

Monica Dever, Chair
Steve Cammarata, Vice-Chair
Michael Graf, Commissioner
Dave Popelka, Commissioner
Joaquin Santos, Commissioner
Jim Thompson, Commissioner
Barry Waite, Commissioner



PLANNING COMMISSION AGENDA
Lomita City Hall
Council Chambers
24300 Narbonne Avenue
Lomita, CA 90717
Phone: (310) 325-7110
Fax: (310) 325-4024

Next Resolution No. PC 2019-08

**AGENDA
REGULAR MEETING
LOMITA PLANNING COMMISSION
MONDAY, JUNE 10, 2019
6:00 PM**

1. OPENING CEREMONIES

- a. Call Meeting to Order
- b. Flag Salute
- c. Roll Call

2. ORAL COMMUNICATIONS

Persons wishing to address the Planning Commission on subjects other than those scheduled are requested to do so at this time. Please come to the podium and give your name and address for the record. In order to conduct a timely meeting, a 5-minute time limit per person has been established. Government Code Section 54954.2 prohibits the Planning Commission from discussing or taking action on a specific item unless it appears on a posted agenda.

3. CONSENT AGENDA

All items under the Consent Agenda are considered by the Commission to be routine and will be enacted by one motion in the form listed below. There may be separate discussions of these items prior to the time the Commissioners vote on the motion. Specific items may be removed from the Consent Agenda at the request of any Commissioner or staff.

- a) **SITE PLAN REVIEW NO. 1182 – One Year Extension of Time**, a request of a one year extension of time for Site Plan Review No. 1182 establishing a new expiration date of August 14, 2020.

RECOMMENDED ACTION: Adopt Resolution of Approval

SCHEDULED MATTERS**4. PRESENTATION OF THE DRAFT DOWNTOWN LOMITA DESIGN GUIDELINES**

PRESENTED BY: Community & Economic Development Director Alicia Velasco and Studio One-Eleven

RECOMMENDED ACTION: That the Planning Commission review and provide comment on the Draft Downtown Lomita Design Guidelines.

WRITTEN COMMUNICATIONS**5. COMMUNICATIONS REGARDING CITY COUNCIL ACTIONS****OTHER MATTERS****6. STAFF ITEMS – ANNOUNCEMENTS****7. PLANNING COMMISSIONER ITEMS****8. COMMISSIONERS TO ATTEND CITY COUNCIL MEETINGS**

Tuesday, July 2, 2019 & Tuesday, July 16, 2019

9. ADJOURNMENT

The next regular meeting of the Planning Commission is scheduled for Monday, July 8, 2019, at 6:00 p.m.

Written materials distributed to the Planning Commissioners within 72 hours of the Planning Commission meeting are available for public inspection immediately upon distribution in the City Clerk's office at 24300 Narbonne Avenue, Lomita, CA 90717. In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting, you should contact the office of the City Clerk, (310) 325-7110 (Voice) or the California Relay Service. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting.

Only comments directed to the Commission from the podium will be recognized. Comments directed to the audience or generated from the audience will be considered out of order. Any person may appeal all matters approved or denied by the Planning Commission to City Council within 30 days of receipt of notice of action by the applicant. Payment of an appeal fee is required. For further information, contact City Hall at 310 325-7110.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted not less than 72 hours prior to the meeting at the following locations: Lomita City Hall lobby and outside bulletin board, Lomita Parks and Recreation, and uploaded to the City of Lomita website http://www.lomita.com/cityhall/city_agendas/.

Dated Posted: June 6, 2019



Linda E. Abbott, Deputy City Clerk



Item 3a

CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission

June 10, 2019

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan No. 1182
One Year Extension of Time

RECOMMENDATION

Staff recommends that the Planning Commission approve the request for a one year extension of time for Site Plan No. 1182 establishing a new expiration date of August 14, 2020.

BACKGROUND/ANALYSIS

On August 14, 2017, the Planning Commission approved Site Plan No. 1182 to allow the construction of two attached condominium units with four enclosed parking spaces, located at 24710 & 24712 Pennsylvania Avenue, formerly part of 2374 247th Street in the RVD-2500 (Residential Variable Density) Zone. Filed by David Popelka, 23705 Crenshaw Blvd., Unit 100, Torrance, CA 90505 (“Developer”).

The project also included a parcel map (No. 74637), which subdivided a single, 11,313-square-foot lot into two parcels. Parcel Map No. 74637 was approved by City Council and recorded on May 31, 2018.

The architectural and structural plans have taken longer than the applicant anticipated and has caused a project delay. However, the map has been recorded and the monument markers installed. The conditions of approval for the Site Plan Review specifically state that a building permit must be *issued* or a time extension is necessary. The applicant has submitted a letter to the Commission explaining the delay which is attached to this report as Exhibit D.

The Planning Commission staff report, resolution and minutes dated August 14, 2017 have been attached for your reference.

Recommended by:

Prepared by:

Alicia Velasco
Community and Economic Development
Director

Laura MacMorran
Assistant Planner

Exhibits:

- a. Resolution
- b. PC Staff Report and Resolution dated August 14, 2017
- c. PC Minutes dated August 14, 2017
- d. Letter from the applicant dated April 11, 2019

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA APPROVING A ONE-YEAR EXTENSION OF TIME FOR SITE PLAN NO. 1182 TO ALLOW THE CONSTRUCTION OF TWO ATTACHED CONDOMINIUM UNITS WITH FOUR ENCLOSED PARKING SPACES, LOCATED AT 24710 & 24712 PENNSYLVANIA AVENUE, FORMERLY PART OF 2374 247TH STREET IN THE RVD-2500 (RESIDENTIAL VARIABLE DENSITY) ZONE. FILED BY DAVID POPELKA, 23705 CRENSHAW BLVD., UNIT 100, TORRANCE, CA 90505

Section 1. Recitals

- A. The Planning Commission of the City of Lomita has considered an application for a one-year extension of time for Site Plan No. 1182 to allow the construction of two attached condominium units with four enclosed parking spaces, located at 24710 & 24712 Pennsylvania Avenue, formerly part of 2374 247th Street in the RVD-2500 (Residential Variable Density) Zone. Filed by David Popelka, 23705 Crenshaw Blvd., Unit 100, Torrance, CA 90505 ; and
- B. The applicant has submitted the plans for review, and intends to develop the project and satisfy the conditions of approval; and
- C. This is the first one-year extension requested for this proposal.

Section 2. Findings

The Planning Commission of the City of Lomita hereby approves a one-year extension of time for Site Plan No. 1182 establishing a new expiration date of August 14, 2020.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 10th day of June, 2019 by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Monica Dever, Chairperson

ATTEST: _____
Alicia Velasco
Community and Economic Development Director

Within 30 days of the date of this action, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council. (Gov. Code § 66452.5(a).)

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.



CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission August 14, 2017

FROM: Laura MacMorran, Assistant Planner

SUBJECT: Site Plan Review 1182/Vesting Tentative Parcel Map No. 74637
2374 247th Street in the Residential Variable Density (RVD)-2500 zone

APPLICANT'S REQUEST

A request to allow a subdivision of a single, 11,313-square-foot lot into two separate parcels and to allow for the construction of two attached condominium units thereon, in the Residential Variable Density 2500 (RVD-2500) Zone. Parcel 1 will retain the existing single-family home with the detached garage and possess 5,808 square feet after the subdivision. Parcel 2, located south of 2374 247th Street, will contain two attached condominium units with a 12-foot rear yard setback (instead of the required 20-foot minimum rear yard setback) and possess 5,505 square feet. Filed by Thomas Yuge of Cotech Engineering, 2252 W. Carson Street, Suite B, Torrance, CA 90501.

