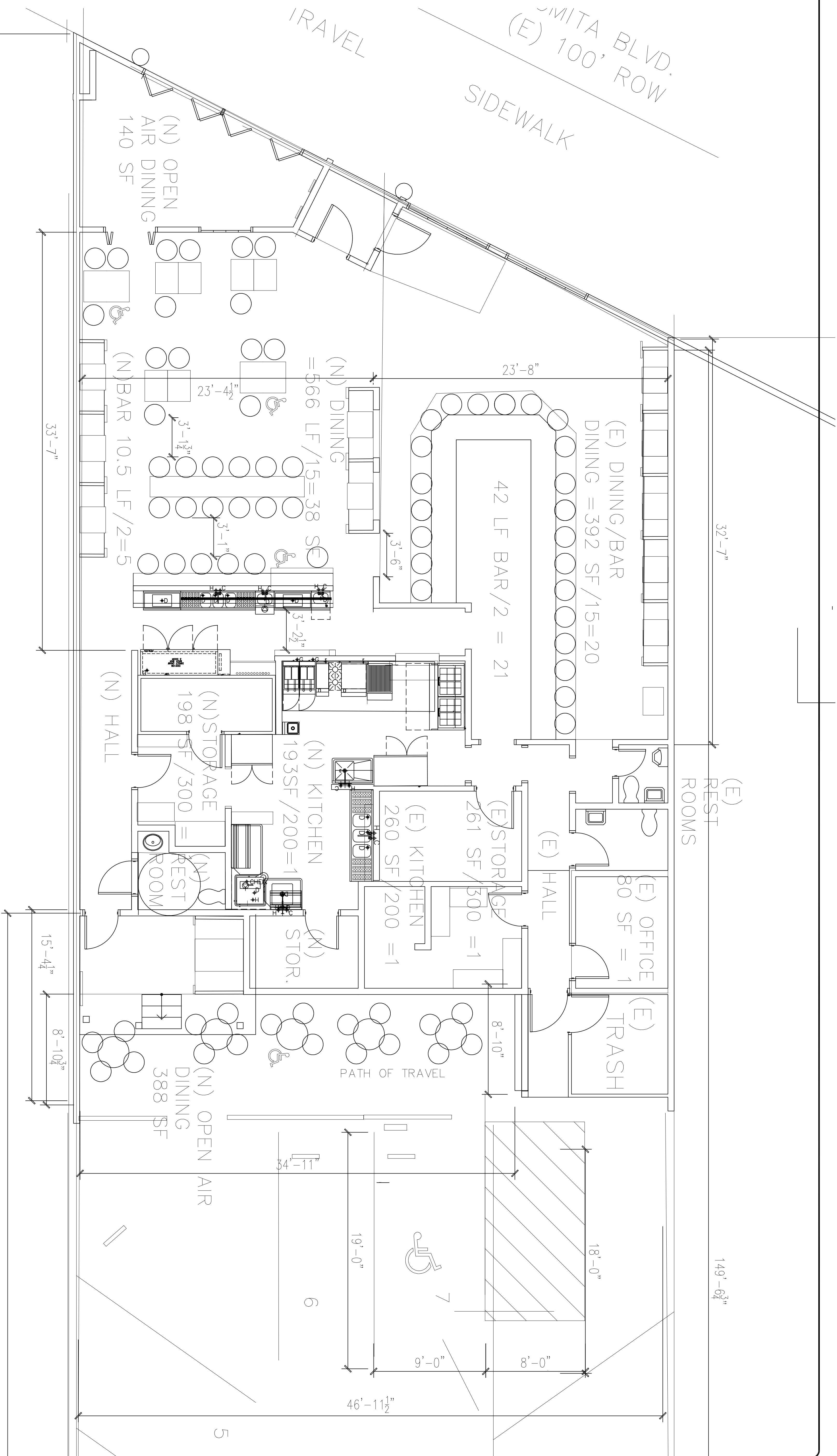
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DATE	OCTOBER 15, 2019
SCALE	NOTED
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SHEET	
A-0.1	
of	
of	

LOUIS SKELTON, ARCHITECT
 2537 D PACIFIC COAST HIGHWAY - # 168
 TORRANCE, CALIFORNIA 90505
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 (310) 962-4017

REMODEL RESTAURANT
the BLACKTHORNE pub
 2158 LOMITA BLVD.
 LOMITA CA. 90717

FLOOR PLAN
 EXISTING AS BUILT

REVISIONS	BY
	LES



THE BLACKTHORNE PUB
 PROPOSED FLOOR PLAN
 2158 LOMITA BLVD

LOUIS SKELTON, ARCHITECT
 OCTOBER 13, 2019

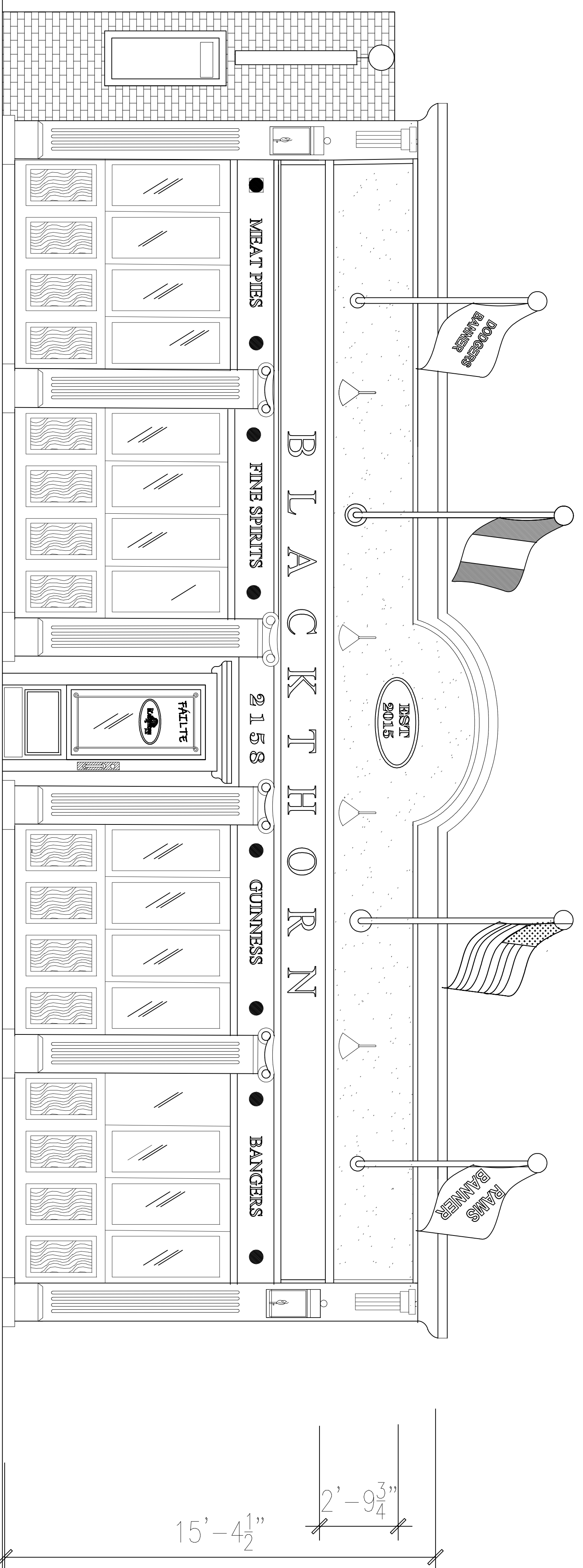
REVISIONS	BY
	LES

FLOOR PLAN

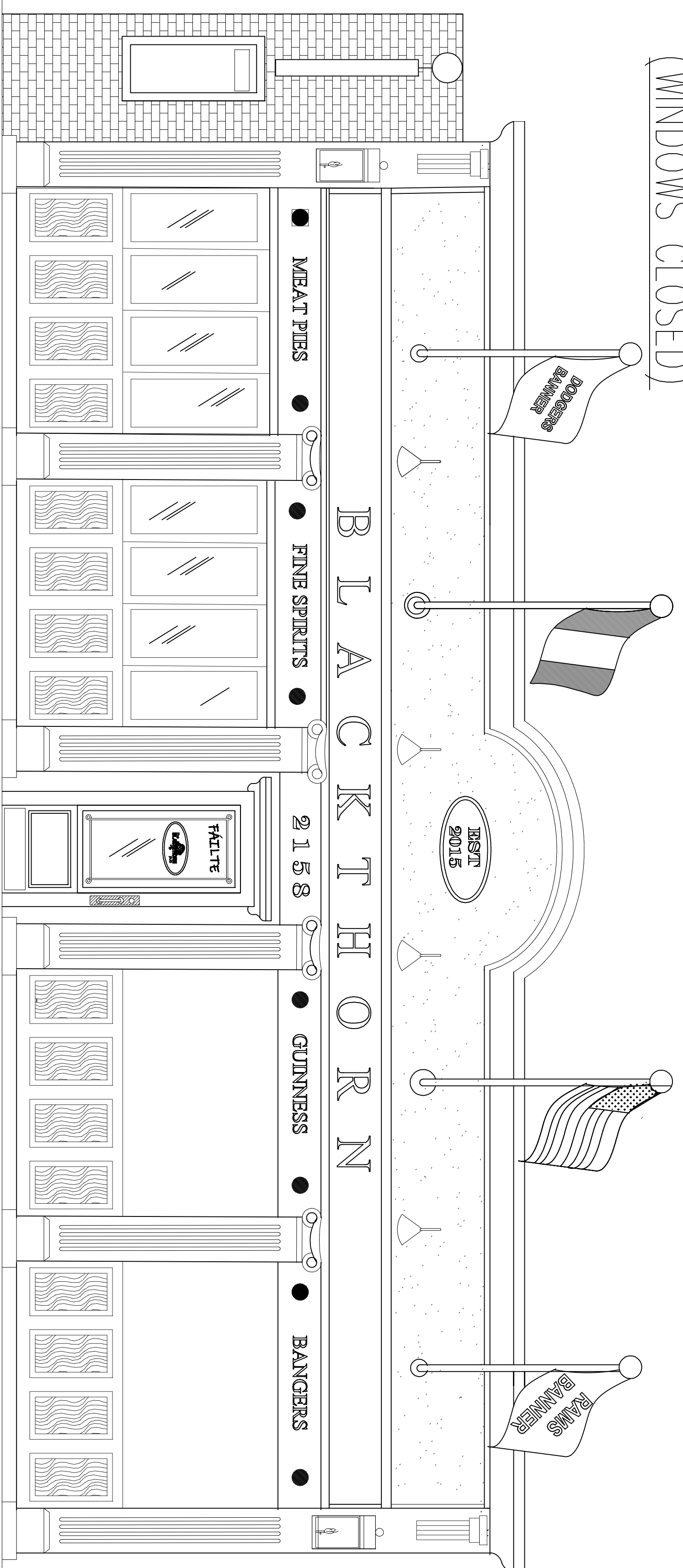
REMODEL RESTAURANT
 the BLACKTHORNE pub
 2158 LOMITA BLVD.
 LOMITA CA. 90717

LOUIS SKELTON, ARCHITECT
 2537 D PACIFIC COAST HIGHWAY - # 168
 TORRANCE, CALIFORNIA 90505
 e-MAIL: onon@yahoo.com
 (310) 962-4017

DRAWN	LES
CHECKED	LES
DATE	OCTOBER 13, 2019
SCALE	NOTED
JOB NO.	
SHEET	
A-1.0	
of	
of	



FRONT ELEVATION
(WINDOWS CLOSED)



FRONT ELEVATION
(WINDOWS OPEN)

REVISIONS	BY
	LES

ELEVATIONS

REMODEL RESTAURANT
the BLACKTHORNE pub
2158 LOMITA BLVD.
LOMITA CA. 90717

LOUIS SKELTON, ARCHITECT
2537 D PACIFIC COAST HIGHWAY - # 168
TORRANCE, CALIFORNIA 90505
e-MAIL: onon@yahoo.com
(310) 962-4017

DRAWN LES
CHECKED LES
DATE OCTOBER 15, 2019
SCALE 3/8" = 1'-0"
JOB NO.
SHEET
A-2.0
of
of



LUNCH AND DINNER MENU

2158 LOMITA BLVD.
LOMITA, CA 90717

(310) 891-1724

THEBLACKTHORNPUB.COM

THE BLACKTHORN PUB MENU

KITCHEN HOURS: MONDAY - THURSDAY FROM 12PM - 9PM

FRIDAY FROM 11AM - 11PM

SATURDAY & SUNDAY FROM 10AM - 11PM

ADD FRIES FOR \$2.50 EXTRA. ADD PARMESAN-GARLIC FRIES FOR \$3 EXTRA.

ADD-ON EXTRAS: AMERICAN BACON - \$2, CHILI - \$2, EGG - \$1, MUSHROOMS - \$1, CHEESE - \$.50.

CLASSIC BURGER \$7
1/3 LB. ANGUS BEEF TOPPED WITH LETTUCE,
TOMATO & ONION, PICKLE SPEAR ON THE SIDE.
MAKE IT A DOUBLE FOR \$3 EXTRA

GRILLED CHICKEN BURGER ... \$7
GRILLED CHICKEN BREAST TOPPED WITH LETTUCE,
TOMATO & ONION, PICKLE SPEAR ON THE SIDE

BLT \$8
BACON, ROMAINE LETTUCE AND TOMATO ON
TOASTED WHITE OR SOURDOUGH BREAD

PHILLY CHEESESTEAK \$8
BEEF AND CHEESE, ONIONS AND PEPPERS
SERVED ON A 6" ROLL

FISH SANDWICH \$9
TWO PIECES BATTERED FISH, ROMAINE LETTUCE
AND TARTAR SAUCE ON A BUN

BLACKTHORN TOASTIE \$7
CANADIAN BACON AND IRISH CHEDDAR CHEESE
MELTED BETWEEN SLICES OF WHITE, WHEAT OR
SOURDOUGH BREAD

CHICKEN SALAD SANDWICH..... \$8
CHICKEN SALAD WITH LETTUCE AND TOMATO
ON WHITE, WHEAT OR SOURDOUGH BREAD

CHICKEN OR TUNA SALAD WRAP... \$8.50

CLASSIC CHEESE BURGER \$7.50
1/3 LB. ANGUS BEEF TOPPED WITH CHEDDAR CHEESE,
LETTUCE, TOMATO & ONION, PICKLE SPEAR ON THE SIDE.
MAKE IT A DOUBLE FOR \$3 EXTRA

GARDENBURGER \$7.50
GARDENBURGER VEGGIE PATTY TOPPED WITH LETTUCE,
TOMATO & ONION, PICKLE SPEAR ON THE SIDE

BLACK BEAN BURGER \$7.50
BLACK BEAN CHIPOTLE PATTY TOPPED WITH LETTUCE,
TOMATO & ONION, PICKLE SPEAR ON THE SIDE

PATTY MELT \$8.50
1/3 LB. ANGUS BEEF PATTY TOPPED WITH
CHEDDAR CHEESE AND GRILLED ONIONS ON
WHITE, WHEAT OR SOURDOUGH BREAD

CLUB SANDWICH \$9
YOUR CHOICE OF TURKEY OR HAM TOPPED WITH
BACON, ROMAINE LETTUCE AND TOMATO
ON WHITE, WHEAT OR SOURDOUGH BREAD

CHEESE TOASTIE \$6
CHEDDAR CHEESE MELTED BETWEEN SLICES OF
WHITE, WHEAT OR SOURDOUGH BREAD
ADD HAM OR TURKEY FOR \$1 EXTRA

TUNA SALAD SANDWICH \$8
TUNA SALAD WITH LETTUCE AND TOMATO
ON WHITE, WHEAT OR SOURDOUGH BREAD

TUNA MELT..... \$9

HOUSE MADE DAILY LUNCH SPECIALS

12PM - 3PM: ASK SERVER WHEN AVAILABLE

★ NO SUBSTITUTIONS ON MENU ITEMS ★

THE BT WEEKEND

BREAKFAST SERVED 10AM UNTIL 2PM

TOAST OPTIONS: WHITE, WHEAT, SOURDOUGH OR ENGLISH MUFFIN

3-EGG OMELETTES AND SCRAMBLES - \$9

ALL OMELETTES AND SCRAMBLES SERVED WITH HOMEFRIES AND TOAST

ADD-ONS \$1 EACH: MUSHROOMS, SPINACH, EXTRA CHEESE

ADD-ONS \$.50 EACH: TOMATOS, PEPPERS, ONIONS

DENVER

HAM, ONIONS, BELL PEPPER & CHEESE

MEAT & CHEESE CLASSIC

YOUR CHOICE OF: HAM, BACON OR SAUSAGE WITH CHEESE

SPINACH & MUSHROOM

SPINACH, MUSHROOMS AND CHEESE

VEGGIE LOVERS

BELL PEPPERS, ONIONS, TOMATOES, MUSHROOMS & CHEESE

SIDES & DRINKS

EGG	\$2	SALSA	\$1
TOAST	\$2	ENGLISH MUFFIN	\$2
FLOUR TORTILLA	\$1	BAKED BEANS	\$2.50
3 SAUSAGE LINKS.....	\$3	HOLLANDAISE.....	\$3
3 BACON STRIPS	\$3	HOMEFRIES	\$3
FRUIT - SMALL.....	\$2.50	HAMBURGER PATTY	\$4
LARGE.....	\$6	CORNED BEEF HASH	\$7
SODA	\$1.50	MIMOSA OR CHAMPAGNE...	\$4
COFFEE OR TEA.....	\$1.50	BLOODY MARY SM.....	\$5, LRG....\$8
JUICE	\$3	IRISH BREAKFAST SHOT	\$7
MICHELADA DOMESTIC	\$6	IRISH COFFEE	\$7
MICHELADA PREMIUM	\$7		

THE BT WEEKEND

BREAKFAST SERVED 10AM UNTIL 2PM

TOAST OPTIONS: WHITE, WHEAT, SOURDOUGH OR ENGLISH MUFFIN

THE BT BREAKFAST \$6

2 EGGS, 3 STRIPS BACON OR SAUSAGE LINKS, HOMEFRIES AND TOAST

THE BT BREAKFAST BURRITO \$8

2 EGGS, BACON, SAUSAGE, POTATOES AND CHEESE WRAPPED IN A FLOUR TORTILLA. SALSA SERVED ON THE SIDE.

BREAKFAST SANDWICH \$5

1 EGG, 2 STRIPS BACON OR SAUSAGE LINKS AND CHEESE ON CHOICE OF TOAST OR ENGLISH MUFFIN

CORNERED BEEF HASH \$10

3 EGGS, HOMEMADE CORNERED BEEF HASH AND TOAST

PORK CHOP BREAKFAST \$11

A BONE-IN PORKCHOP SERVED WITH 3 EGGS, HOMEFRIES AND TOAST
ADD A SECOND PORKCHOP FOR \$3 EXTRA.

EGGS BENEDICT \$13

3 EGGS AND CANADIAN BACON SERVED ON AN ENGLISH MUFFIN AND COVERED
IN OUR HOUSE-MADE HOLLANDAISE SAUCE
SERVED WITH YOUR CHOISE OF HOMEFRIES OR BOWL OF FRUIT

EGGS FLORENTINE \$15

3 EGGS, CANADIAN BACON, FRESH SPINACH AND TOMATO SERVED ON AN
ENGLISH MUFFIN AND COVERED IN OUR HOUSE-MADE HOLLANDAISE SAUCE
SERVED WITH YOUR CHOISE OF HOMEFRIES OR BOWL OF FRUIT

THE BLACKTHORN PUB MENU

MEATLOAF & MASH \$11

TASTY HOUSE-MADE MEATLOAF WITH VEGGIES AND MASHED POTATOES & GRAVY

PORKCHOP DINNER \$9

A BONE-IN PORKCHOP SERVED WITH FLUFFY MASHED POTATOES AND GRAVY AND STEAMED VEGETABLES.

ADD ANOTHER CHOP FOR \$3 EXTRA

FISH & CHIPS \$11

NORTH ATLANTIC COD BATTERED AND FRIED, SERVED WITH HOUSE-MADE COLESLAW, TARTAR SAUCE AND SIDE OF FRIES

BANGERS & MASH \$11

TWO ENGLISH-STYLE BANGERS WITH VEGGIES AND MASHED POTATOES & GRAVY

NATHAN'S FAMOUS HOT DOG.... \$5

ONE 1/4 LB. NATHAN'S HOT DOG SERVED PLAIN. ONION ON REQUEST.

ADD CHEESE FOR \$.50

ADD CHILI FOR \$1.50

ADD FRIES FOR \$2.50

BACON-WRAPPED HOT DOG.... \$7

ONE 1/4 LB. NATHAN'S HOT DOG WRAPPED IN DELICIOUS BACON

SAVORY PIES OR CORNISH PASTIE \$7.50

ASK YOUR SERVER FOR AVAILABILITY OF PIES: STEAK-GUINNESS & MUSHROOM, CHICKEN & MUSHROOM, CHICKEN CURRY OR VEGETARIAN CURRY

SAVORY PIES OR CORNISH PASTIE MEAL..... \$11

YOUR CHOICE OF A PIE OR PASTIE SERVED WITH MASHED POTATOES, GRAVY AND VEGETABLES

ALLOW 55 MINUTES FOR PIES AND PASTIES TO COOK.

SAUSAGE ROLL \$6

ALLOW 45 MINUTES FOR SAUSAGE ROLLS TO COOK.

ADD-ON EXTRAS: AMERICAN BACON - \$3, GARLIC PARMESAN \$1.50.

CHICKEN QUESADILLA \$8

A FLOUR TORTILLA FILLED WITH DICED CHICKEN AND CHEDDAR CHEESE. SERVED WITH SALSA AND SOUR CREAM

CHEESE QUESADILLA \$6

A FLOUR TORTILLA FILLED WITH CHEDDAR CHEESE. SERVED WITH SALSA AND SOUR CREAM

CHICKEN FAJITAS \$11

GRILLED CHICKEN BREAST, TOMATO, PEPPERS AND ONION. SERVED WITH TWO FLOUR TORTILLAS, SALSA AND SOUR CREAM

FISH TACOS \$6

2 TACOS OF WILD-CAUGHT COD, SHREDDED CABBAGE AND CHIPOTLE DRESSING

SALADS

ALL SALADS COME WITH YOUR CHOICE OF RANCH, 1000 ISLAND, ITALIAN OR VINAGRETTE

GRILLED CHICKEN SALAD \$9.50

GRILLED CHICKEN BREAST ON A BED OF LETTUCE, TOMATOES, ONION, CELERY, CHEESE AND CROUTONS

HOUSE SALAD \$6.50

LETTUCE, TOMATOES, ONION, CELERY, CHEESE AND CROUTONS

★ NO SUBSTITUTIONS ON MENU ITEMS ★

THE BLACKTHORN PUB MENU

CHICKEN WINGS \$6

6 CHICKEN WINGS SERVED WITH CELERY STICKS & SIDES OF RANCH DRESSING AND HOT SAUCE. ADD PARMESAN-GARLIC FOR \$1.50 EXTRA

SLIDERS \$7.50

3 BEEF SLIDERS ON BRIOCHE BUNS SERVED WITH CARMELIZED ONIONS AND CHEESE

ARTICHOKE DIP & CHIPS \$5

CREAMY ARTICHOKE DIP SERVED WITH CRISPY TORTILLA CHIPS AND BREAD ROUNDS

JALAPEÑO POPPERS \$4

4 DEEP-FRIED, CHEESE-STUFFED JALAPENOS SERVED WITH A SIDE OF RANCH DRESSING

MOZZARELLA STICKS \$4

4 DEEP-FRIED, BREADED & CREAMY MOZZARELLA STICKS SERVED WITH A SIDE OF MARINARA SAUCE

BANGER BITES & MUSTARD \$5

LITTLE TASTY BITES OF BRITISH BANGERS SERVED WITH A HOUSE SPICY MUSTARD

BASKET OF FRIES \$5

CHEESE FRIES \$7

TOPPED WITH SHREDDED CHEDDAR CHEESE

CHILI CHEESE FRIES ... \$8.50

TOPPED WITH SHREDDED CHEDDAR CHEESE & CHILI

GARLIC- PARMESAN FRIES ... \$7

TOPPED WITH MINCED GARLIC AND PARMESAN CHEESE SAUCE

IRISH NACHOS \$8.50

FRENCH FRIES TOPPED WITH SHREDDED CHEDDAR CHEESE AND BACON

SIDES

RANCH, 1000 ISLAND, ITALIAN OR VINAGRETTE DRESSING \$.50

TARTAR SAUCE \$.50

MARINARA SAUCE \$.50

WING SAUCE \$.50

DILL PICKLE - WHOLE \$1

GRAVY \$1

SALSA \$1

SOUR CREAM \$1

COLESLAW \$2.50

MASHED POTATOES \$3

SIDE HOUSE SALAD \$3

★ NO SUBSTITUTIONS ON MENU ITEMS ★



**CITY OF LOMITA
PLANNING COMMISSION REPORT**

TO: Planning Commission

November 12, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan Review 1201/Vesting Tentative Parcel Map No.82771
1749 257th Street in the Residential Variable Density (RVD)-2500 zone

APPLICANT'S REQUEST

The applicant is requesting a Site Plan Review and Vesting Tentative Parcel Map for the development of three new residential units with a maximum height of 25 feet 6 inches on a 7,500 square-foot lot located at 1749 257th Street in the RVD-2500 (Residential Variable Density) Zone. Filed by Hamid Pournamdari. P.O. Box 1627, Redondo Beach, CA 90278 ("Applicant")

RECOMMENDATION

Staff recommends that the Planning Commission recommend that the City Council adopt a resolution approving Site Plan No. 1201, Vesting Tentative Parcel Map (VTPM) No. 82771, and the corresponding CEQA Categorical Exemption, subject to the attached conditions.

BACKGROUND

Existing Conditions

The subject property is a flat 7,500-square-foot lot that has a width of 50 feet and a depth of 150 feet. The property contains a single-family home and a detached garage that were built in the 1920s. There is a driveway apron on 257th Street and alley access at the rear (north) of the property.

Prior to submission to the Planning Commission, the project received the following recommendations and approvals.

1. On July 18, 2019, the City of Lomita's consulting engineer, Quantum Quality Consulting recommended approval of Vesting Tentative Parcel Map No. 82771.
2. On October 1, 2019, the Los Angeles County Fire Department stated that the project meets all County Fire Code requirements and recommends approval.

Project Description

The project consists of three, 2,100 square foot, two-story townhomes. On the first floor is a two-car garage, two bedrooms, and a full bathroom. On the second floor is the master bedroom, laundry closet, living room, dining area and kitchen. A private 100-square-foot deck is attached to each unit's common living space. Fifty percent of the front yard is landscaped and between the buildings is a 264 square-foot yard.

ANALYSIS

General Plan Designation

The General Plan designation for the subject property is Medium Density Residential. The Medium Density Residential applies to areas “*developed with multi-family residential land uses and mobile home communities.*” The proposed three-unit development will have a density of 17.42 units per acre and is consistent with the General Plan’s development density of 8.7 to 19.8 units per acre.

Zoning

The zoning designation for the subject property is RVD-2500 (Residential, Variable Density 1-2500 SF). The RVD-2500 Zone is established in order to create variable density, limited height, multiple family residential areas. The subject lot is 7,500 square feet with a maximum allowable density of one unit for every 2,500 square feet; therefore, per the zoning designation, the maximum number of permissible units is 3 ($7,500/2,500 = 3.0$). The proposed three-unit project is consistent with the zoning designation.

Adjacent Zoning and Land Uses

The subject property is surrounded by R-1 and RVD 2500 zoned properties.

North	R-1 (Residential, Single Family) Land use: Single-family dwelling
South	RVD 2500 (Residential, Variable Density 2500) Land use: Six townhomes
West	RVD 2500 (Residential, Variable Density 2500) Land use: Three townhomes
East	RVD 2500 (Residential, Variable Density 2500) Land use: Two dwelling units

Development Standards Review

The project has been reviewed with §11-1.30.02, §11-1.30.04, §11-1.30.14 and §11-1.66.03 of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Zone	RVD-2500	RVD-2500	Yes
Minimum Lot Size	7,500 square feet	5,000 sq. ft.	Yes
Minimum Lot Width	50 feet	50 feet	Yes
Setbacks/Yards	Front: 20'0" Sides: 5'0" Rear: 20'0"	Front: 20'0" Sides: 5'0" Rear: 20'0"	Yes Yes Yes
Height	25' 6"	27' 0"	Yes
Deck Setback	Front: 17' Rear: 16'0"	Front: 15' 0" Rear: 15' 0"	Yes Yes
Off-Street Parking	2 enclosed parking spaces/unit = 6 total	2 enclosed parking spaces/unit = 6 total	Yes
Visitor Parking*	1 space/2 units = 1 total	1 space/ 2 units = 1 total	Yes
Waste Storage Area	Space available inside the garage	Adequate trash areas must be provided.	Yes
Open Space Total: Recreational/Patio	994 square feet combined 564 recreation/decks	900 square feet 450 square feet	Yes Yes

*Per Sec. 11-1.30.14, reduces the guest parking space requirement for each unit with 25' of street frontage.

Architectural Design

The proposed townhome development separates the three units into two separate buildings. The buildings' pitched roof reflects style of other properties along 257th Street. The entryways are recessed from the primary form of the structure. Unit 1's entrance faces the street. Unit 2 and Unit 3's entrances face differing directions and create separation between the units. The second-floor decks project approximately three feet adding dimension to the elevations.

Parking Analysis

The project meets the Code-required parking for multi-family uses. Six enclosed parking spaces are provided (two enclosed spaces per unit). Unit 1 & 2's garages have an interior width of 19 feet 5 inches and a depth of approximately 25 feet. Unit 3's garage has an interior depth of 19 feet 5 inches and a width of 24 feet. These dimensions provide ample room for parking and useable space for household needs.

In addition, the project provides one guest parking space. The Code reduces the number of units used in the guest parking calculation based on the number of units with a minimum of 25 feet of street frontage. (§11-1.30.14.) The project has one unit with 25 feet of lineal street frontage. Therefore, the number of units used to calculate guest parking requirement is two units, instead of three, and only one on-site guest parking space is required. The 10-foot wide and 20-foot deep guest parking space is located off the alley. This location is convenient for Unit 2 & Unit 3's guests due to their entrances' orientations and street parking is available on 257th Street. As a practical matter, Unit 1 and Unit 3 both have two 20-foot deep driveway spaces in front of their respective garages, which are also suitable for guest parking.

Circulation and Access

1749 257th Street is located between Walnut Street and Western Avenue. Pacific Coast Highway is one block south. To the north of the property, there is a 15-foot wide alley that connects to Western Avenue. This alley provides access for Unit 2 and Unit 3's garages. At the intersections of both 257th Street and Western Avenue, and 256th Street and Western Avenue are dedicated left hand turn lanes, making it possible for vehicles using the alley to change direction on Western Avenue.

This block is divided between the City of Lomita's jurisdiction and the City of Los Angeles's jurisdiction, and the right-of-way widths are identical in both jurisdictions. Due to established neighborhood patterns, the widths of the right of ways are suitable.

Per Public Works, the sidewalk shall be compliant with ADA standards and civil engineering plans shall be submitted. (COA Nos. 33 & 34)

Site Plan Review No. 1201

Multi-family developments within the RVD Zone are subject to the site plan review requirements of Section 11-1.70.07. After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the required findings, as follows:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the Development Standards table, the project complies with all of the development standards for the RVD Zone as set forth in Sections 11-1.30.02, 11-1.30.03, 11-1.30.04 (C), 11-1.30.14, 11-1.66.03 (A), and in addition to Sections 11-2.213 & 11-2.158. The number of units, setbacks, parking, masonry wall height and other development standards are all in compliance with code requirements.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is suitable for the proposed three condominium units. The project conforms to the maximum height requirement, and all setback requirements.

The site provides the required off-street parking. Though not required, each unit has laundry hookups. On-site laundry reduces the number of routine vehicular trips a household generates. Regarding circulation, a portion of the vehicle trips will be via the street and another portion will be via the alley.

There is space for trash bins and a masonry wall will be built along the perimeter, so there should be no adverse effects on public health or on neighboring properties. Exterior lighting will need to be provided. To ensure lighting is not a hazard to vehicle driving and does not impact neighboring properties, Condition of Approval No. 41 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 17.42 units per acre, which conforms to the 8.72 to 19.8 units per acre that is specified in the General Plan.

This block is divided between the City of Lomita's jurisdiction and the City of Los Angeles's jurisdiction, and the right-of-way widths are identical in both jurisdictions. Per Section 11-2.158, due to established neighborhood patterns, the widths of the right of ways are suitable.

- 3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design suits the lot and creates three functional, 3-bedroom, 2.5-bathroom condominium units as allowed by the Code. The design is consistent with the neighborhood, which contains a mixture of single-family dwellings, and multi-family housing both in the form of condominiums and apartments.