RECOMMENDATION

Staff recommends that the Planning Commission recommend that the City Council adopt a resolution approving Site Plan 1182 and Vesting Tentative Parcel Map (VTPM) No. 74637, subject to the attached conditions.

BACKGROUND

Existing Conditions

The subject property is a single 11,313-square-foot lot located at the southeast corner of 247th Street and Pennsylvania Avenue. The property address is 2374 247th Street. Currently, there exists a single-family dwelling, which was built in 1958, a detached garage and accessory structures.

Project Description

The applicant is requesting the subdivision of one lot to create two lots and construct two attached condominium units. After the subdivision, Parcel 1 (2374 247th Street) will consist of 5,808 square feet. The existing single-family home and detached garage will be located on Parcel 1. The new rear yard setbacks will be 20'3" for the home and 3'2" for the garage. These proposed setbacks comply with the zoning code.

The newly-created Parcel 2 will possess 74 feet of street frontage on Pennsylvania Avenue and will consist of 5,505 square feet. The applicant is proposing to construct an attached, 27'0" high, two-

unit condominium building with four enclosed parking spaces and one guest space. Each unit on Parcel 2 will have 3 bedrooms and 2.5 bathrooms. The front and side yard setbacks will comply with the zoning code. The proposed rear yard setback will be 12 feet instead of the required 20 feet and requires a modification.

ANALYSIS

General Plan Designation

The General Plan designation for the subject property is Medium Density Residential. The Medium Density Residential applies to areas “developed with multi-family residential land uses and mobile home communities.” The proposed two-unit development on Parcel 2 will have a density of 15.83 units per acre, and is consistent with the General Plan’s development density of 8.7 to 19.8 units per acre.

Zoning

The zoning designation for the subject property is RVD-2500 (Residential, Variable Density 1-2500 SF). The RVD-2500 Zone is established in order to create variable density, limited height, multiple family residential areas. The subject lot is 5,505 square feet with a maximum allowable density of one unit for every 2,500 square feet; therefore, per the zoning designation, the maximum number of permissible units is 2 ($5,505/2500 = 2.20$). The proposed two-unit project is consistent with the zoning designation.

Adjacent Zoning and Land Uses

The subject property is surrounded by R-1 and RVD 2500 zoned properties.

North	RVD 2500 (Residential, Variable Density 2500) Land use: four-unit condominiums
South	R-1 (Residential, Single-Family) Land use: four legal-nonconforming single family homes
West	RVD 2500 (Residential, Variable Density 2500) Land use: single-family residence
East	R-1 (Residential, Single-Family) Land use: single-family residence

Development Standards Review

The project has been reviewed with §11-1.30.02 and §11-1.66.03 of the LMC as follows:

Development Standard	Project	Allowed/Required	Compliance
Zone	RVD-2500	RVD-2500	Yes
Density	Parcel 1: 7.50 units/acre Parcel 2: 15.83/units/acre	8.72 to 19.8 units per acre	Yes
Minimum Lot Size	Parcel 1: 5,808 sq. ft. Parcel 2: 5,505 sq. ft.	5,000 sq. ft.	Yes Yes

Development Standard	Project	Allowed/Required	Compliance
Minimum Lot Width	Parcel 1: 75 feet Parcel 2: 74 feet	50 feet	Yes Yes
Minimum Street Frontage	Parcel 1: 75 feet Parcel 2: 74 feet	50 feet	Yes Yes
Setbacks/Yards	Parcel 1: Front: 19'3" 2 nd Front: 10'6" Side: 5'0" Rear: 20'3" Parcel 2: Front: 20'0" Side: 5'0" & 7'9" Rear: 12'0"	Parcel 1: Front: 20'0" 2 nd Front: 10'0" Side: 5'0" Rear: 20'0" Parcel 2: Front: 20'0" Side: 5'0" & 5'0" Rear: 20'0"	No* Yes Yes Yes Yes Yes No**
Height	Parcel 1: N/A Parcel 2: 27'0"	27' 0"	Yes
Off-Street Parking	Parcel 1: 2 enclosed parking spaces Parcel 2: 4 enclosed parking spaces	2 enclosed parking spaces/unit = 2 total 2 enclosed parking space/unit = 4 total	Yes Yes
Visitor Parking	Parcel 1: N/A Parcel 2: 1 visitor parking space	1 visitor parking space/ 2 units = 1 total	Yes

*Legal non-conforming
 ** Modification Requested

Review of Vesting Tentative Parcel Map

In May of 2017, the City's consulting engineer, HR Green, finalized their review and recommended approval of VTPM No. 74637 with conditions. The City Public Works and Engineering staff also reviewed the parcel map and HR Green's conditions of approval, and had no additional comments. The Los Angeles County Fire Department's Land Development Division reviewed the parcel map and site plan. They did not place any holds on the map.

The Subdivision Map Act of the California Government Code regulates the subdivision of property. (See Government Code sections 66410, *et seq.*) Section 66474 states, "a city or county shall deny approval of a tentative map, or parcel map for which a tentative map was not required," subject to certain specified findings listed in Government Code section 66474. The proposed project does not satisfy any of the reasons articulated in Government Code section 66474 for denial. Therefore,

pursuant to Government Code Sections 66473.5 and 66474 (a through g), the proposed parcel map qualifies for approval.

Site Plan Review No. 1182

Under section 11-1.30.02, modifications to yard setbacks are subject to review and approval by the Planning Commission; the findings required for modifications include those listed in Sections 11-1.70.08 (“Modifications”) and Section 11-1.70.07 (“Site Plan Review”). Multi-family developments within the RVD Zone are also subject to the site plan review requirements of Section 11-1.70.07. After reviewing the proposed development in accordance with Article 70, staff has determined that the proposed project is consistent with the findings required in Section 11-1.70.07 of the Lomita Municipal Code, as follows:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the Development Standards table and with Planning Commission review of 8-foot rear yard setback deviation as required under Section 11-1.70.07 of the LMC, the project complies with all of the development standards in Section 11-1.30.02, and Section 11-1.66.03 the project possess the lot area required for two units in the RVD-2500, meets the front and side yard setbacks, the maximum height limit, and the off-street parking requirements.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is suitable for the proposed two-attached condominium units. The project conforms to the maximum height requirement, and the front and side yard setback requirements. The site provides the required off-street parking. The use and structure will not create congestion, nor affect public health, safety or welfare as they are consistent with both the zoning and General Plan designation for the property.

As a result of the subdivision, Parcel 2’s front, rear and side-yard layout will be rotated 90 degrees from the present situation. The side yards will be along the northerly and southerly property lines; the front and rear yards will be along the westerly and easterly property lines respectively.

This re-orientation will create more open space between Parcel 2 and the adjacent single-family dwelling on 247th Street. The proposed former side yard, which has a 5-foot setback, would become Parcel 2’s rear yard with a 12-foot rear yard setback.