The mass of this development is divided into two buildings. The front building contains Units #1 and #2, and Unit #3 is detached and separate by a 264 square foot open space area. With Unit 1's street-facing entrance and driveway, the development reflects a traditional single-family home's orientation and connects to the public right-of-way. Because only Unit #1 will utilize the driveway apron, the depression is 16 feet wide, instead of 20 feet wide.

Units #2 and #3 will use the alley to access their garages. Access to each unit's entrance is via a walkway from the street or the guest parking space.

Unit # 1 and Unit #2' s garages are 25 feet deep, which is five feet more than necessary, and Unit # 3 is 25 feet wide. This additional garage floor space shall be used for storage of trash bins. An exterior doorway provides an alternate egress without having to move a parked vehicle. There shall be no wall separating the garage from the storage space.

Each townhome possesses a 100-square-foot deck that has direct access to the common living space. To realize the potential of this space, a condition of approval has been added to equip the deck with water, gas and electricity (COA No. 45).

Section 11-2.213 requires a six-foot high perimeter wall, except where the wall would obstruct the visibility of vehicular traffic. The project provides a three-foot high wall along the rear driveway and parking space, and a three-foot high wall in the along the front yard's side property lines.

Review of Vesting Tentative Parcel Map

In July of 2019, the City's consulting engineer, Quantum Engineering, finalized their review and recommended approval of VTPM No. 82771 with conditions. The City Public Works and Engineering staff also reviewed the parcel map. The water meters are required to be located in the parkway and not in the driveway apron. Civil engineering plans are required for public right-of-way improvements. (COA Nos. 29-37) The Los Angeles County Fire Department's Land Development Division reviewed the parcel map and site plan. They did not place any holds on the map.

The proposed tentative parcel map is in conformance with Section 11-2.116 of the Lomita Municipal Code, the City's General Plan, and Sections 66473.5 and 66474 A through G of the Subdivision Map Act:

- The map is consistent with the General Plan's residential land use designation as medium density.
- The three dwelling-unit improvement of the proposed subdivision is consistent with the General Plan.
- The site is physically suitable for the type of development. The project meets all the required development standards.
- The site is physically suitable for the density of development. The site has a density of 17.42, and accommodates one unit for every 2,500 square feet of lot area as permitted
- The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The site is located in an urbanized area and no fish, no wildlife or their habitats can be impacted by its development and is exempt from CEQA requirements;
- The design of the subdivision will not cause serious public health problems. Sewer discharge requirements will occur pursuant to Section 66474.6 of the Subdivision Map Act.
- The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the parcel map. The existing rights-of-way remain intact and there is no foreseeable interference.

Therefore, pursuant to the Municipal Code and Government Code Sections 66473.5 and 66474 (A through G), the proposed parcel map qualifies for approval.

Environmental Determination

In accordance with § 15303(b) (New Construction and Conversion of Small Structures) of the California Environmental Quality Act guideline, a multi-family residential structure totaling no more than six dwelling units in urban areas is exempt. As the proposed project consists of three dwelling units in an urban area, it is exempt from CEQA requirements under § 15303(b). The

proposed Vesting Tentative Parcel Map and Site Plan Review meet the above referenced requirements as outlined in the attached Notice of Exemption. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

Public Notice

Notice of this hearing, dated October 30th, 2019 were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, Lomita Park and on the web page. As of the date this staff report was prepared, staff has received one email correspondence against the proposed project

Recommended by:



Alicia Velasco
Community and Economic
Development Director

Prepared by:



Laura MacMorran
Assistant Planner

EXHIBITS:

- a. Resolution
- b. Vicinity Map
- c. Zoning Map
- d. General Plan Map
- e. Aerial Photograph
- f. Notice of Exemption
- g. Vesting Tentative Parcel Map
- h. Site Plan, Elevations, & Floor Plan

RESOLUTION NO. PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL OF SITE PLAN NO. 1201 AND VESTING TENTATIVE PARCEL MAP NO. 82771 FOR THE DEVELOPMENT OF THREE NEW RESIDENTIAL UNITS WITH A MAXIMUM HEIGHT OF 25 FEET 6 INCHES ON A 7,500-SQUARE-FOOT LOT, LOCATED AT 1749 257TH STREET IN THE RESIDENTIAL VARIABLE DENSITY 2500 ZONE (RVD-2500). FILED BY HAMID POURNAMDARI., P.O. BOX 1627, REDONDO BEACH, CALIFORNIA.

THE PLANNING COMMISSION OF THE CITY OF LOMITA DOES HEREBY FIND, ORDER, AND RESOLVE AS FOLLOWS:

Section 1. Recitals

- A. The Planning Commission of the City of Lomita recommends City Council Approval of Site Plan No. 1201 and Vesting Tentative Parcel Map No. 82771 for the development of three new residential units with a maximum height of 25 feet 6 inches on a 7,500-square-foot lot, located at 1749 257th Street in the Residential Variable Density 2500 Zone (RVD-2500). Filed by Hamid Pournamdari,.P.O. Box 167, Redondo Beach, California 90278.
- B. On November 12, 2019, the Planning Commission held a duly noticed public hearing and accepted testimony.
- C. The subject site is zoned RVD-2500 (Residential Variable Density 2500) and designated Residential (Medium Density) by the City's General Plan. Pursuant to Section 11-1.30.01 of the Lomita Municipal Code, a site plan review is required for all new multi-family residential projects.
- D. Said Tentative Map has been reviewed by the City's engineering division with recommended conditions of approval included in this resolution, as well as, Los Angeles County Fire, and City's engineering consultants with recommended conditions of approval included as Attachment A to this resolution.
- E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan and Title 11 of the Lomita Municipal Code.
- F. Section 15303(b) (New Construction and Conversion of Small Structures) exempts a duplex or similar multi-family residential structure totaling no more than six dwelling units in urban areas. The proposed project consists of only three dwelling units in an urban area. As there is no substantial evidence that the project may have a significant effect on the environment, Planning Commission recommends compliance with the CEQA exemption.
- G. The Planning Commission finds that the applicant agrees with the necessity of, and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

Section 2. Pursuant to Section 11-1.70.07 (Site Plan Review) of the Lomita Municipal Code, the Planning Commission finds, after due study and deliberation that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the Development Standards table, the project complies with all of the development standards for the RVD Zone as set forth in Sections 11-1.30.02, 11-1.30.03, 11-1.30.04 (C), 11-1.30.14, 11-1.66.03 (A), and in addition to Sections 11-2.213 & 11-2.158. The number of units, setbacks, parking, masonry wall height and other development standards are all in compliance with code requirements.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is suitable for the proposed three condominium units. The project conforms to the maximum height requirement, and all setback requirements.

The site provides the required off-street parking. Though not required, each unit has laundry hookups. On-site laundry reduces the number of routine vehicular trips a household generates. Regarding circulation, a portion of the vehicle trips will be via the street and another portion will be via the alley.

There is space for trash bins and a masonry wall will be built along the perimeter, so there should be no adverse effects on public health or on neighboring properties. Exterior lighting will need to be provided. To ensure lighting is not a hazard to vehicle driving and does not impact neighboring properties, Condition of Approval No. 41 has been added requiring the Director of Community and Economic Development's approval.

The project is consistent with the General Plan's Medium Density Residential designation. The lot will have a density of 17.42 units per acre, which conforms to the 8.72 to 19.8 units per acre that is specified in the General Plan.

This block is divided between the City of Lomita's jurisdiction and the City of Los Angeles's jurisdiction, and the right-of-way widths are identical in both jurisdictions. Per Section 11-2.158, due to established neighborhood patterns, the widths of the right of ways are suitable.

3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.

The development design suits the lot and creates three functional, 3-bedroom, 2.5-bathroom condominium units as allowed by the Code. The design is consistent with the neighborhood, which contains a mixture of single-family dwellings, and multi-family housing both in the form of condominiums and apartments.

The mass of this development is divided into two buildings. The front building contains Units #1 and #2, and Unit #3 is detached and separate by a 264 square foot open space area. With

Unit 1's street-facing entrance and driveway, the development reflects a traditional single-family home's orientation and connects to the public right-of-way. Because only Unit #1 will utilize the driveway apron, the depression is 16 feet wide, instead of 20 feet wide.

Units #2 and #3 will use the alley to access their garages. Access to each unit's entrance is via a walkway from the street or the guest parking space.

Unit # 1 and Unit #2' s garages are 25 feet deep, which is five feet more than necessary, and Unit # 3 is 25 feet wide. This additional garage floor space shall be used for storage of trash bins. An exterior doorway provides an alternate egress without having to move a parked vehicle. There shall be no wall separating the garage from the storage space.

Each townhome possesses a 100-square-foot deck that has direct access to the common living space. To realize the potential of this space, a condition of approval has been added to equip the deck with water, gas and electricity (COA No. 45).

Section 3. The proposed tentative parcel map does not warrant rejection based on the criteria for rejection in Section 11-2.116 of the Lomita Municipal Code, the City's General Plan, or Sections 66473.5, 66474.6 and 66474 of the Subdivision Map Act as the proposed tentative map is:

- The map is consistent with the General Plan's residential land use designation as medium density.
- The three dwelling-unit improvement of the proposed subdivision is consistent with the General Plan.
- The site is physically suitable for the type of development. The project meets all the required development standards.
- The site is physically suitable for the density of development. The site has a density of 17.42, and accommodates one unit for every 2,500 square feet of lot area as permitted
- The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The site is located in an urbanized area and no fish, no wildlife or their habitats can be impacted by its development and is exempt from CEQA requirements;
- The design of the subdivision will not cause serious public health problems. Sewer discharge requirements will occur pursuant to Section 66474.6 of the Subdivision Map Act.
- The design of the subdivision or the type of improvements will not unreasonably interfere with the free and complete exercise of a public entity and/or public utility rights-of-way and/or easements within the parcel map. The existing rights-of-way remain intact and there is no foreseeable interference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lomita hereby recommends City Council approval of Site Plan Review No. 1201 and a Tentative Parcel Map No. 82771 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This Tentative Parcel Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.

2. This Tentative Parcel Map is granted for the plans dated July 15, 2019, (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Community Development Director or a modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls.
3. Pursuant to Lomita Municipal Code sections 11-2.357 and 11-2.251, this Vesting Tentative Parcel Map dated July 15, 2019 shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use.
4. The Developer shall indemnify, protect, defend and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (collectively, the “City”), from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings or procedures (collectively, “Actions”) brought against the City that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City, for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, or any other statute, law, ordinance, rule or regulation. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that Developer shall reimburse the City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Developer of any Action brought and City shall cooperate with Developer in the defense of the Action.
5. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
6. That the Planning Commission may review this approval upon notice of violation by the Code Enforcement Division.
7. By commencing any activity related to the project or using any structure authorized by this map, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein.
8. Any covenants, conditions, and restrictions (CC&R’s) applicable to the project property shall be consistent with the terms of this Tentative Parcel Map and the City Code. If there is a conflict between the CC&R’s and the City Code or this permit, the City Code or this permit shall prevail.
9. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code.
10. Before placing or constructing any signs on the project property, Developer shall obtain a sign

permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.

11. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this Tentative Parcel Map.
12. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
13. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
14. If Developer, owner or tenant fails to comply with any of the conditions of this Vesting Tentative Parcel Map, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
15. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property.
16. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPE CONDITIONS

17. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans.
18. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems. The irrigation shall be weather based and of the smart irrigation type. It shall be a brand approved by the Irrigation Association of California State University Fresno. A list of systems may be obtained from the planning department.
19. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer.
20. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
21. Before the City issues building permits, the Developer shall obtain the approval of the Community Development Director for a low water-using landscape plan.
22. At the close of escrow or at the time of occupancy of each dwelling unit, Developer shall review with and provide instructions to each buyer concerning the irrigation controller operation and the watering schedules.

23. The project shall meet the maximum allowable water usage requirements as calculated by the AB 325 formula. The calculations shall be shown on the submitted landscape plans for verification.
24. Developer shall submit two sets of parkway landscape and irrigation plans with the first submittal of public improvement plans. The City shall approve parkway landscape and irrigation plans when the City approves public improvement plans. Before the City issues a building permit, the irrigation plans must be approved for proper meter size, backflow prevention device, and cross connection control by the Public Works Director or designee.
25. Sprinkler heads must rotate and be designed with a 70% distribution uniformity in turf areas and 80% in non-turf areas.
26. Run off directional flow shall be detailed on the landscape plan with as much run-off water captured in landscaped areas as possible.
27. Turf and non-turf areas shall be installed on individual valves of the irrigation system.
28. Applicant shall supply water to the required parkway tree and the irrigation system shall be shown on the landscaping plan.

ENGINEERING CONDITIONS (CITY OF LOMITA SITE PLAN REVIEW)

29. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications. All new and modified utility lines shall be placed underground.
30. The developer shall submit calculations, prepared by a licensed civil engineer, determining the size of the water service laterals, water meters and backflow device. A separate fire service line shall be required.
31. The developer shall install separate water meters for each unit with the brand/type of meter subject to the Department of Public Works approval. Prior to receiving Certificate of Occupancy, developer shall repair in accordance with the standards and specifications of the Public Works Director, any damaged concrete curbs, gutters and sidewalks parallel and adjacent to that portion of the entire perimeter of the lot which adjoins the street, at no expense to the city.
32. All water meters shall be located outside of the driveway apron. The new location shall be to the satisfaction of the City.
33. All unused approaches must be removed and replaced with sidewalk/parkway improvements to match existing and pursuant to American Disabilities Act requirements.
34. All project driveways, approaches, including alley, and adjacent sidewalk area shall be constructed to meet American Disabilities Act requirements.
35. Civil engineering plans shall be submitted for all right-of-way improvement prior to plan

submission to the Building and Safety Division.

36. The developer shall obtain an encroachment permit, and place bonds as necessary from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
37. Prior to issuing a grading permit or final Parcel Map approval the developer shall either construct or post security for all required public improvements.

PLANNING STANDARD CONDITIONS

38. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
39. Before the City issues building permits, Developer shall include a reproduction of all conditions of this Site Plan Review as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
40. This permit is granted subject to the City's approval and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community Development Director.
41. Project on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. Developer shall submit a lighting plan showing heights and light materials for design review and approval of the Community and Economic Development Director.
42. Developer shall provide for dust control at all times during project property preparation and construction activities.
43. Developer shall establish a homeowner's association and the association shall be responsible for the maintenance of the private driveway and any other interior areas held in common by the association and for the enforcement of CC&R's related to property maintenance. The CC&R's shall be reviewed and approved by the Community Development Director prior to recordation.
44. Developer shall provide automatic garage door openers for all garages.
45. Each unit's deck shall be equipped with a gas connection, water spigot, and an electrical outlet.
46. Developer shall construct each dwelling unit with separate utility systems and meters.
47. Developer shall include in all deeds for the project and in the CC&R's a prohibition against parking recreational vehicles over 20 feet long in the project.
48. Developer shall provide storage areas for individual trash enclosures within garage, patio, yard, or storage areas subject to the review of the Community and Economic Development Director.

49. Developer shall pay Quimby Fees and Parkway Tree Fees before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment.
50. Developer shall pay the Development Tax of \$1,000 per residential unit prior to issuance of building permits.
51. Developer shall pay the applicable Water Facilities fee, currently one and a half (1 1/2) percent of the valuation of the development.
52. The Developer shall comply with the attached conditions of approval (Attachment A) developed by Quantum Quality Consulting and the County of Los Angeles Fire Department.
53. The Community Development Director may approve minor changes to the final approved plans. For numerical standards, the Community Development Director may approve deviations up to 10% provided that city code requirements are met.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 12th day of November, 2019 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners

Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Director of Community and Economic Development

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



Quantum Quality Consulting, Inc.
Consulting Engineering Services

July 25, 2019

Subject: PARCEL 82771, 1749 257th ST.
PROPOSED CONDOMINIUM DEVELOPMENT CONDITIONS

Laura MacMorran
Assistant Planner
City of Lomita
24300 Narbonne Ave
Lomita, CA 90717

Dear Ms. MacMorran,

Quantum Consulting (QC) completed the engineering review of the subject document and therefore recommends VTPM No. 82771 for approval. . We note that the project will be subject to the following conditions:.

**VESTING TENTATIVE PARCEL MAP NO. 82771
1749 257th ST.
RECOMMENDED CONDITIONS**

The following comments are NOT provided as part of a Quantum Consulting Engineering review of this development and are required of the applicant to secure approvals/comments:

- City of Lomita Planning
- L.A. County Fire Department
- L.A. County Department of Parks and Recreation
- L.A. County Department of Public Health

COMMENTS & CONDITIONS

The subdivision shall conform to the design standards and policies of the City of Lomita, in particular, but not limited to the following items:

2720 Sepulveda Blvd. Suite 100, Torrance, CA 90505
P.310.891.3994-F.310.891.3995
www.thequantumconsulting.com

ATTACHMENT A

1. Subdivision

a) Applicant shall pay all development impact fees.

b) Details and notes shown on the tentative map are not necessarily approved. Any details or notes which may be inconsistent with requirements of ordinances, general conditions of approval, or Department policies must be specifically approved in other conditions, or ordinance requirements are modified to those shown on the tentative map upon approval by the city.

c) Easements are tentatively required, subject to review by the Director of Public Works to determine the final locations and requirements.

d) Easements shall not be granted or recorded within areas proposed to be granted, dedicated, or offered for dedication for public streets, highways, access rights, building restriction rights, or other easements until after the final map is filed with the Registrar- Recorder/County Clerk's Office. If easements are granted after the date of tentative approval, subordination must be executed by the easement holder prior to the filing of the final map.

e) The owner, at the time of issuance of a grading or building permit, agrees to develop the property in conformance with the City Code and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Ordinance, Highway Permit Ordinance, Mechanical Code, Zoning Ordinance, Undergrounding of Utilities Ordinance, Water Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code. Improvements and other requirements may be imposed pursuant to such codes and ordinances.

f) All utility extensions within the site shall be placed underground.

g) All easements existing at the time of final map approval must be accounted for on the approved tentative map. This includes the location, owner, purpose, and recording reference for all existing easements. If an easement is blanket or indeterminate in nature, a statement to that effect must be shown on the tentative map in lieu of its location. If all easements have not been accounted for, submit a corrected tentative map to the City for approval.

h) Adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete all to the satisfaction of Public Works.

i) Prior to expiration of the tentative map, a final parcel map must be processed through the Planning Division prior to being filed with the Registrar-Recorder/County Clerk's Office.

k) A final subdivision guarantee will be required at the time of filing of the final map with the Registrar-Recorder/County Clerk's Office. A preliminary title report was not provided with this submittal.

l) Within 30 days of the approval date of this land use entitlement or at the time of first plan check submittal, the applicant shall deposit the sum of \$2,000 (Minor Land Divisions) or \$5,000 (Major Land Divisions) with the City to defray the cost of verifying conditions of approval for the purpose of issuing final map clearances. This deposit will cover the actual cost of reviewing conditions of approval for Conditional Use Permits, Tentative Tract and Parcel Maps, Vesting Tentative Tract and Parcel Maps, Oak Tree Permits, Specific Plans, General Plan Amendments, Zone Changes, CEQA Mitigation Monitoring Programs and Regulatory Permits from State and Federal Agencies (California Fish and Wildlife, USF&W, Army Corps, RWQCB, etc.) as they relate to the various plan check activities and improvement plan designs. In addition, this deposit will be used to conduct site field reviews and attend meetings requested by the applicant and/or his agents for the purpose of resolving technical issues on condition compliance as they relate to improvement plan design, engineering studies, highway alignment studies and tract/parcel map boundary, title and easement issues. When 80% of the deposit is expended, the applicant will be required to provide additional funds to restore the initial deposit. Remaining balances in the deposit account will be refunded upon final map recordation.

2. Road

a) Construct new driveways to meet current Americans with Disabilities Act (ADA) to the satisfaction of the City of Lomita.

b) Close any unused driveways with standard curb, gutter and sidewalk along the property frontage on streets within this subdivision to the satisfaction of City of Lomita.

c) Repair any damaged improvements during construction to the satisfaction of the City of Lomita.

3. Sewer

a) The subdivider shall serve each proposed unit with a separate lateral.

4. Water

a) The subdivider shall serve each proposed unit with a separate service and meter.

REQUIREMENTS PRIOR TO GRADING PLAN APPROVAL:

5. Grading (If grading plan is required)

a) Provide the following:

- 1). Benchmark information on grading plan/exhibit map.
- 2). The drainage shall conform to latest Standard Urban Stormwater Mitigation Plan (SUSMP)/Low Impact Development (LID) plan by the City unless modification or waiver is approved by the City in accordance with the Code.
- 3). Grading plans shall conform to the California Building Code and all other relevant laws, rules, and regulations governing grading in the City of Lomita.
- 4). Provide rough and precise grading combination plan for the entire site and submit for review and approval.
- 5). Where grading involves import or export, the project applicant shall obtain approval for the import/export location from the City.
- 6). If import/export involves the movement of more than 100 cubic yards of material using city streets, review and approval of a haul route by the City is required.
- 7). Grading plan shall provide for protection of downstream properties from damages caused by alteration of the drainage patterns.
- 8). It shall be the sole responsibility of the project applicant to obtain any and all proposed required easements and/or permissions necessary to perform the grading.
- 9). Phase 1 Environmental Site Assessment for review by the City.
- 10). Permits and/or letters of non-jurisdiction from all State and Federal Agencies, as applicable. These agencies may include, but may not be limited to the State of California Regional Water Quality Control Board, State of California Department of Fish and Game, State of California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (DOGGR), and the Army Corps of Engineers.

REQUIREMENTS PRIOR TO FINAL MAP RECORDATION:

- a) Submit a grading plan for approval. The grading plan must show and call out the following items, including but not limited to: construction of all drainage devices and details, paved driveways, elevation and drainage of all pads, SUSMP and LID devices (if applicable), and any required landscaping and irrigation not within a common area or maintenance easement. Acknowledgement and/or approval from all easement holders may be required.

b) A maintenance agreement or CC&Rs may be required for all privately maintained drainage devices, slopes, and other facilities.

6. Storm Drain and Hydrology

a) Applicant shall provide a copy of the drainage concept or hydrology study prior to issuance of building permit or grading plan approval.

7. Geotechnical

a) A preliminary geotechnical/soils investigation report shall be provided on this project.

If you should have any questions or comments regarding the engineering review of the subject document, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Preble', written in a cursive style.

Douglas Preble, P.E.
Civil Engineer/Surveyor



COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION DIVISION

Land Development Unit
5823 Rickenbacker Road
Commerce, CA 90040
Telephone (323) 890-4243, Fax (323) 890-9783

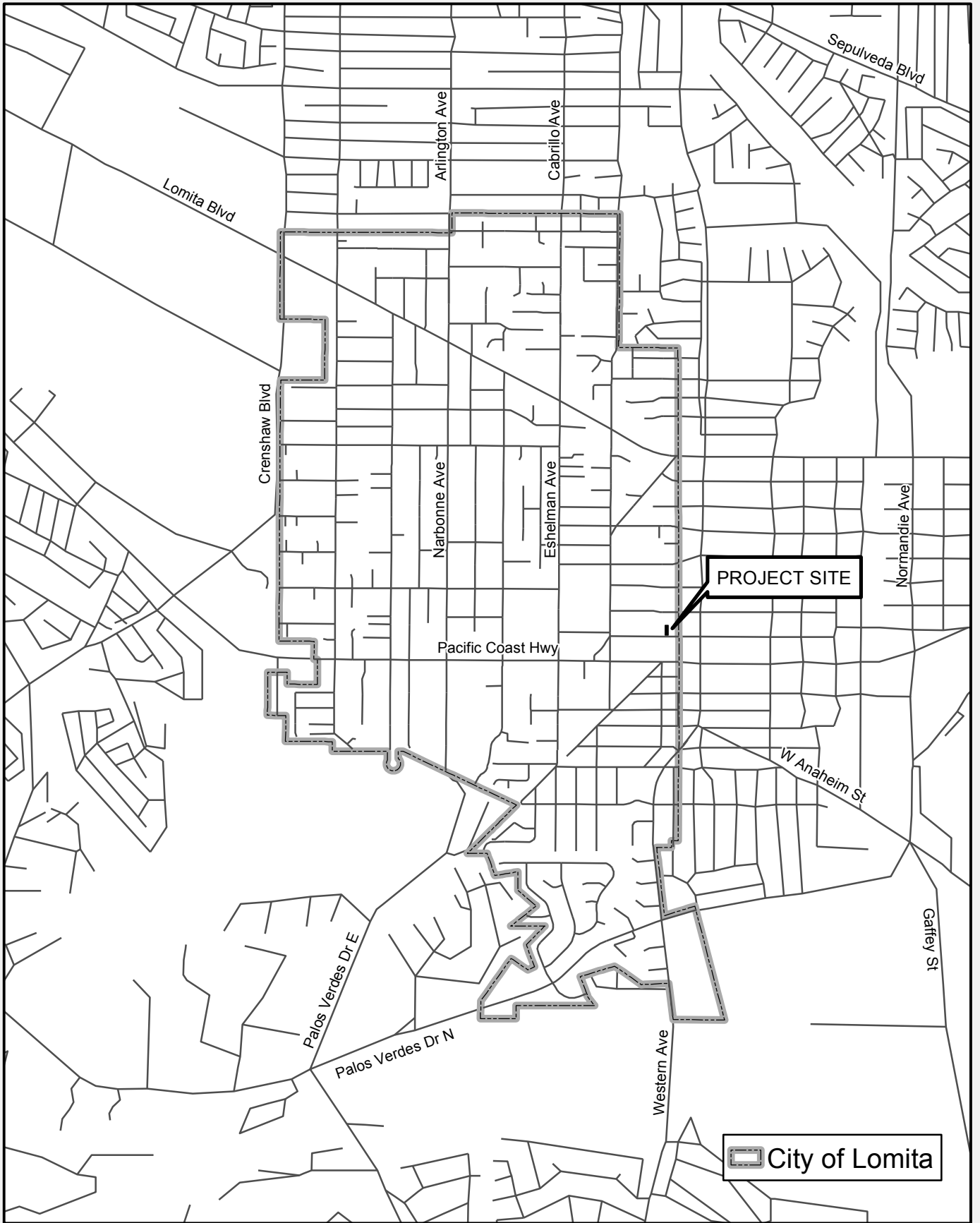
PROJECT:	TR 82771 Site Plan 1201	MAP DATE:	July 22, 2019
ADDRESS:	1749 257 th St.	Planner:	Laura MacMorran
City:	Lomita	FLDU	FLDU2019004398
Inspector:	Nancy Rodeheffer FPEA II	Report Date:	October 1, 2019

THE COUNTY OF LOS ANGELES FIRE DEPARTMENT FIRE PREVENTION LAND DEVELOPMENT UNIT RECOMMENDS THAT THIS PROJECT BE APPROVED AT THIS TIME AND TO PROCEED WITH THE PUBLIC HEARING PROCESS.

The required fire flow for the public fire hydrants for this project is **1,000 gpm for at 2 hour duration at 20 psi.**

FINAL MAP REQUIREMENTS:

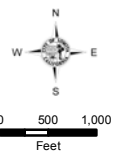
1. Submit the Final Map to the County of Los Angeles Fire Department Fire Prevention Land Development Unit through epicla.lacounty.gov for review and approval prior recordation.

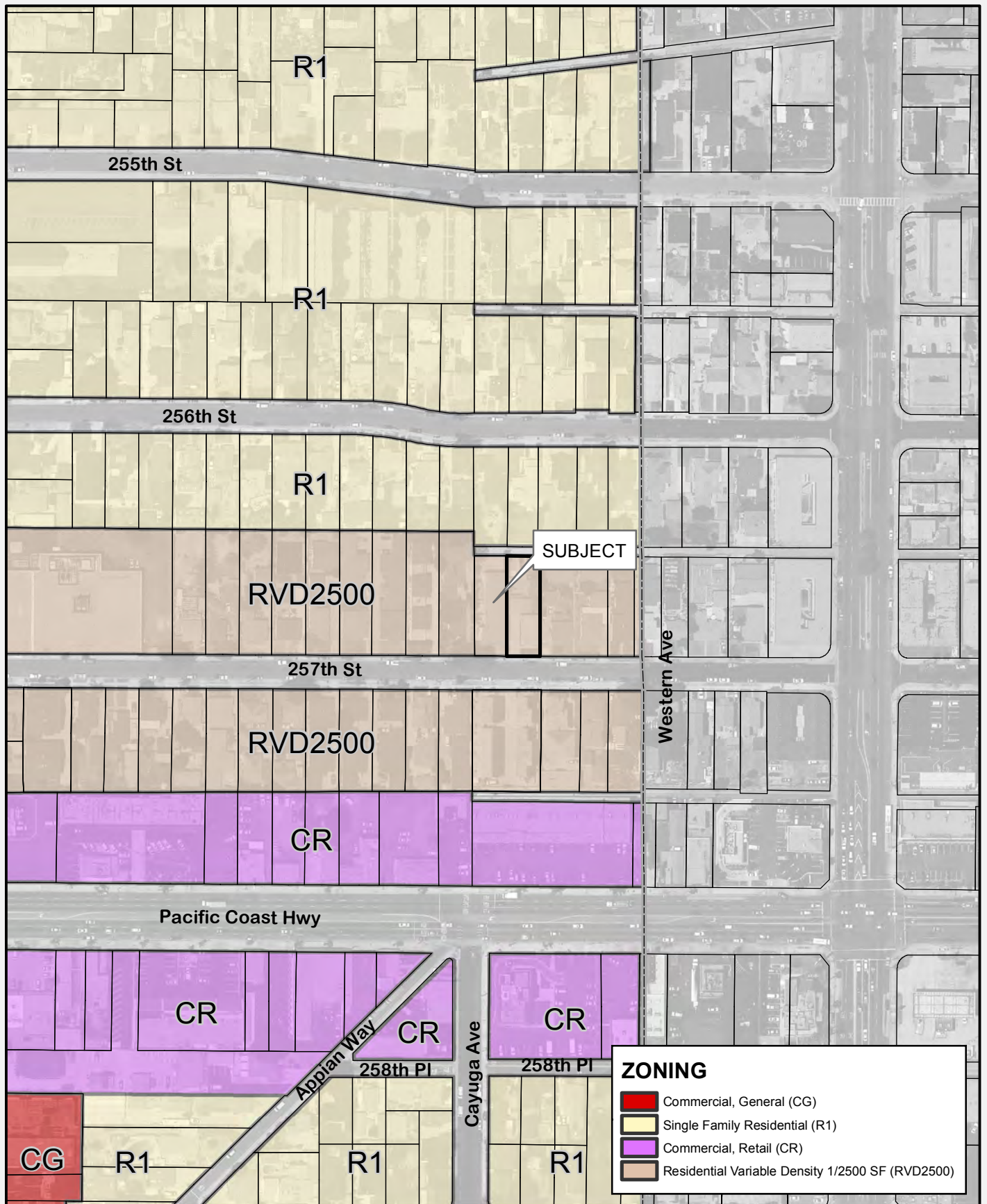


Vesting Tentative Parcel Map No. 82771
1749 257th Street
Exhibit B

Community Development
 October 2019

Source: Lomita GIS Data Layers, TIGER Files
 GIS/Apps/1749_257th_vty.mxd





ZONING

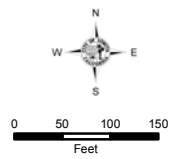
- Commercial, General (CG)
- Single Family Residential (R1)
- Commercial, Retail (CR)
- Residential Variable Density 1/2500 SF (RVD2500)