Also, along the southerly property line, the neighbor will experience more open space than is required. The project is required to only have a 5-foot side yard setback; however, Unit B’s 12-foot driveway runs parallel to the southerly property line and the second story is setback 7 feet 9 inches from the southerly property line. Based on these circumstances, the neighboring

properties should not experience any significant adverse effects from the 8-foot rear yard setback modification and subdivision.

Finally, the project is consistent with the General Plan's Medium Density Residential designation. Parcel 2 would have a density of 15.83 units per acre, which conforms to the 8.72 to 19.8 units per acre that is specified in the General Plan.

- 3. The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design suits the lot and creates two functional, 3-bedroom, 2.5-bathroom, condominium units as allowed by the Code. The design is consistent with the neighborhood, which contains a mixture of single-family dwellings, and multi-family housing both in the form of condominiums and apartments. While this required finding does not require that the project to adhere to a particular style or type of architecture, the architectural style of the proposed project is consistent with newer housing developed within the City.

- 4. Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

As Parcel 2 has a depth of 75 feet, the 8-foot rear yard setback modification offsets the hardship created by the lot's shallow depth. A combined 40 feet is required for the front and rear yard setbacks, when coupled with the required 20 foot by 20 foot enclosed garage requirement; the buildable area is severely restricted. Without the rear yard setback, the width of the first floor common spaces (the kitchen, living room, and dining room) would be substantially narrower than other contemporary units.

Environmental Determination

Per § 15315 (Minor Land Divisions) of the CEQA Guidelines, the division of property in urbanized areas zoned for residential use into four or fewer parcels may be considered exempt from CEQA review. The proposed project will divide a residential parcel into two equally sized lots. Each new lot conforms to the General Plan and zoning requirements and requires no variances. In addition, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. In addition, § 15303(b) (New Construction and Conversion of Small Structures) exempts a duplex or similar multi-family residential structure totaling no more than six dwelling units in urban areas. As the proposed project consists of two dwelling units in an urban area, it is also exempt from CEQA requirements under § 15303(b).

The proposed Vesting Tentative Parcel Map and Site Plan Review meet the above referenced requirements as outlined in the attached Notice of Exemption. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

Public Notice

Notices of this hearing, dated August 1, 2017, were mailed to property owners within 300 feet of the subject property and posted at the subject site, City Hall, Lomita Park and on the web page. As of the date this staff report was prepared, staff has received one email correspondence against the proposed project.

Recommended by:



Gary Y. Sugano
Assistant City Manager

Prepared by:



Laura MacMorran
Assistant Planner

Exhibits:

- a. Resolution
- b. Vicinity Map
- c. Zoning Map
- d. General Plan Map
- e. Aerial Photograph
- f. Notice of Exemption
- g. Vesting Tentative Parcel Map
- h. Site Plan, Elevations, & Floor Plan
- i. Correspondence

RESOLUTION NO. 2017-14

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMITA RECOMMENDING CITY COUNCIL APPROVAL TO PERMIT VESTING TENTATIVE PARCEL MAP NO. 74637 FOR THE SUBDIVISION OF A SINGLE, 11,313-SQUARE-FOOT LOT INTO TWO SEPARATE PARCELS AND TO ALLOW FOR THE CONSTRUCTION OF TWO ATTACHED CONDOMINIUM UNITS THEREON AND SITE PLAN REVIEW NO. 1182 IN THE RESIDENTIAL VARIABLE DENSITY 2500 ZONE (RVD-2500). PARCEL 1 WILL RETAIN THE EXISTING SINGLE-FAMILY HOME WITH THE DETACHED GARAGE AND POSSESS 5,808 SQUARE FEET AFTER THE SUBDIVISION. PARCEL 2, LOCATED SOUTH OF 2374 247TH STREET, WILL CONTAIN TWO ATTACHED CONDOMINIUM UNITS AND POSSESS 5,505 SQUARE FEET, WITH A 12-FOOT REAR YARD SETBACK INSTEAD OF THE REQUIRED 20-FOOT MINIMUM REAR YARD SETBACK. FILED BY THOMAS YUGE OF CETECH ENGINEERING, 2252 W. CARSON STREET, SUITE B, TORRANCE, CA 90501.

Section 1. Recitals.

- A. The Planning Commission of the City of Lomita has considered an application for Vesting Tentative Tract Map No. 74637 for the subdivision of a single, 11,313-square-foot lot into two separate parcels and to allow for the construction of two attached condominium units thereon and Site Plan Review No. 1182 in the Residential Variable Density 2500 (RVD-2500) Zone. Parcel 1 will retain the existing single-family home with the detached garage and possess 5,808 square feet after the subdivision. Parcel 2 will contain two attached condominium units with a 12-foot rear yard setback (instead of the required 20-foot minimum rear yard setback), and possess 5,505 square feet. Filed by Thomas Yuge of Cetech Engineering, 2252 W. Carson Street, Suite B, Torrance, CA 90501. (Hereinafter referred to interchangeably as either the "Subdivider" or "Developer.")
- B. The Planning Commission held a duly noticed public hearing on August 14, 2017, and accepted public testimony.
- C. Said Vesting Tentative Map has been reviewed by the City's contract engineers (HR Green), and the Los Angeles County Fire Department, both of which recommend approval subject to the attached conditions.
- D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan and with Title 11 of the Lomita Municipal Code.
- E. The subject site is zoned Residential Variable Density-2500 (RVD) and designated "medium density residential" by the City's General Plan. Pursuant to Section 11-1.30.01 of the Lomita Municipal Code, a site plan review is required for all multi-family residential developments within the RVD zone.
- F. Pursuant to Lomita Municipal Code Section 11-1.30.02, modifications to setbacks in the Residential Variable Density-2500 (RVD-25000) Zones are permitted subject to approval of Site Plan Review and Modifications.
- G. Section 15315 (Minor Land Divisions) of Title 14 the California Environmental Quality Act Guidelines exempts the project from the requirements for the preparation of environmental documents because the project meets all required criteria: the lot subdivision results in fewer than four lots, the project is consistent with the General Plan and zoning designations, all services and

access to the proposed parcels to local standards are available, no variances or exceptions are required, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. In addition, Section 15303(b) (New Construction and Conversion of Small Structures) exempts a duplex or similar multi-family residential structure totaling no more than six dwelling units in urban areas. As the proposed project consists of two dwelling units in an urban area, it is also exempt from CEQA requirements under § 15303(b).

Section 2. Findings.

- A. The Planning Commission of the City of Lomita finds, after due study and deliberation, that the parcel map qualifies for approval pursuant to the Subdivision Map Act Government Code Sections 66473.5 and 66474 (a through g) and Lomita Municipal Code Section 11-2.116. The Subdivision Map Act of the California Government Code regulates the subdivision of property. (See Government Code sections 66410, *et seq.*) Section 66474 states, "a city or county shall deny approval of a tentative map, or parcel map for which a tentative map was not required," subject to certain specified findings listed in Government Code section 66474. The proposed project does not satisfy any of the reasons articulated in Government Code section 66474 for denial. Therefore, pursuant to Government Code Sections 66473.5 and 66474 (a through g), the proposed parcel map qualifies for approval.
- B. Pursuant to Section 11-1.70.07 (Site Plan Review) of the Lomita Municipal Code, multi-family developments within the RVD Zone are subject to the site plan review. In addition, pursuant to Section 11-1.30.02, modifications to yard setbacks are subject to review and approval by the Planning Commission; the findings required for modifications include those listed in Sections 11-1.70.08 ("Modifications") and Section 11-1.70.07 ("Site Plan Review").

After due study and deliberation the Planning Commission of the City of Lomita finds, that the following circumstances exist:

1. The Site Plan complies with all applicable provisions of Title 11.

As set forth in the staff report and with Planning Commission review of rear yard setback deviation as required under Section 11-1.70.07 of the LMC, the project complies with all of the development standards in Section 11-1.30.02, and Section 11-1.66.03. Specifically, the project possess the lot area required for two units in the RVD-2500, front and side yard setbacks, the maximum height limit, and the off-street parking requirements.

2. The site is suitable for the particular use or development intended, and the total development, including the application of prescribed development standards, is arranged as to avoid traffic congestion, will not adversely affect public health, safety and general welfare, will not have adverse effects on neighboring property and is consistent with all elements of the General Plan.

The subject site is suitable for the proposed two-attached condominium units. The project conforms to the maximum height requirement, and the front and side yard setback requirements. The site provides the required off-street parking. The use and structure will not create congestion, nor affect public health, safety or welfare as they are consistent with both the zoning and General Plan designation for the property.

As a result of the subdivision, Parcel 2's front, rear and side yard layout will be rotated 90 degrees from the present situation. The side yards will be along the northerly and southerly property lines; the front and rear yards will be along the westerly and easterly property lines respectively.

This re-orientation will create more open space between Parcel 2 and the adjacent single-family dwelling on 247th Street. The proposed former side yard, which has a 5-foot setback, would become Parcel 2's rear yard with a 12-foot rear yard setback.

Also, along the southerly property line, the neighbor will experience more open space than is required. The project is required to only have a 5-foot side yard setback; however, Unit B's 12-foot driveway runs parallel to the southerly property line and the second story is setback 7 feet 9 inches from the southerly property line. Based on these circumstances, the neighboring properties should not experience any significant adverse effects from the 8-foot rear yard setback modification and subdivision.

Finally, the project is consistent with the General Plan's Medium Density Residential designation. Parcel 2 would have a density of 15.83 units per acre, which conforms to the 8.72 to 19.8 units per acre that is specified in the General Plan.

3. *The development design is suitable and functional. This requirement shall not be interpreted to require a particular style or type of architecture.*

The development design suits the lot and creates two functional, 3-bedroom, 2.5-bathroom, condominium units as allowed by the Code. The design is consistent with the neighborhood, which contains a mixture of single-family dwellings, and multi-family housing both in the form of condominiums and apartments. While this required finding does not require that the project to adhere to a particular style or type of architecture, the architectural style of the proposed project is consistent with newer housing developed within the City.

4. *Topographic features, subdivision plans, or other conditions create an unnecessary hardship or unreasonable regulation or make it obviously impractical to require compliance with the yard requirements or setback line.*

As Parcel 2 has a depth of 75 feet, the 8-foot rear yard setback modification offsets the hardship created by the lot's shallow depth. A combined 40 feet is required for the front and rear yard setbacks, and when coupled with the required 20 foot by 20 foot enclosed garage requirement, the buildable area is severely restricted. Without the rear yard setback, the width of the first floor common spaces (the kitchen, living room, and dining room) would be substantially narrower than other contemporary units.

Section 3. Based on the above findings, the Planning Commission of the City of Lomita hereby recommends City Council approval of Vesting Tentative Parcel Map No. 74637 and Site Plan Review No. 1182 subject to the following conditions:

GENERAL PROJECT CONDITIONS

1. This Vesting Tentative Parcel Map is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another.
2. This permit is granted for the plans stamped June 26, 2017, ("the Plans") on file with the Planning Division. The project shall conform to the Plans, except as otherwise specified in these conditions, or unless a minor modification to the Plans is approved by the Community Development Director or a modification to the Plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structure.
3. Pursuant to Lomita Municipal Code sections 11-2.357 and 11-2.251, this Vesting Tentative Parcel Map dated May 15, 2017 shall automatically become null and void 24 months from the date of its issuance. If the final map has not been recorded prior to expiration date, the Subdivider may apply for an extension in writing to the City of Lomita Planning Commission, provided that the request is received at least 40 days before expiration of this vesting tentative map.
4. The Developer shall indemnify, protect, defend and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (collectively, the "City"), from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings or procedures (collectively, "Actions") brought against the City that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City, for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, or any other statute, law, ordinance, rule or regulation. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that Developer shall reimburse the City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Developer of any Action brought and City shall cooperate with Developer in the defense of the Action.
5. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Community Development Director allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements.
6. That the Planning Commission may review approval of this resolution upon notice of violation by the Code Enforcement Division.
7. By commencing any activity related to the project or using any structure authorized by this map, Developer accepts all of the conditions and obligations imposed herein and waives any challenge to the validity of the conditions and obligations stated therein.
8. Any covenants, conditions, and restrictions (CC&R's) applicable to the project property shall be consistent with the terms of this Vesting Tentative Parcel Map and the City Code. If there is a conflict between the CC&R's and the City Code or this permit, the City Code or this permit shall prevail.

9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property.
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this Vesting Tentative Parcel Map.
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property.
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Los Angeles County Fire Department.
13. If Developer, owner or tenant fails to comply with any of the conditions of this Vesting Tentative Parcel Map, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code.
14. Prior to issuance of building permits, Developer shall sign a letter agreeing to the conditions of approval within this resolution.

LANDSCAPE CONDITIONS

15. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans. The Plans shall comply with the requirements set forth in Article 82 (Landscape Requirements) of the Zoning Code.
16. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems. The irrigation shall be weather based and of the smart irrigation type. It shall be a brand approved by the Irrigation Association of California State University Fresno. A list of systems may be obtained from the planning department.
17. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer.
18. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit.
19. Sprinkler heads must rotate and be designed with a 70% distribution uniformity in turf areas and 80% in non-turf areas.
20. Run off directional flow shall be detailed on the landscape plan with as much run-off water captured in landscaped areas as possible.
21. Turf and non-turf areas shall be installed on individual valves of the irrigation system.

ENGINEERING CONDITIONS (CITY OF LOMITA)

22. All public improvements, including new water service lines, meters, and frontage improvements shall be constructed per the City's Standard Drawings and Standard Specifications. All new and modified utility lines shall be placed underground.
23. The developer shall submit calculations, prepared by a licensed civil engineer, determining the size of the water service laterals, water meters and backflow device. A separate fire service line shall be required.
24. The developer shall install separate water meters for each unit with the brand/type of meter subject to the Department of Public Works approval. Separate water meters shall be installed for each unit.
25. The Developer shall remove and replace any existing damaged curb, gutter, and sidewalk adjacent to the proposed development. Any modifications to the driveway location shall require curb, gutter and sidewalk modifications to replace the existing driveway.
26. Should it meet the requirements, the proposed development will provide Standard Urban Stormwater Mitigation Plan (SUSMP). The developer shall comply with the SUSMP as prescribed by the Los Angeles County Department of Public Works SUSMP Manual and show the selected measures on the grading plan.
27. The developer shall obtain an encroachment permit from the City of Lomita for all proposed public improvements, including payment of all plan check and inspection fees.
28. Prior to approval of the Parcel Map the developer shall either construct or post security for all required public improvements.