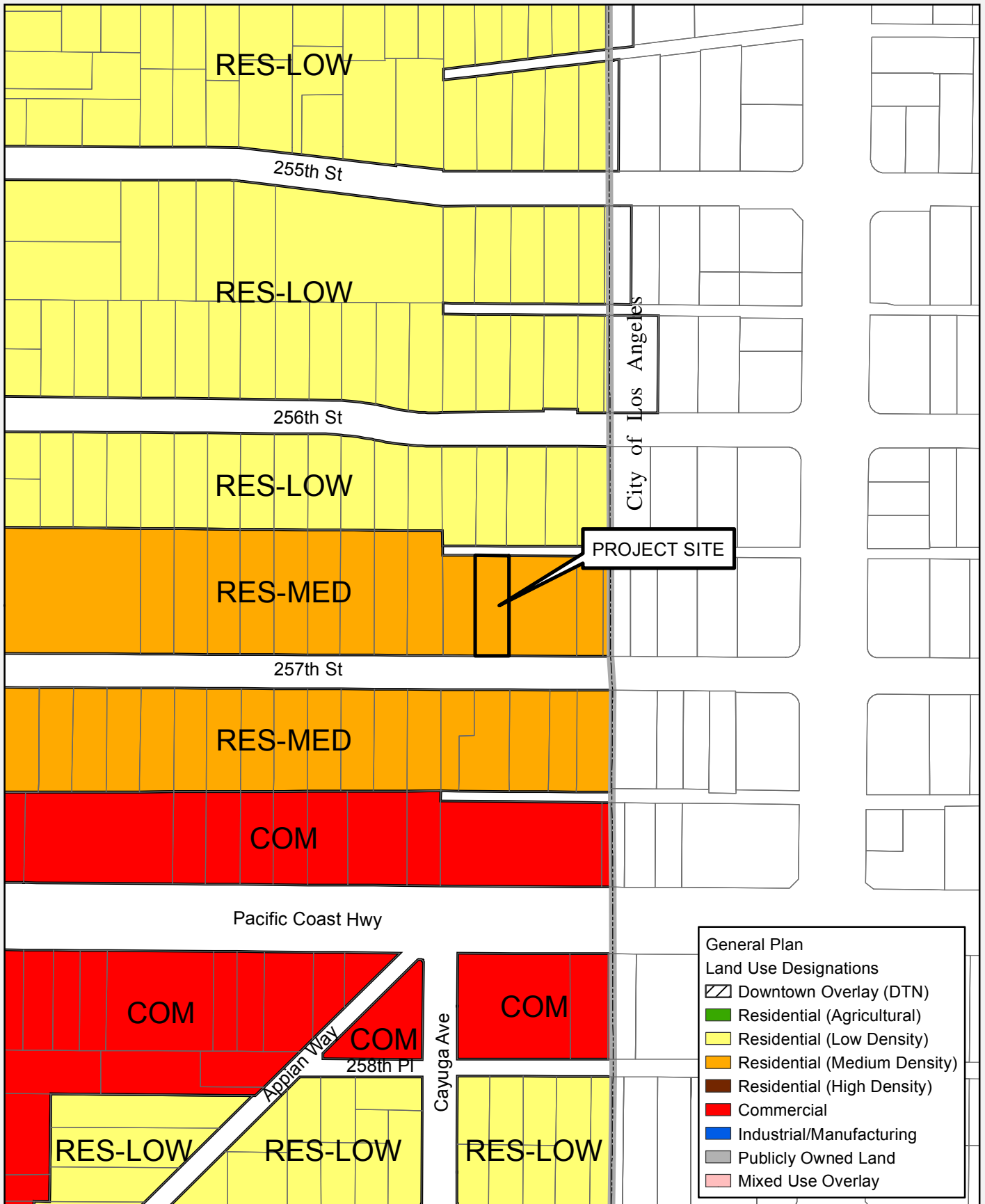


Vesting Tentative Parcel Map No. 82771
1749 257th Street
Exhibit C

Community Development
 October 2019

Source: Lomita GIS Data Layers
 /Apps/1749_257th_zon.mxd

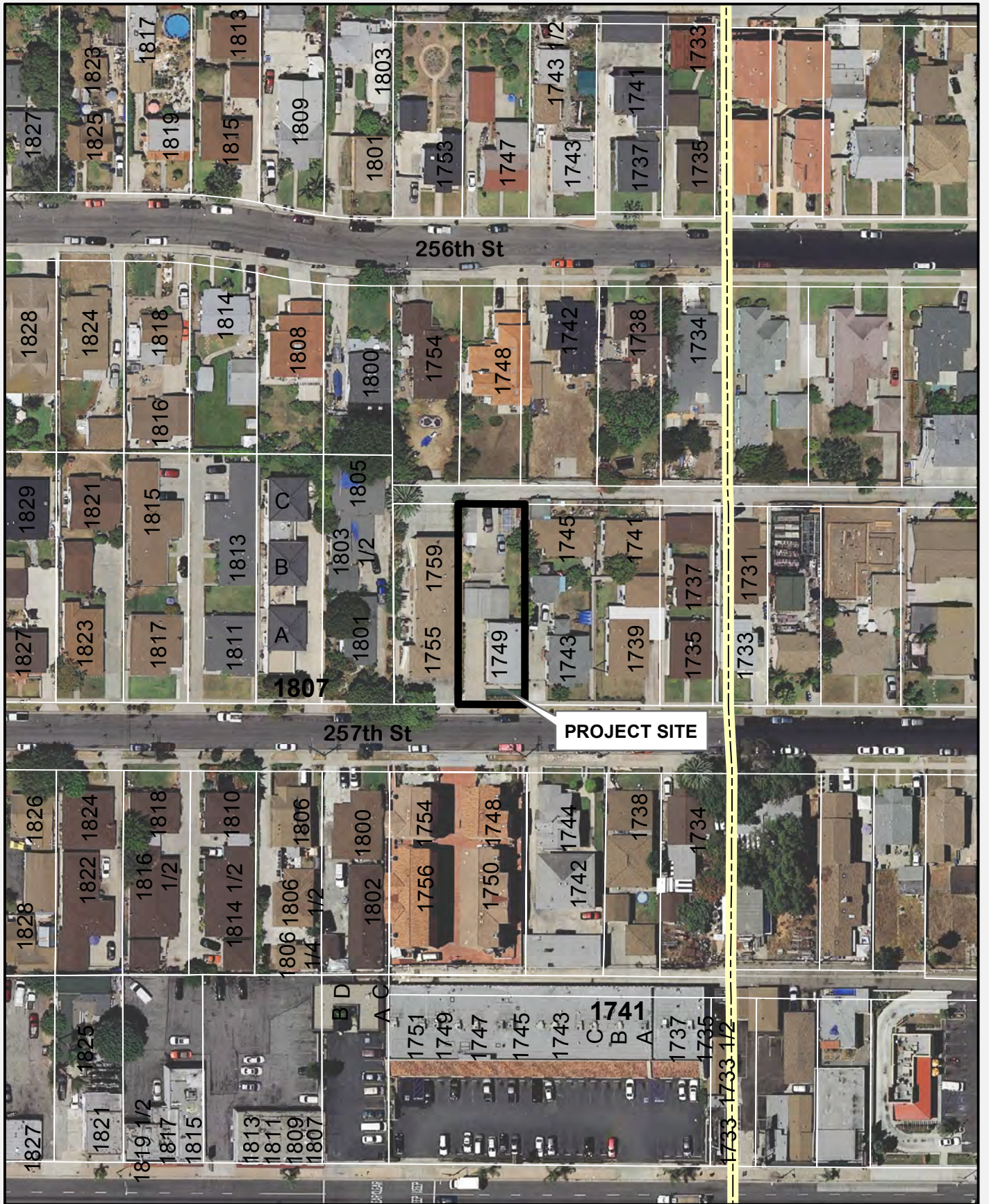




Lomita **Vesting Tentative Parcel Map No. 82771**
1749 257th Street
Exhibit D

Community Development
 October 2019

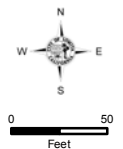
Source: Lomita GIS Data Layers
 GIS/Apps/1749_257th_gp.mxd



Vesting Tentative Parcel Map No. 82771
1749 257th Street
Exhibit E

Community Development
 October 2019

Source: Lomita GIS Data Layers
 /Apps/1749_257th_aer.mxd





Community Development Department
Planning Division
24300 Narbonne Avenue
Lomita, CA 90717
310/325-7110
FAX 310/325-4024

NOTICE OF EXEMPTION

Project Description:

Site Plan Review No. 1201 & Vesting Tentative Tract Map 82771 – A request to allow approval of Site Plan Review No. 1201 and Vesting Tentative Tract Map No. 82771 for the development of three new residential units with a maximum height of 25 feet 6 inches on a 7,500 square-foot-lot, located at 1749 257th Street in the Residential Variable Density 2500 (RVD-2500) Zone. Filed by Hamid Pournamdari, P.O. Box 1627, Redondo Beach, CA 90278 7. (“Applicant”)

Finding:

The Planning Division of the Community Development Department of the City of Lomita has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption (CEQA Guidelines, §15303(b))
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, Section 15270]
- No Possibility of Significant Effect [CEQA Guidelines, Section 15061(b)(3)]

Supporting Reasons Pursuant to § 15303(b) (New Construction and Conversion of Small Structures) of the California Environmental Quality Act guideline, a multi-family residential structure totaling no more than six dwelling units in urban areas is exempt. As the proposed project consists of three dwelling units in an urban area, it is exempt from CEQA requirements under § 15303(b). The proposed Vesting Tentative Parcel Map and Site Plan Review meet the above referenced requirements as outlined in the attached Notice of Exemption. Therefore, City Council has determined that there is no substantial evidence that the project may have a significant effect on the environment.

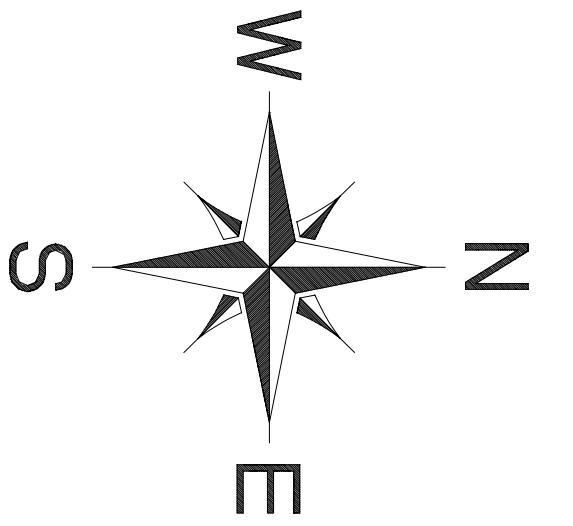
(Date)

Alicia Velasco
Community & Economic Dev. Director

WALNUT STREET

PROJECT NOTES

1. LOT SIZE: 7500 SQ. FT.
2. GENERAL PLAN DESIGNATION: RESIDENTIAL MEDIUM DENSITY
3. EXISTING AND PROPOSED ZONING: RVD 2500
4. APN: 7410-011-011
5. LEGAL DESCRIPTION: PORTION LOT 6, BLOCK 51, TR NO 1589 M.B. 21-74
6. PROPOSED PROJECT: EXISTING S.F.R. TO BE REMOVED AND 3 UNIT CONDOMINIUM TO BE BUILT
7. EXISTING AND PROPOSED DRAINAGE IS SURFACE FLOW TO THE NORTHEAST
8. EXISTING AND PROPOSED SEWER--USE EXISTING SEWER MAINLINE IN ADJACENT PUBLIC RIGHT OF WAY
9. POTABLE WATER SERVICE FROM LOMITA CITY MAINLINE IN 257TH ST
10. POWER AND UTILITIES AVAILABLE IN ADJACENT RIGHT OF WAY
11. SEE ARCHITECT'S SITEPLAN FOR CONSTRUCTION DETAILS
12. THIS IS A ONE PARCEL SUBDIVISION FOR CONDOMINIUM PURPOSES



SCALE 1"=8'
0 8 16

PREPARED FOR:
HAMID POURNAMARRI

DATE OF SURVEY:
JUNE 2019

ASSESSOR'S ID NUMBER:
7410-011-011

VESTING TENTATIVE PARCEL MAP NO. 82771

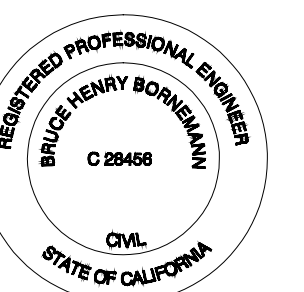
SITE ADDRESS:
1749 257TH STREET
LOMITA 90717

MAP ISSUE DATE:
7/15/2019

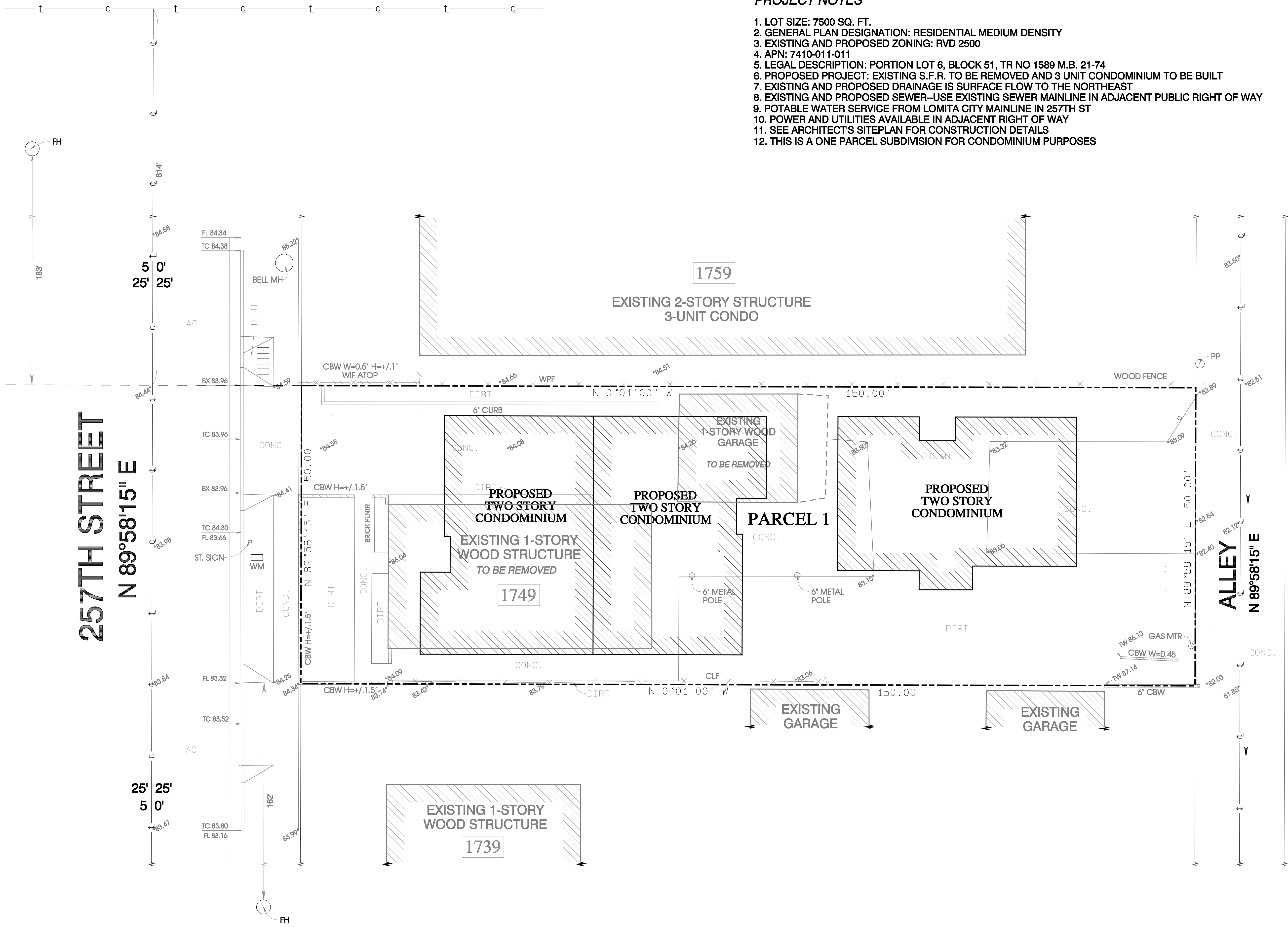
DATE OF REVISION:

COMMENTS:

REGISTERED CIVIL ENGINEER:
ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED CIVIL ENGINEER, LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, BRUCE H. BORNEMANN, RCE 28486, PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE SECTION 8700.8805.