PLANNING STANDARD CONDITIONS

29. Before the City issues any building/grading permits, Developer shall include a reproduction of all conditions of this Vesting Tentative Parcel Map as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project.
30. This permit is granted subject to the City's approval and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by the Community Development Director. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map.
31. Developer shall provide for dust control at all times during project property preparation and construction activities.
32. Developer shall provide automatic garage door openers for all garages.
33. Developer shall construct each dwelling unit with separate utility systems and meters.
34. The final building plans submitted by Developer with the building permit application shall depict all building materials and colors to be used in construction.
35. All utilities shall be placed underground subject to review and approval of the Community Development Director and the Building Official.

36. Developer shall pay applicable Quimby Fees, Parks Fees, and Parkway Tree Fees before issuance of building permits. The amount of the fee shall be determined by the Planning Division at the time of payment.
37. Developer shall pay the Development Tax of \$1,000 per residential unit prior to issuance of building permits.
38. Developer shall pay the applicable Water Facilities fee.
39. The developer shall comply with the attached conditions of approval from the City's consultant H.R. Green dated March 17, 2017 (revised May 30, 2017), and with Los Angeles County Fire Conditions dated June 1, 2017.

PLANNING SPECIAL CONDITIONS

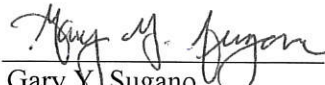
40. That the Community Development Director may approve minor changes to the final approved plans. For numerical standards, the Community Development Director may approve deviations up to 10% provided that city code requirements are met.
41. Building height shall be restricted to 27 feet maximum as allowed by code. Building height shall be measured as the vertical distance as measured from the average level of the natural grade of that portion of the site covered by the building(s) to the highest point of the structure.
42. That, in the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit.
43. It is hereby declared to be the intent of the Planning Commission that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
44. All exterior mounted utilities shall be concealed by landscaping or painted to match the building.
45. Subject to Community Development Director review, the architecture style shall reflect the craftsman style represented in the drawings submitted to the Planning Commission.

PASSED and ADOPTED by the Planning Commission of the City of Lomita on this 14th day of August, 2017 by the following vote:

AYES:	Commissioners:	Graf, Thompson, Dever, Santos, Cammarata
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Hoy
RECUSE:	Commissioners:	Popelka



Steven M. Cammarata, Chair

ATTEST: 
Gary Y. Sugano
Assistant City Manager

Within 30 days of the date of this decision for an exception, permit, change of zone, or other approval, or by the person the revocation of whose permit, exception, change of zone, or other approval is under consideration, of notice of the action of, or failure to act by, the Commission, any person dissatisfied with the action of, or the failure to act by, the Commission may file with the City Clerk an appeal from such action upon depositing with said Clerk an amount specified by resolution of the City Council.

Any action to challenge the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Code of Civil Procedure Section 1094.6.

A REGULAR MEETING OF THE
LOMITA PLANNING COMMISSION

1. OPENING CEREMONIES

- a. Call Meeting to Order

Chair Cammarata called the meeting to order at 6:30 PM in the Council Chambers, Lomita City Hall, 24300 Narbonne Avenue, Lomita, CA 90717.

At the request of Chair Cammarata, Commissioner Thompson led the flag salute.

Chair Cammarata introduced and welcomed Joaquin Santos as the new Planning Commissioner.

- b. Roll Call

Responding to roll call by Recording Secretary Teresa Vallejo were Commissioners Dever, Graf, Popelka, Santos, Thompson and Cammarata. Also present were Assistant City Attorney Trevor Rusin, Assistant City Manager Gary Sugano, Principal Planner Alicia Velasco and Assistant Planner Laura MacMorran. Commissioner Hoy was absent.

2. ORAL COMMUNICATIONS

None.

3. CONSENT AGENDA

- a. Approval of Minutes: July 10, 2017

Commissioner Graf moved to approve the July 10, 2017 Minutes with corrections as stated by Commissioner Popelka. Commissioner Dever seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Dever, Graf, Popelka, Cammarata
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: Santos, Thompson
ABSENT: COMMISSIONERS: Hoy

PUBLIC HEARINGS

Commissioner Popelka recused himself from item #4 due to conflict of interest.

- 4. SITE PLAN REVIEW NO. 1182/VESTING TENTATIVE PARCEL MAP NO. 74637** – A request to allow a subdivision of a single 11,313 square-foot lot into two parcels and to allow for the construction of two attached condominium units with a 12-foot rear yard setback instead of the required 20-foot minimum rear yard setback on the proposed Parcel 2 located south of 2374 247th Street, in the Residential Variable Density 2500 (RVD-2500) Zone. Parcel 1 will retain the existing single-family home with the detached garage and possess 5,808 square feet after the subdivision. Parcel 2 will contain two attached condominium units and possess 5,505 square feet. Filed by Thomas Yuge, Cetech Engineering, 2252 W. Carson St., Suite B, Torrance, CA 90501.

DUE TO LACK OF QUORUM, THIS ITEM WAS CONTINUED FROM LAST MONTH'S MEETING

Assistant Planner Laura MacMorran presented the report. The applicant is requesting a subdivision of an 11,313 sq. ft. lot into two lots. One lot will contain a 5,808 sq. ft. and the other lot will contain 5,505 sq. ft.

In addition, the applicant is seeking permission to construct two condominiums with a 12 ft. rear yard setback instead for the required 20 ft. on Parcel 2. The property is located on 247th Street and Pennsylvania Avenue and is in the RVD 2500 Zone. This permits the construction of one residential unit for every 2,500 sq. ft. of the lot area. This is consistent with its general plan designation of Medium Density Residential. The existing single family home has a detached garage and several accessory structures. The Code allows a property to be subdivided if the new properties each have a minimum of 5,000 sq. ft. and have a minimum of 50 ft. of frontage on a public street. Both proposed parcels satisfy those requirements. Parcel 1 will possess 5,808 sq. ft. and have 75 ft. of frontage on 247th Street. Parcel 2 will possess 5,505 sq. ft. and have 74 ft. of frontage on Pennsylvania Avenue. Those proposed parcels will satisfy the requirements for subdivision.

The City's consulting engineer has reviewed the parcel map and added standard conditions of approvals and did not place any holds on the map. Regarding the Site Plan, the proposal calls for the existing home to remain. Parcel 1 will contain the existing home, and the new rear yard setbacks will meet the development standards. Parcel 2 will contain the two new units. The front yard and side yard setbacks all conform with the development standards. In the rear yard, they are requesting an 8 ft. modification and would have a 12 ft. setback instead of 20 ft. The development meets all standards except for the rear yard setback. It contains two enclosed parking spaces per unit for a total of four with one visitor parking space as required. The building has a maximum height of 27 ft. Units A and B will have their respective living areas and two-car garages on the first floor. The second floor will offer three bedrooms and two baths.

The lot's area is suitable for subdivision and Parcel 2 is suitable for two attached units. The neighborhood contains both single and multi-family dwellings. Parcel 2 density adheres to the General Plan's parameters of 8.72 to 19.8 units per acre. The lot is unusually shallow possessing only 75 ft. in depth. The front yard, rear yard and garage requirements consume most of the lot's depth. The proposed setback modifications are reasonable due to that unique hardship. Staff advises the Planning Commission to adopt a resolution recommending City Council approval of Vesting Tentative Parcel Map 74637 and Site Plan 1182 subject to conditions.

Brief discussion followed regarding clarification on setbacks at both Parcels 1 and 2.

Chair Cammarata opened the public hearing.

Tom Yuge, Civil Engineer from CETECH Engineering, stated this property is owned by a long-time resident. Their request is to split off the rear property and still maintain the existing house in the front that faces 247th Street. They wish to sell the rear piece. He stated that he has worked with staff for over 3 months due to issues with setbacks. The alternative is to also tear down the front house and create a four-unit complex which will require additional setbacks that are closer to the projected line of this parcel. He added that they accept all the conditions and architect is present for any questions.

Sandra Vierra, Lomita resident, stated that she is opposed to the smaller setback for the lot on Pennsylvania Avenue. She added that she purchased her home for a view and sunlight which will be lost if the project is approved.

Mr. Yuge stated that the lot's existing configuration, the side yard setback along the property line to the east would only be 5 ft. With the proposed development, the setback would now be 12 ft.

Chair Cammarata closed the public hearing.

Commissioner Graf stated that a standard condition to conceal all utility panels is typically added to the Resolution but was not included. Staff agreed to add the condition to the Resolution along with changes on the wording regarding final architectural features and design of the two new residential units subject to review and approval by the Community Development Director. Staff asked the applicant if he was agreeable to conditions as discussed.

Mr. Yuge stated that changes to the Resolution as discussed are acceptable.

Commissioner Graf moved to approve Site Plan Review 1182 and Vesting Tentative Parcel Map No. 74637 with revisions to the Resolution. Commissioner Thompson seconded the motion which carried unanimously.

AYES: COMMISSIONERS: Graf, Thompson, Dever, Santos, Cammarata
NOES: COMMISSIONERS: None
ABSTAIN: COMMISSIONERS: Popelka
ABSENT: COMMISSIONERS: Hoy

5. SITE PLAN REVIEW NO. 1185 – A request for a Site Plan Review to permit the construction of ten, two-story, detached apartments with 20 enclosed parking spaces and four guest parking spaces located on the west side of the 25800 block of Eshelman Avenue (Assessor’s Parcel Numbers 7553-007-018, 7553-007-055 and 7553-007-056) in the RVD-1000 (Residential Variable Density) Zone and to confirm the categorical exemption. Filed by Twan Ma, 195 Mount Olive Drive, CA 91008.

DUE TO LACK OF QUORUM, THIS ITEM WAS CONTINUED FROM LAST MONTH’S MEETING.

Commissioner Dever recused herself because she lives within 500 ft. of proposed project.

Assistant Planner Laura MacMorran presented the report. The applicant is requesting approval of Site Plan 1185 to permit the construction of ten 2-story detached apartments with 20 enclosed parking spaces and four guest parking spaces located on the west side of the 25800th block of Eshelman Avenue. The property is located south of Pacific Coast Highway and is in the RVD 1000 Zone which permits the construction of one residential unit for every 1,000 sq. ft. of the lot area. This is consistent with the general plan designation of high density residential. The properties north of the subject site are commercial and the properties just south of the subject site are medium density residential. The property east is Eshelman Elementary School. Former structures on this parcel were demolished in 2016. The subject property consists of three lots totaling 24, 300 sq. ft. The parcel is presently vacant and the parcel at the rear of the property does not have street access. Staff has added a condition of approval that the three lots be tied together in a covenant filed to hold the properties as one.

There is at least a 10-foot separation between each unit. Within this separation, there will be about 150 sq. ft. of private patio and about 170 sq. ft. of public green space. A common 26 ft. wide driveway bisects the property and will provide access to the private garages, as well as connects to the four guest parking spaces located at the rear of the property. Each unit will be 27 ft. tall. Projects that propose structures taller than 16 ft. on properties south of PCH require a height variation permit. In the spring of this year, the applicant silhouetted the site and the Community Development staff granted the project administrative approval on May 16, 2017. The project complies with all applicable zoning requirements. In several cases, the project provides substantially more than the code-specified minimums for development standards. A traffic study was prepared for the proposed project which calculated trip generation rates and level of service analysis for the intersection of Eshelman Avenue and Pacific Coast Highway. The study found the project would generate 60 vehicle trips per day with five trips in the AM peak period and 6 trips in the PM peak period. The traffic study did not recommend any mitigation measures and found the project would not have a significant impact.

The project proposed to build only ten units where the code-specified standards would allow up to 24 units. Project meets all the development standards and will result in a density consistent with the surrounding residential developments. According to the traffic study, the project would not create a significant increase in traffic nor will the project adversely impact existing levels of service on adjacent roads.

In conclusion, staff is recommending the Planning Commission adopt a Resolution to allow Site Plan No. 1185 with conditions.

Laura MacMorran

From: David Popelka <depopelka@gmail.com>
Sent: Thursday, April 11, 2019 4:36 PM
To: Laura MacMorran; Dave
Subject: Site plan extension of time for 24710 & 24712 Pennsylvania Ave.

To: City of Lomita Planning Dept.
From: David Sheerin Applicant/Owner 24710 & 24712 Pennsylvania Ave.

Lomita Planning Department,

I am applying for an extension to this site plan due to the fact I just received the final structural plans from my architect less than 2 weeks ago. Official boundary line survey with monument markers was just completed days ago. The boundary fence was just moved days ago as well.

As yet I have had insufficient time to submit grading plans to the Los Angeles County Dept of Building and Safety.

I respectfully request that the planning Commission graciously grant my request for a 1 year extension to allow sufficient time to obtain bids and submit plans and pull permits for this project.

Please call with any questions or concerns.

Best Regards,

David Sheerin

--
David Popelka
Century 21 Amber
23705 Crenshaw Blvd. #100
Torrance, CA. 90505
310.283.4970
B.R.E. #01317056



Item 4

CITY OF LOMITA PLANNING COMMISSION REPORT

TO: Planning Commission June 10, 2019

FROM: Alicia Velasco, Community and Economic Development Director

SUBJECT: Review and Discussion of the City's Draft Downtown Design Guidelines

RECOMMENDATION

That the Planning Commission review and provide comment on the Downtown Lomita Draft Design Guidelines.

BACKGROUND

On October 16, 2018, the City Council approved the Downtown Lomita Retail Analysis and Strategy which is commonly referred to as the "Downtown Vision". As part of the Vision, the City's consultants did a comprehensive policy and regulations analysis of all City documents pertaining to the Downtown Commercial District. The purpose was to review the existing policies and regulations from an economic and design related standpoint to determine how they affect the economic environment of the Downtown. Once that review was complete a set of recommendations was prepared. One of the short term recommendations was to create new and updated Downtown Design Guidelines. In January of this year, the City entered into an agreement with Studio One-Eleven to prepare the revised Design Guidelines.

Currently the Downtown Commercial zone has Design Guidelines which were approved in 1999. While mostly still relevant, they contain outdated terminology and graphics, and are overly cumbersome to understand. Further, the "guidelines" are not requirements and developers have the option to adhere to them or not. The proposed draft Guidelines are more specific, relevant, and provides updated graphics creating a more user-friendly experience.