BRUCE BORNEMANN (310) 467.2333 1814 W 247TH ST. LOMITA, CA 90717



General Notes

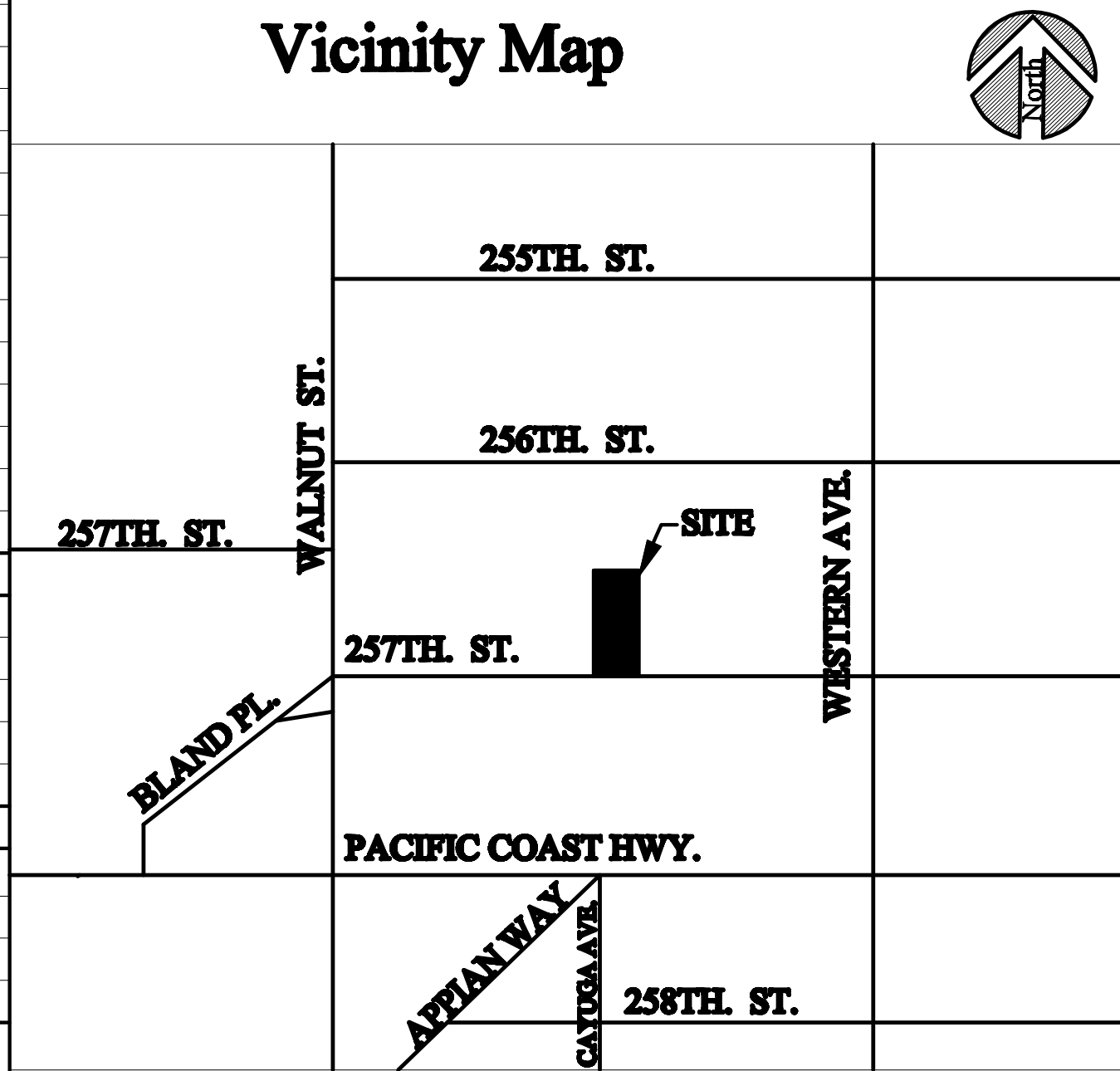
- ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO THE 2016 CBC AND CITY OF TORRANCE AMENDMENTS
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS THEREON BEFORE COMMENCING WORK, REPORT AND DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING.
- GOVERNING CODES AND FIRE DEPARTMENT FIELD, INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY, AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS. (N.I.C.)
- ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGES BY MECHANICAL MEANS SEE APPLICABLE DRAWINGS. 50 CFM TO OUTSIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.
- ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
- EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN ½" BELOW THE THRESHOLD.
- ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINT TO MATCH ADJACENT SURFACES.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR MAILING OF ALL INTERIOR AND EXTERIOR TRIM, FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING AND BRACING AS NECESSARY FOR INSTALLATION OF N.I.C. EQUIPMENT INDICATED.
- UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLAGE, RAILINGS, MOLDING, FRAMES, CASTING, W.I. WORK, ETC., SHALL BE PAINTED.
- CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES FOR PERMITS AND CHECK GOVERNING AUTHORITIES SPECIFICATIONS FOR CONSTRUCTION.
- AT COMPLETION OF THE PROJECT, PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUED, THE CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE OF CONSTRUCTION COMPLIANCE TO THE STATE ENERGY REGULATIONS.
- DO NOT SCALE DRAWINGS.
- ALL EXTERIOR WALL OPENINGS, FLASHINGS, COUNTER FLASHINGS, COPINGS, AND EXPANSION JOINTS SHALL BE WEATHERPROOF.
- GLU-LAM BEAMS SHALL BE MANUFACTURED BY A LICENSED FABRICATOR.
- GLU-LAM BEAMS SHALL BE MANUFACTURED BY A LICENSED FABRICATOR.
- PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" o.c. EACH WAY.
- SIZES OF MECHANICAL EQUIPMENT PADS, BASES ROOF EQUIPMENT PADS, AND OPENINGS ARE A BASIS FOR DESIGN ONLY. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT PADS AND BASES WITH EQUIPMENT MANUFACTURERS. MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS ON ROOF.
- DRAIN LINES AND ELECTRICAL CONDUIT MUST BE AT LEAST 6" OFF THE FLOOR AND ½" AWAY FROM ALL WALLS.
- ALL DIMENSIONS ARE TO THE CENTER OF STUD WALL AND FACE OF CONCRETE BLOCK WALLS, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR THE SPECIFICATION AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- An approved Seismic GAS SHUT OFF Valve or EXCESS FLOW SHUT OFF Valve will be installed on the fuel gas line on the down stream of the utility meter and be rigidly connected to exterior of the building or structure containing the fuel gas piping. Separate **plumbing permit is REQUIRED.**
- Provide Ultra Flash water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- The construction shall not restrict a five foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Provide **70 (72) inch high non-obscured wall adjacent to shower and approved shower-resistant materials for shower enclosure water consumption.**
- Water heater must be strapped to wall.

PROJECT DATA			
Project Description A New Three Unit Townhomes			
ZONING OCCUPANCY			
Occupancy : Group	R-DIV 3 NO. OF UNITS 3		
Construction Type	Type V-B SPRINKLER		
DEVELOPMENT PROGRAM			
PROJECT LOCATION :	1749 W 257th. Street - Lomita - CA 90717		
Owner Name:			
LEGAL DESCRIPTION:	TRACT # 9486 LOT 41		
ZONING	R-3		
GENERAL BUILDING INFORMATION			
Lot Area : 7500 sq. ft.	Total Living Area : 4889 sq. ft.		
	UNIT 1	UNIT 2	UNIT 3
FIRST FLOOR Living Area	578 sq. ft.	578 sq. ft.	547 sq. ft.
FIRST FLOOR Garage Area	469 sq. ft.	469 sq. ft.	490 sq. ft.
Front Porch	36 sq. ft.	36 sq. ft.	36 sq. ft.
FIRST FLOOR LOT COVERAGE	1083 sq. ft.	1083 sq. ft.	1073 sq. ft.
SECOND FLOOR Living Area	1070 sq. ft.	1070 sq. ft.	1046 sq. ft.
SECOND FLOOR Open Area Deck	100 sq. ft.	100 sq. ft.	100 sq. ft.
TOTAL LIVING AREA	1648 sq. ft.	1648 sq. ft.	1593 sq. ft.
TOTAL FLOOR AREA (with Garage)	2117 sq. ft.	2117 sq. ft.	2083 sq. ft.
ZONING INFORMATION			
AREA: 7500 sq. ft.			
Maximum Lot Coverage	REQUIRED	PROVIDED	
Lot Coverage	70 %	34.21%	
	7500 x 70% = 5,250	3,239 sq.ft.	
PARKING AND DRIVEWAYS			
Parking (Covered)	2 each unit (6)		2 each unit (6)
Additional Parking (Uncovered)	0		0
Guest Parking	1		1
OPEN SPACE			
	REQUIRED	PROVIDED	
Total			
Private per Unit	Unit 1:	200 sq.ft.	100 sq. ft.
	Unit 2:	200 sq.ft.	100 sq. ft.
	Unit 3:	200 sq.ft.	100 sq. ft.
Total		600 sq.ft.	300 sq. ft.
Common Open Space		264 sq.ft.	564 sq.ft.
LANDSCAPING			
7500 sq. ft. Lot x 15% = 1125 sq. ft.	1125 sq. ft.	1081sq. ft.	
PRIVATE STORAGE SPACE			
Cubic Feet Per Unit	Unit 1:	228 c. f.	
	Unit 2:	228 c. f.	
	Unit 3:	252 c. f.	
Building Codes			
2017CBC Residential Building Code			
2016 California Mechanical Code (CMC)			
2016 California Plumbing Code (CPC)			
2016 California Electrical Code (CEC)			
2016 California Green Building Standards Code (CGBS)			
2016 California Energy Code (CEC)			

Proposed Three Unit Single Family Residence Town Homes / Condominium For

1749 W. 257th. Street
Lomita, CA 90717

Vicinity Map



Consultants

Consultant: Conway Cooke

Name
Address

Phone number
Civil Engineer Lic. # 77195

Consultant:
Name
Address

Phone number

Symbol Schedule

Symbol	Description
	Indicates Existing Stud Walls
	Indicates New Stud Walls
	Indicates Existing Walls to be Removed
	Indicates New Concrete Block Walls
	Indicates New Fire Proof Stud Walls with 5/8" Type "X" Drywall - 1 Hour Fire Proof
	Indicates Recess Ceiling light fixtures
	Indicates Wall Mounted light fixtures
	Indicates Recess Fluorescent Ceiling light fixtures
	Indicates Recess Ceiling light fixtures Water Proof
	Indicates Fluorescent Strip Ceiling light fixtures
	Indicates Fan Unit with 5 min. air changes. 50 CFM Shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control
	Indicates Light, Heater lamp and Fan Unit with 5 min. air changes. 50 CFM Shall be ENERGY STAR compliant duct to terminate outside. Fans not functioning as a component of whole house ventilation system, must be controlled by a humidity control
	Indicates Smoke Detector with dedicated circuit braker and battery power back up.
	Indicates TV Antenna / Cable outlet
	Indicates Electrical Plug
	Indicates Light Switch
	Indicates Phone Jack
	Indicates Gas Outlet
	Indicates Hose Bibb with back flow prevention valve
	Indicates Sound System Speakers
	Indicates out-side light fixtures
	Indicates Ceiling light fixtures
	Indicates Direction of Framing Members
	Indicates Area to Cover by Framing Members
	Indicates Window (See Window Schedule)
	Indicates Doors (See Door Schedule)
	Indicates Construction / Demolition Notes
	Indicates F.A.U. / A.C. Vents / Registers
	Indicates F.A.U. Air Return.
	Indicates Detail Number
	Indicates Sheet Number
	Indicates Ceiling Fan with lights
	Indicates Carbon Monoxide Detector with Dedicated circuit braker and battery power back up.

Sequence of Inspections

- Foundation/Grading Electrical /Ground Plumbing Deputy Inspection for Epoxy connections.
 - Slab/Floor Joist / Under Floor Plumbing
 - Insulation Raised Floor
 - Raise Floor deck (No Sill or Storage for Full Visible Inspection)
 - 2nd. Floor Deck (Clear)
 - Roof Sheathing / Exterior Shear-Wall Bracing / Exterior Hardware)
 - Lath
 - Rough Electrical / Mechanical
 - Rough Framing / Plumbing (ALL)
 - Insulation (General)
 - Drywall
 - Other
 - Final
- Additional inspections may be inserted for special circumstances or uniqueness of the job. It is the duty of the permit tee to cause the work to remain accessible and exposed for inspection.

Sheet Index

T-1	Title Sheet
SP-1	Site Plan / Grading Plan

- A - 1 Proposed First Floor Plans Units 1 and 2
- A - 2 Proposed Second Floor Plans Units 1 and 2
- A - 3 Proposed Floor Plans Units 3
- A - 4 Elevation Views Units 1 and 2
- A - 5 Elevation Views Unit 3

DRAWING TITLE
TITLE

DATE
11-02-2019

SCALE:

DRAWING BY:
P.C.

SHEET NO.

T-1

JOB ADDRESS
1749 257th. Street
Lomita, CA 90717

LEGAL DESCRIPTION
APN: 7410-011-011
TRACT No. 1589 E 50 FT OF LOT 6 BLK 50

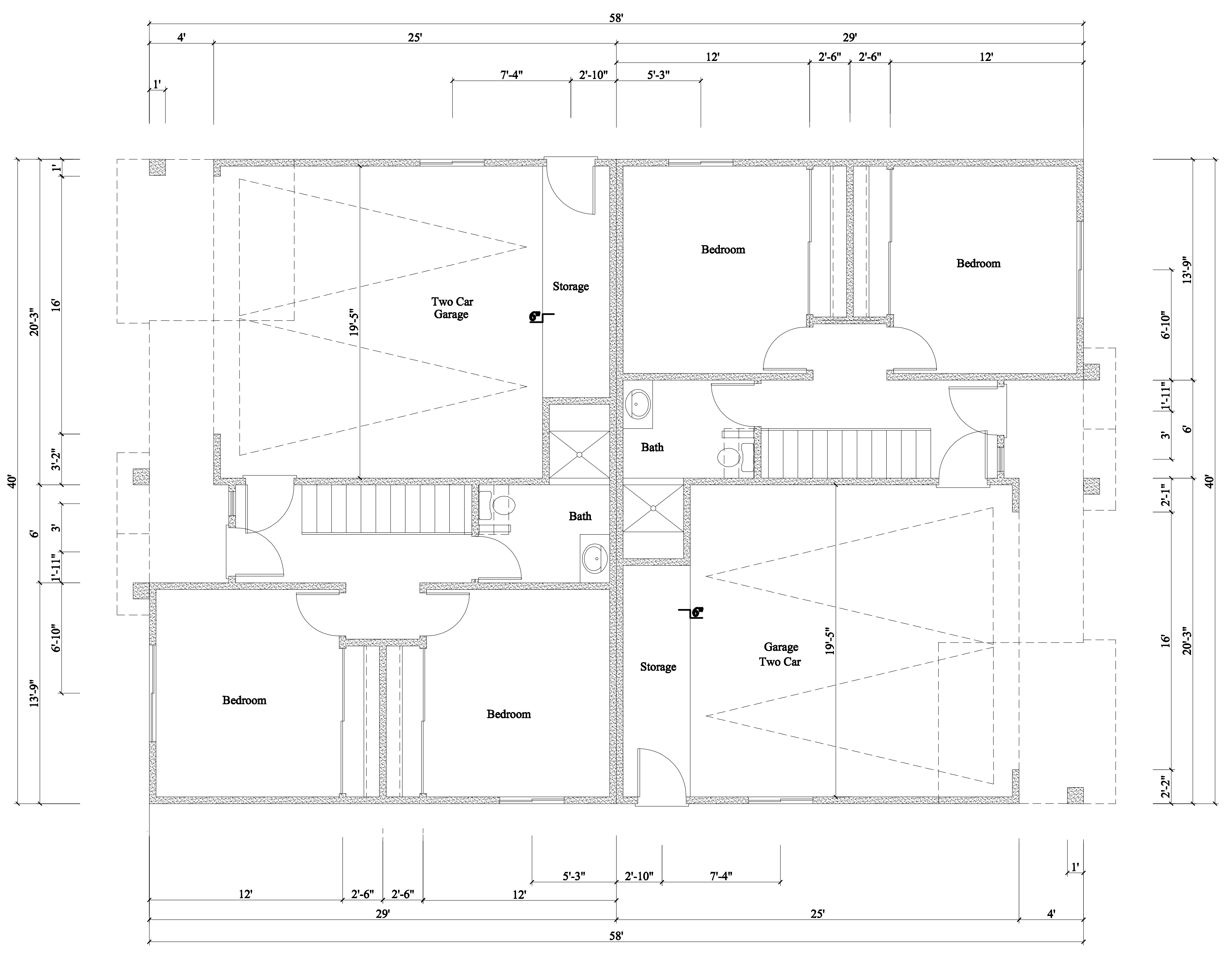
NO. DATE REVISION

NO.	DATE	REVISION
1	11-02-2019	Final Check - Construction

DESIGN PLUS SERVICES

1239 W. 120th Street
Inglewood Ca 90304

Phone # (310) 941-5460
patrick.culp@designplus.net
Patrick Culp
Principal



First Floor Plan

Scale: 1/4" = 1'-0"

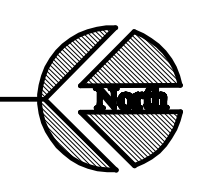


Units 1 - 2

DRAWING TITLE Floor Plans	OWNER		ISSUED		NO.	DATE	REVISION
	LEGAL DESCRIPTION APN. 7410-011-011 TRACT No. 1589 E 50 FT OF LOT 6 BLK 50						
DATE	DRAWING BY: P.C.						
11-02-2019	REVISION NO.						
SCALE: As shown							
DRAWING TITLE Floor Plans	JOB ADDRESS 1749 257th. Street Lomita, CA 90717						
DATE: 11-02-2019							
SCALE: As shown							
DRAWING BY: P.C.							
REVISION NO.							
A-1							