Staff is recommending a three step process in review and approval of the proposed draft Guidelines:

- Present draft Guidelines to Planning Commission for review and comment (current step);
- Present the revised draft Guidelines (per PC comment) and a Zone Text Amendment formally ratifying the requirements to Planning Commission for recommendation to City Council;
- Present draft Guidelines and an Ordinance to the City Council for approval and incorporation into the Downtown Commercial zone.

This three step process provides additional opportunities for public noticing and comment of the Guidelines. Further, with adoption of an Ordinance incorporating the Guidelines; the design requirements will no longer be optional for new projects within the Downtown. Attached to this report are the draft Design Guidelines and a summary of changes prepared by Studio One-Eleven. The original 1999 Design Guidelines are posted on the Planning Division's home page of the City's website: <http://www.lomita.com/cityhall/government/planning/index.cfm> and they can also be emailed or printed on request.

Prepared by:



Alicia Velasco
Community and Economic Development Director

Exhibits:

- A. Draft Design Guidelines
- B. Summary of Changes from 1999 Guidelines

1999 Downtown Lomita Design Guidelines

2019 Updates

City of Lomita, June 2019



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Introduction

This design manual is intended to serve as a guide for new buildings and the conservation, adaptive re-use, and enhancement of existing buildings and streetscapes within Downtown Lomita. The primary focus is to meet the needs of the many users: property owners, merchants, and customers; architects, designers, and building contractors; vendors and craftsmen; the City of Lomita staff; and other interested persons and organizations in the community. Each of these interests has a vital and interrelated role to play in successfully enriching the Downtown and enhancing its pedestrian atmosphere.

Emphasis is placed on practical guidelines for the restoration and rehabilitation of those buildings and storefronts which can contribute to the distinct character of the Downtown. Recognizing that new infill construction and selective replacement of existing structures may occur, guidelines for new construction are included as well. Such new construction, when reflecting context-sensitive design, unquestionably will contribute an additional dimension and important vitality to the existing historical character of the Downtown.



Existing conditions in Downtown Lomita



Historic Downtown Lomita

The design guidelines in this manual are illustrative rather than prescriptive. They cannot attempt to prescribe ways to handle every type of new construction or alteration to the existing structures. They do, however, provide the City with a common framework for reviewing submissions and attaching design conditions, if any, to project approvals.

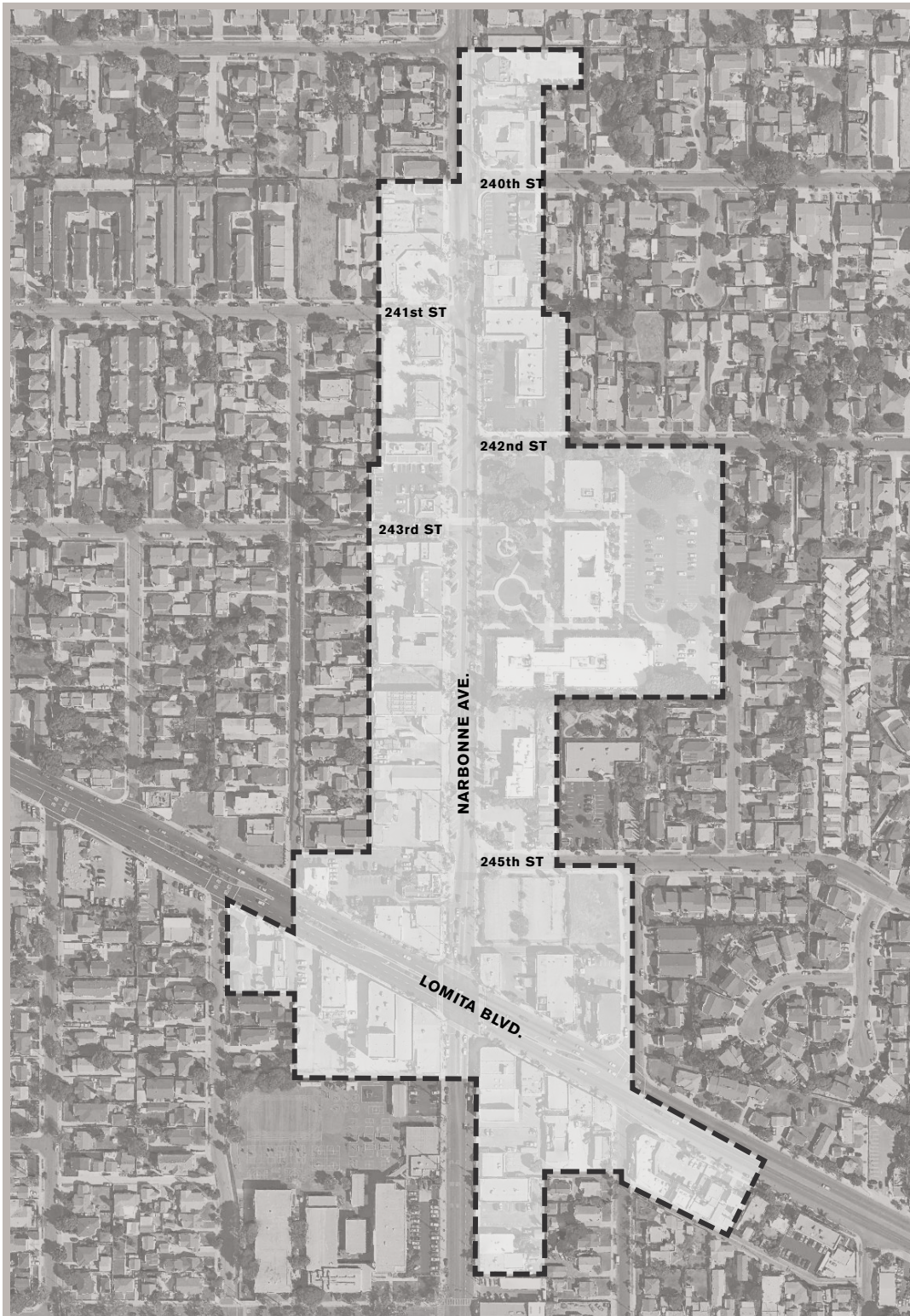
This design guidelines manual is organized into five sections. The manual first looks at how new construction and significant remodels can or cannot fit into the existing historic context of Downtown. This section is entitled Site Plan and Massing Guidelines. Since the Narbonne Avenue/Lomita Boulevard facades are critical to maintaining a downtown character, the guidelines for Facade Design are provided next. The next section, Storefront Design, addresses specific elements of the storefront as well as other elements of the structure. Guidelines are provided to establish a continuity of quality and architectural proportion, as well as variety in design.

One of the most prominent elements of the Downtown Lomita street scene is signs. The regulatory aspects of signage are controlled on a citywide basis by the municipal zoning code. The Sign Guidelines section is provided to establish signage design standards and criteria which will enhance the visual image of the district and actually assist merchants in presenting their stores to the public.

An important element to the vitality of a downtown is an individual's perception of his or her personal safety. The next section, Design for Crime Prevention, outlines the basic concepts behind "CPTED", the practice of Crime Prevention through Environmental Design.