Second Floor Plan
 Scale : 1/4" = 1'-0"



Units 1 - 2

NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER:
 LEGAL REPRESENTATIVE APN. 7410-011-011
 TRACT No. 1589 E 50 FT OF LOT 6 BLK 50

DRAWING TITLE:
 Floor Plans

DATE:
 11-02-2019

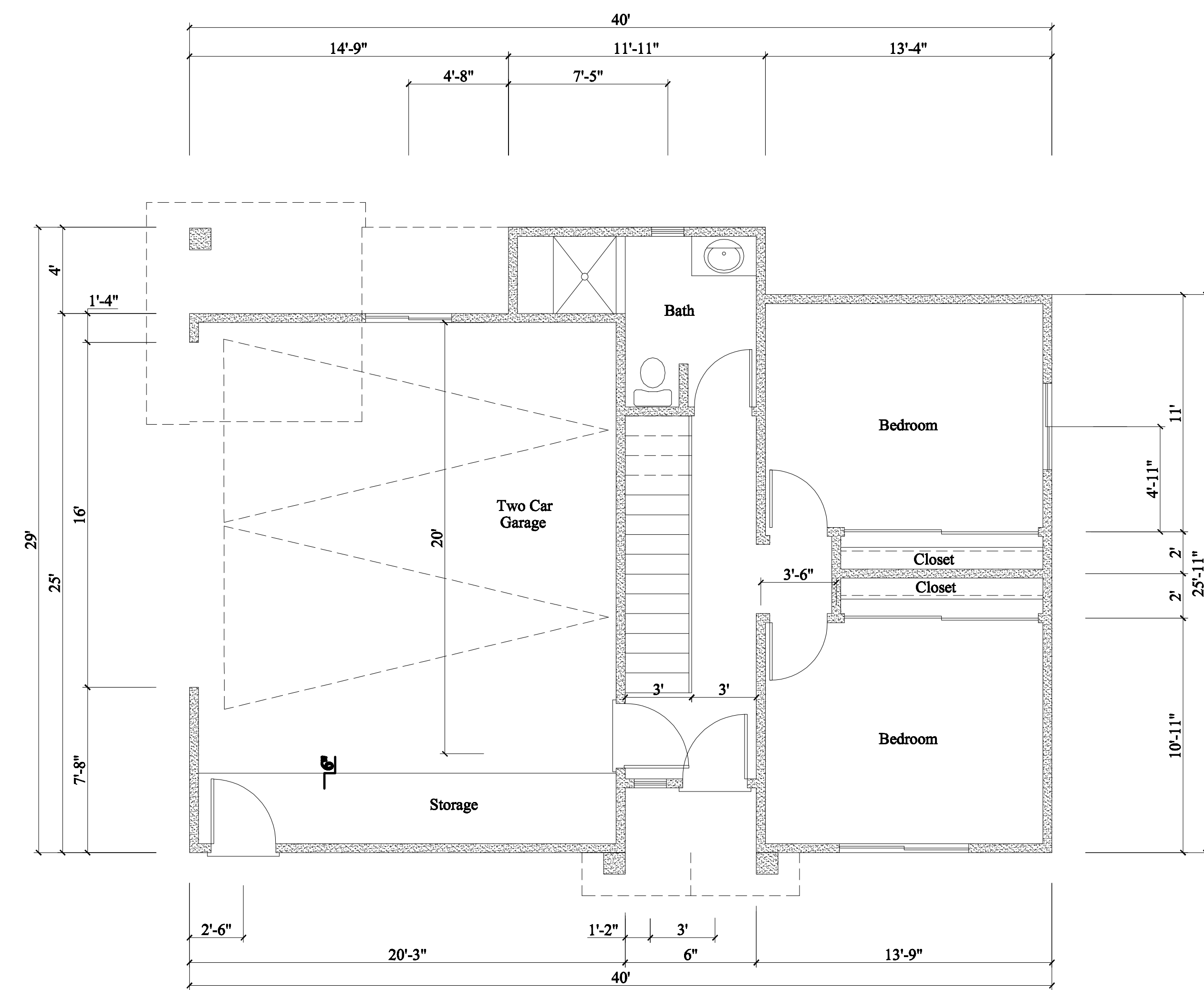
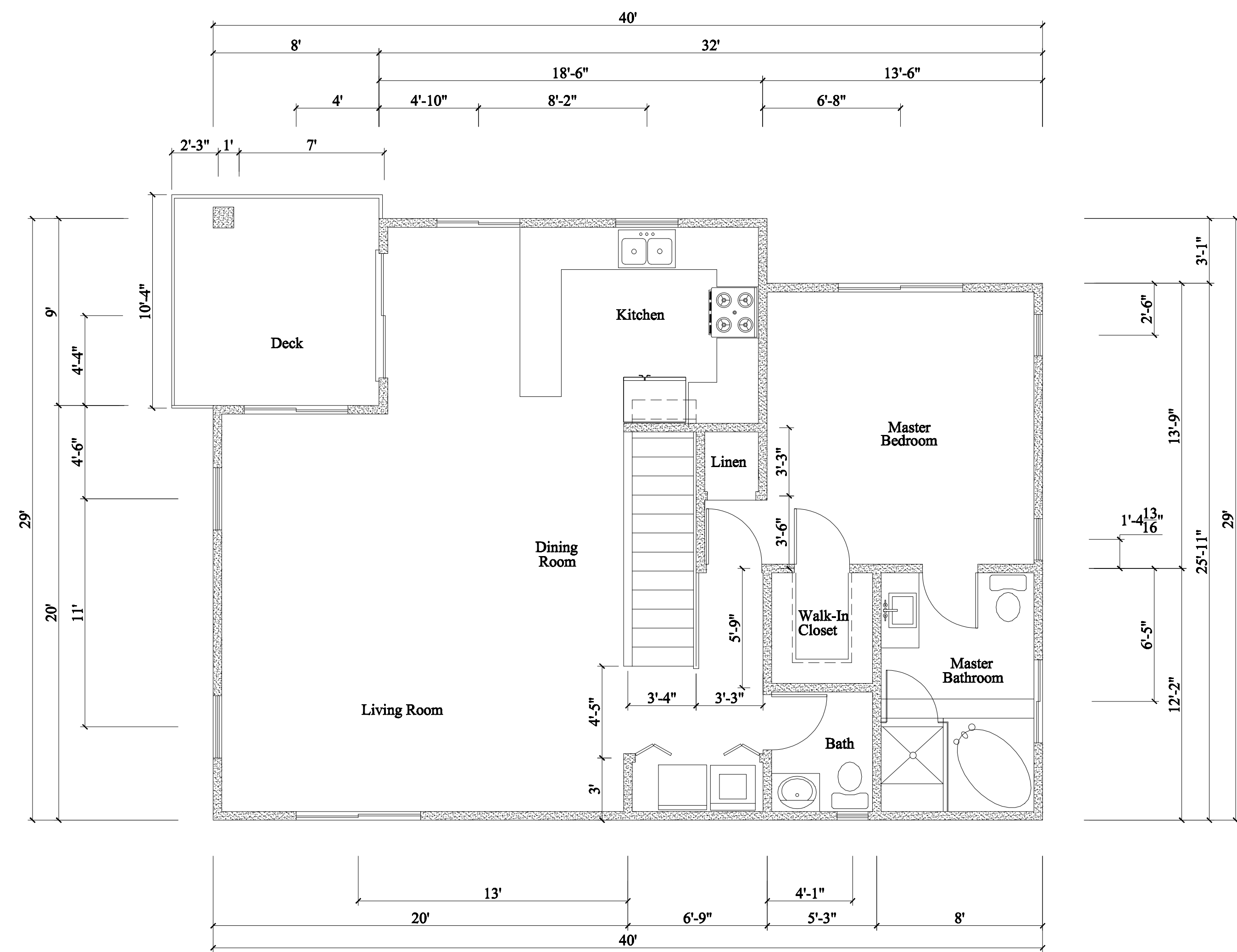
SCALE:
 As shown

DRAWING BY:
 P.C.

REVISION NO.

JOB ADDRESS:
 1749 257th. Street
 Lomita, CA 90717

Sheet No.
A-2



NO.	DATE	ISSUED	NO.	DATE	REVISION

COWNER
 LEGAL DESCRIPTION
 APN. 7410-011-011
 TRACT No. 1589 E 50 FT OF LOT 6 BLK 50

DRAWING TITLE
 Floor Plans

DATE
 11-02-2019

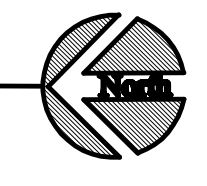
SCALE
 As shown

DRAWING BY:
 P.C.

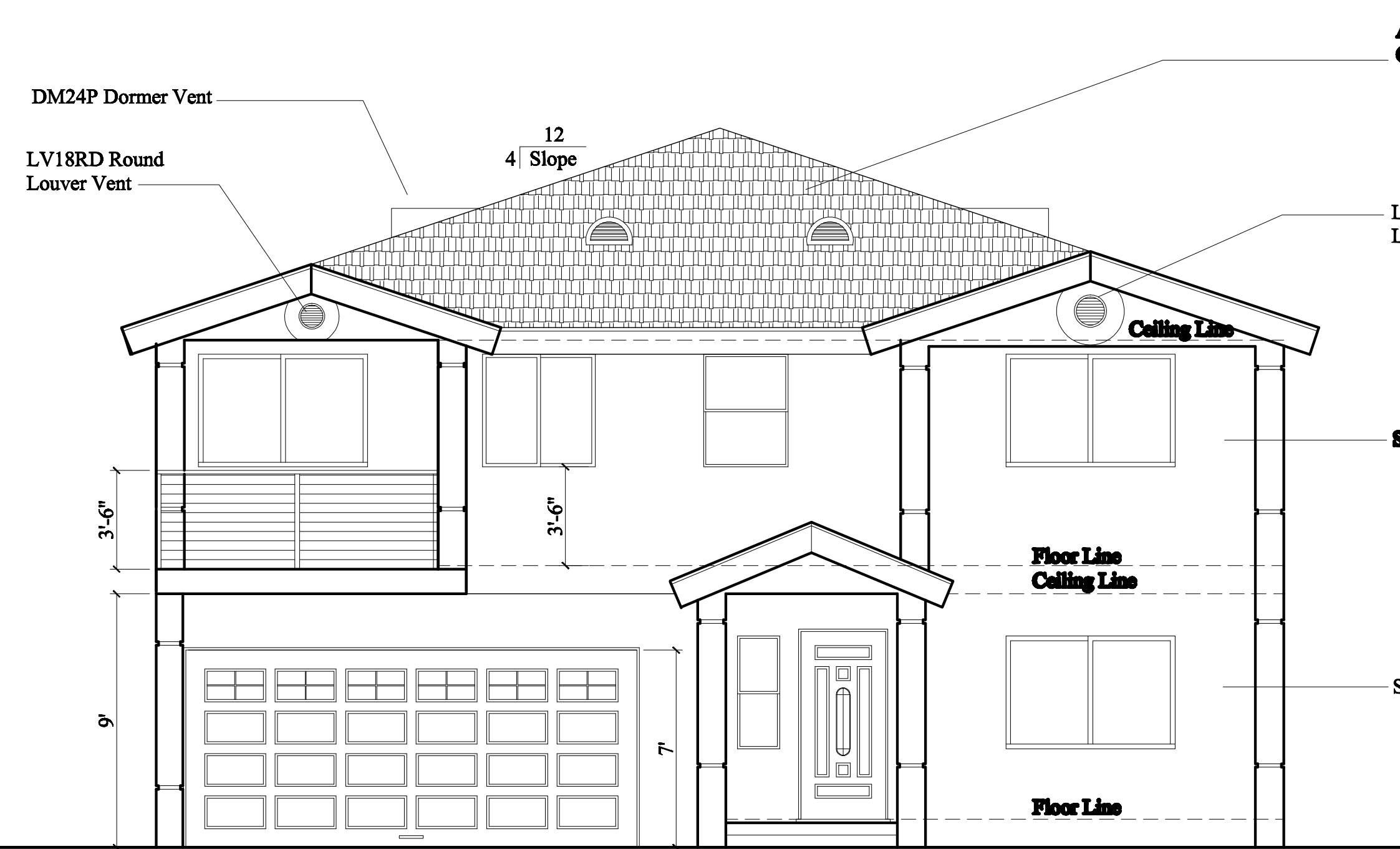
REVISION NO.

1749 257th Street
 Lomita, CA 90717

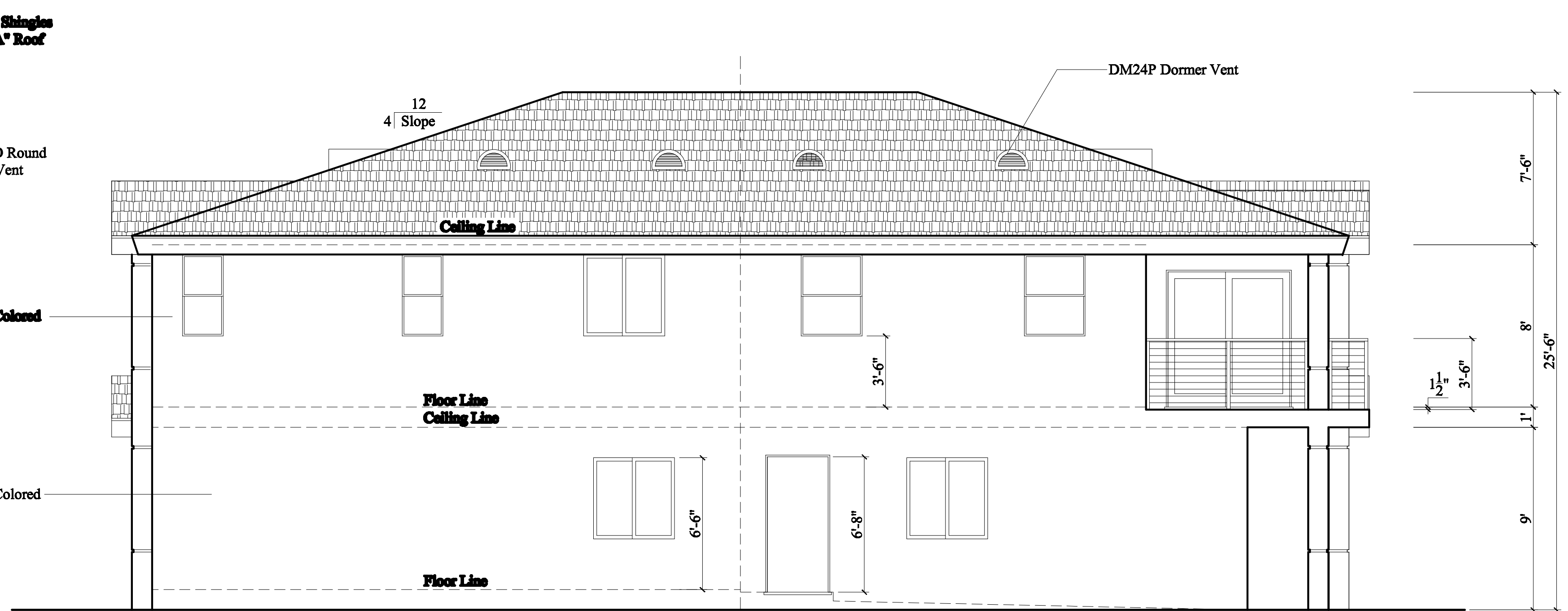
A-3



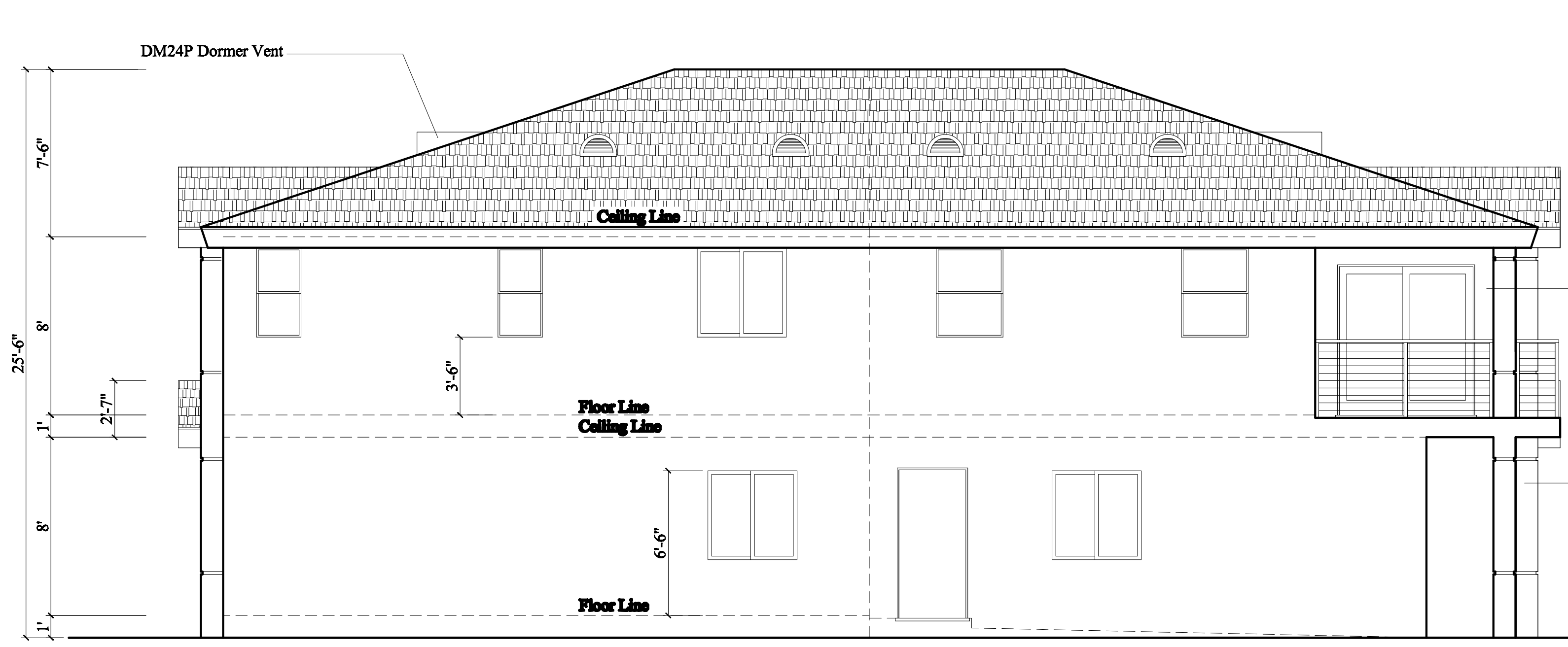
Units 3



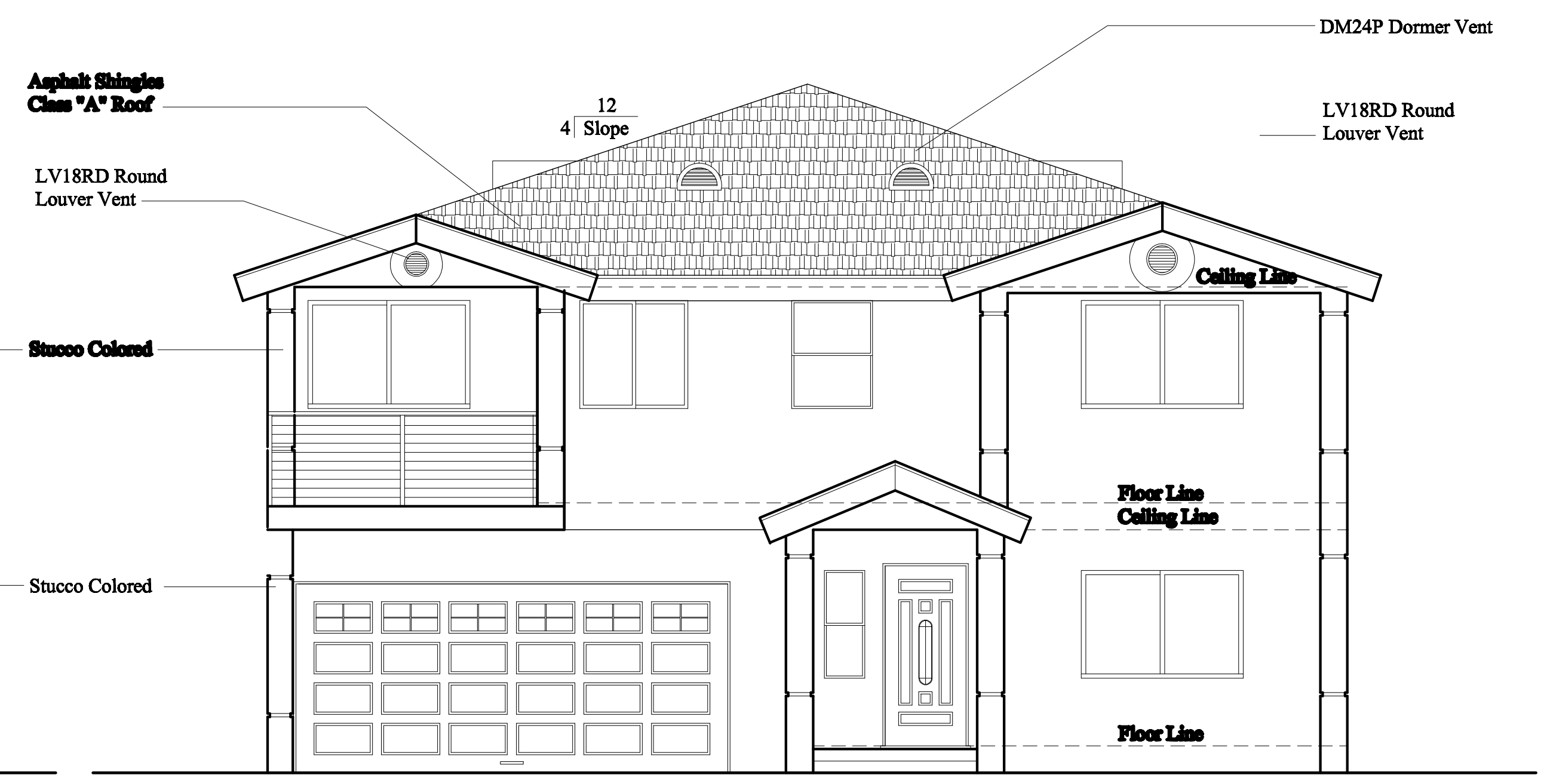
South Elevation View
 Scale : 1/4" = 1'-0"



East Elevation View
 Scale : 1/4" = 1'-0"



West Elevation View
 Scale : 1/4" = 1'-0"



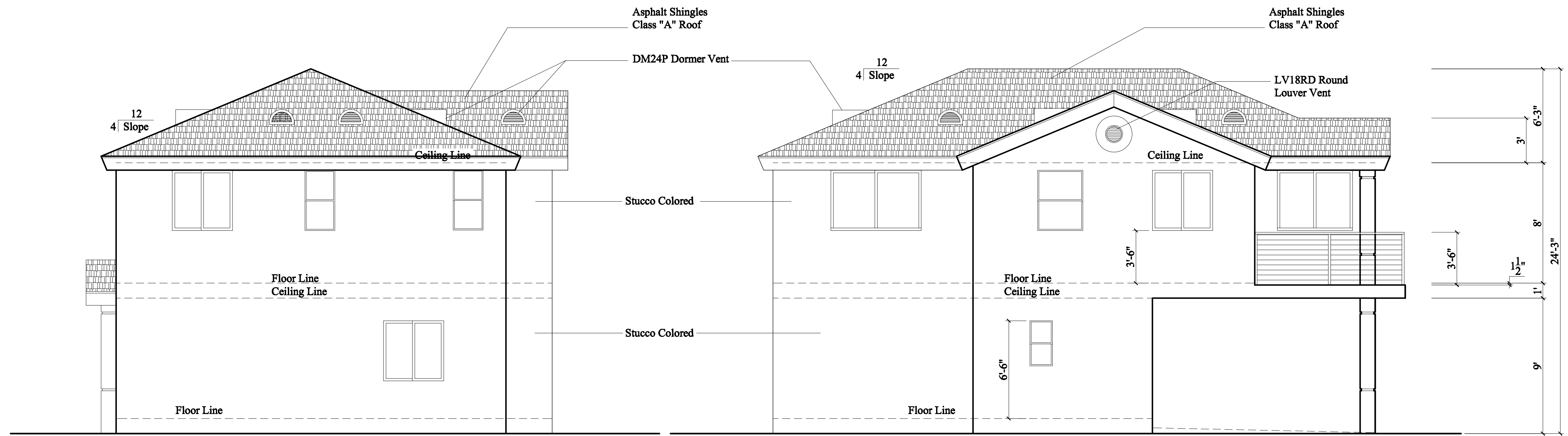
North Elevation View
 Scale : 1/4" = 1'-0"

NO.	DATE	ISSUED	NO.	DATE	REVISION

OWNER: LEGAL SERVICES
 APN. 7410-011-011
 TRACT No. 1589 E 50 FT OF LOT 6 BLK 50

DRAWING TITLE: Elevation Views
 DATE: 11-02-2019
 SCALE: As shown
 DRAWING BY: P.C.
 SHEET NO.

1749 257th. Street
 Lomita, CA 90717
A-4

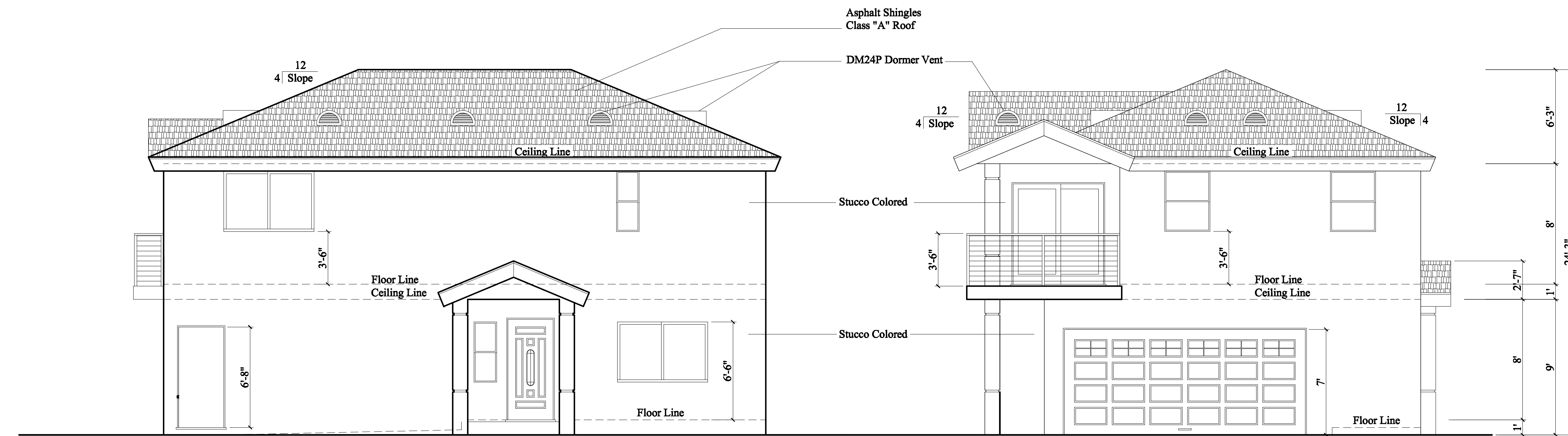


South Elevation View

Scale : 1/4" = 1'-0"

East Elevation View

Scale : 1/4" = 1'-0"



West Elevation View

Scale : 1/4" = 1'-0"

North Elevation View

Scale : 1/4" = 1'-0"

Units 3



1111 W. 12th Street
 San Mateo, CA 94401
 Phone # (415) 941-5460
 patricia.olsen@dpdesign.com
 Patricia Olsen
 Principal

NO.	DATE	ISSUED	REVISION

OWNER
 LEGAL DESCRIPTION APN. 7410-011-011
 TRACT No. 1589 E 50 FT OF LOT 6 BLK 50

DRAWING TITLE
 Elevation Views

JOB ADDRESS
 1749 257th. Street
 Lomita, CA 90717

DATE:
 11-02-2019


SCALE:
 As shown

DRAWING BY:
 P.C.

REVISION NO.

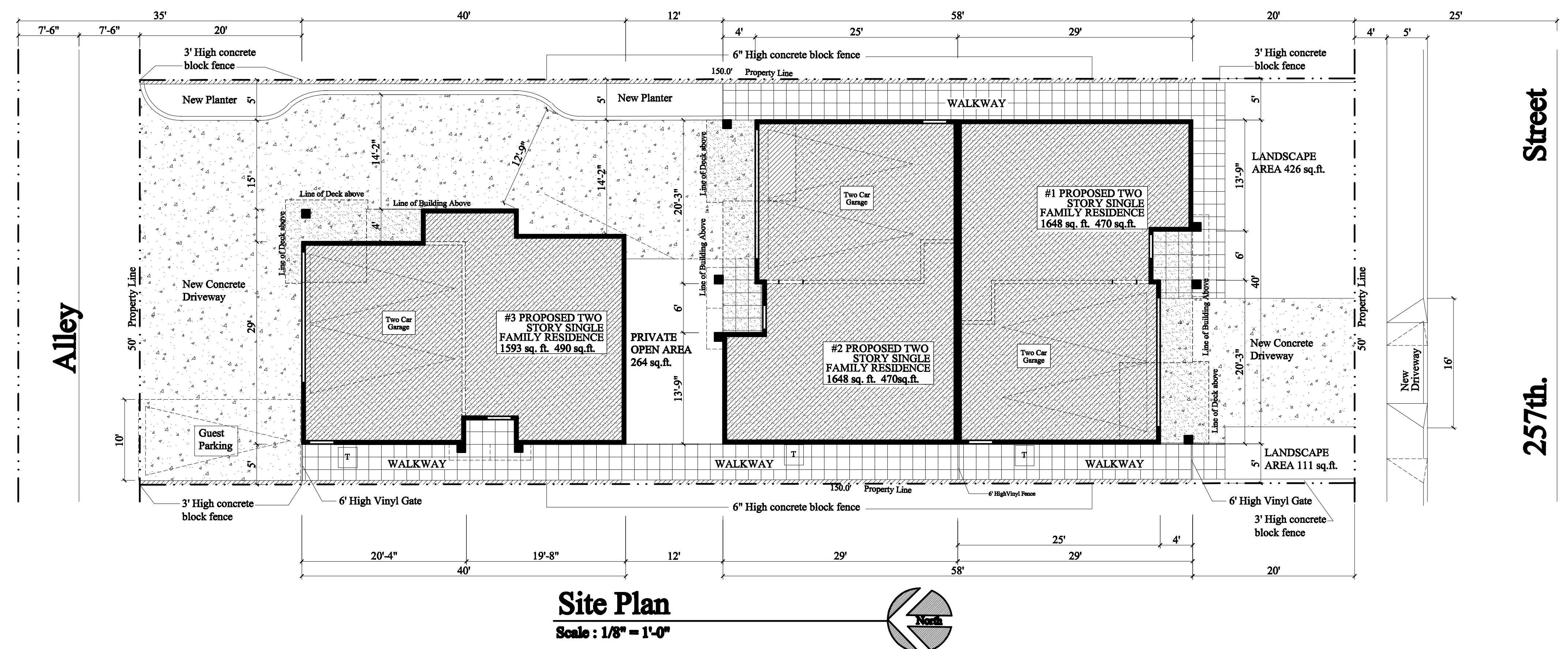
A-5

NOTES:

1. All property lines (Real or Assume) Easements and buildings (both existing and proposed) are shown on this Site Plan.
2. All excavation requires Underground Services Alert (USA) prior to excavation. Excavations shall be not trenches of 5 feet or more in depth.
3. All work in the Public Right-of-way shall be done per City Standards.
4. There shall be a 2% drainage away from the building.
5.  Shows Direction of Attached Pictures.
6. Minimum 75% of all landscaping must be drought-tolerant
7. All utilities Electrical, Cable and Telephone shall be placed underground.


DESIGN PLUS SERVICES

Shaw W. 1706, Suite 100
 Phone # (310) 941-4400
 services@designplus.com
 Periodic Check
 Professional



NO.	DATE	REVISION

COWNER

LEGAL DESCRIPTION APN. 7410-011-011
TRACT No. 1589 E 50 FT OF LOT 6 BLK. 50

DRAWING TITLE
First Floor Plan & Second Floor

JOB ADDRESS
1749 257th Street
Lomita, CA 90717

DATE: 11-02-2019

SCALE: As shown

DRAWING BY: P.C.

REVISION NO.

SP-1