Study Area

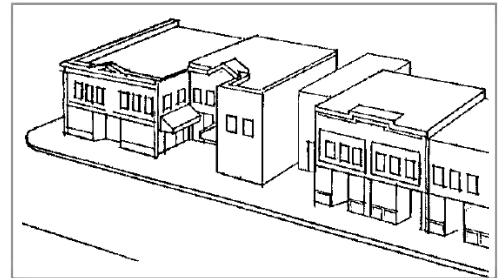
The Downtown Lomita Design Guidelines apply to storefront areas primarily located contiguous to Narbonne Avenue between the north city limits and 247th Street, and Lomita Boulevard between Moon Avenue / Alliene Avenue and Woodward Avenue, as illustrated in the location map on this page.



Site Plan and Massing for New Construction and Significant Remodels

Overview

- Site Planning and Massing establish the underlying characteristics of a human-scaled, pedestrian-oriented downtown.
- New buildings and significant remodels must relate harmoniously to the surrounding context, with a particular emphasis placed on how buildings relate to the street to maintain Downtown Lomita’s walkable charm.
- The evaluation of conformance with the guidelines in this section will primarily be through the review of site plans, building floor plans, and elevations.

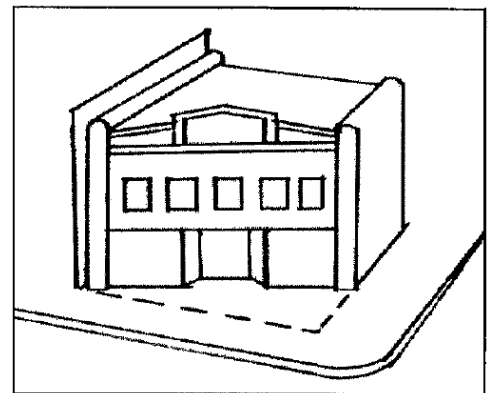


Inconsistent setbacks, and blank walls at street level are inconsistent with traditional storefront design

Site Planning

1. Setbacks and Building Orientation

- A zero foot setback from the property line must be maintained along Narbonne and Lomita Boulevards.
- Buildings located along peripheral streets must be placed parallel along the property line on their major frontage with 100% street coverage to maintain sidewalk continuity and activity. (Notwithstanding the preceding requirement, however, small forecourts, nooks, and recessed entries are encouraged to provide street articulation – see Section 3 Facade Guidelines).
- Buildings located at corners shall have a pedestrian plaza, outdoor seating, or other architectural feature or setback from the intersection. Minimum corner setback shall be 10’ from the property line.
- Above the third floor or 40 feet, whichever is lower, there shall be a step back from the property line by a minimum of 6 feet.
- Drive approaches shall be located on side streets or alleys with all parking located to the rear of the building. Where not feasible, all drive approaches taking access from Lomita Blvd and Narbonne Ave. must be minimized and integrated with the overall building site.



Corner buildings setback from intersection encourage pedestrian movement

2. Active Street Wall

- Major pedestrian access for all buildings shall be oriented to the street along Narbonne Ave. and Lomita Blvd. In addition to retail storefronts, office, residential, and entries to other uses must be accessed from a street facing lobby rather than rear entries.
- New buildings must have ground floor spaces with a minimum usable depth from the property line of 30 feet to facilitate commercial viability.



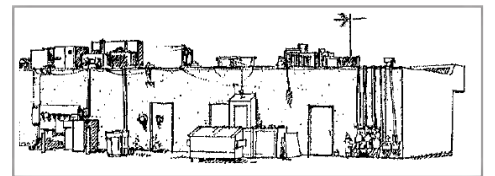
Step backs in taller structures

3. Mechanical Equipment, Utilities, and Refuse

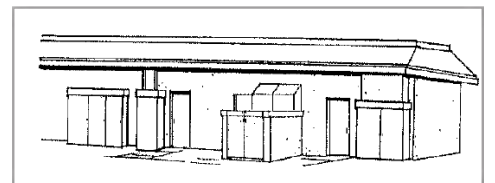
- To the greatest extent feasible, all new utility equipment such as transformers, switch gear, meters, backflow preventers, and water service shall be located underground or to the rear or sides of buildings, to avoid interfering with the buildings' street facade and from disrupting the sidewalk area.
- Utility equipment shall be screened from view where possible by fencing and landscaping.
- All rooftop equipment shall be screened and not visible from public view.
- Trash cans, dumpsters, and other refuse containers shall be screened from public view or integrated within the building's architecture. Regular maintenance is of paramount importance.
- All screening shall be architecturally integrated with the building design in terms of material, color, shape, and size.
- Building screening shall be accomplished by primary building elements (i.e. parapet wall) instead of after-the-fact add-on screening.
- Mechanical equipment located above door transoms is not permitted.
- Any existing exterior plumbing, electrical lines, or other utilities on any facade in public view shall be relocated or enclosed.
- Unsightly electrical service entries shall be relocated or rehabilitated.



Building entrances oriented towards the street reinforce a vibrant street wall

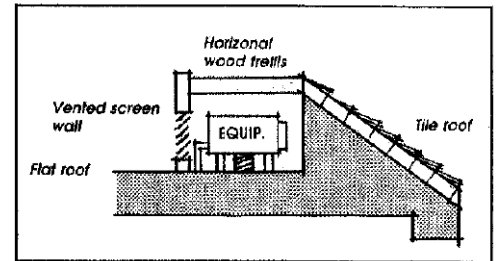
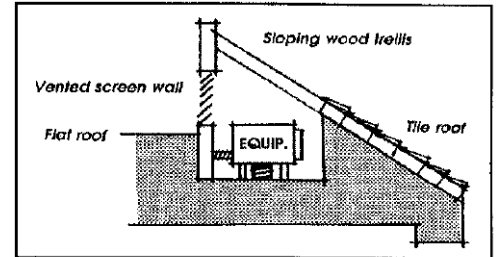
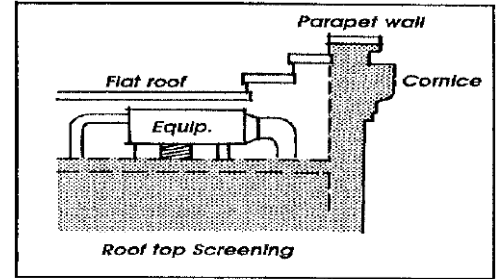


Unscreened equipment and utility meters are prohibited

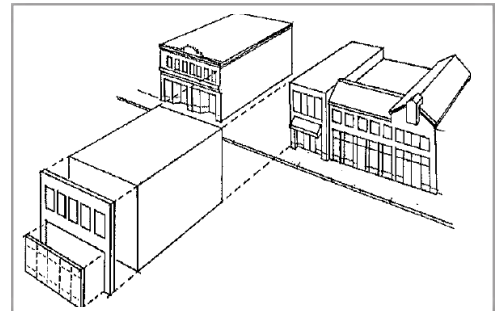


Screened equipment and utility meters can be incorporated into the building's structure

- To the greatest extent feasible, locate air conditioning units on roof areas behind parapet walls; in narrow light wells; or in other areas of buildings not affording visual access to the pedestrian or occupant.
- Mechanical equipment for automatic retractable interior security grilles shall be concealed. Concealment of mechanical appurtenances can be accomplished by placement under an awning (when available) or enclosed by a housing that is appropriate to the building's architecture and color.



Rooftop screening of mechanical equipment



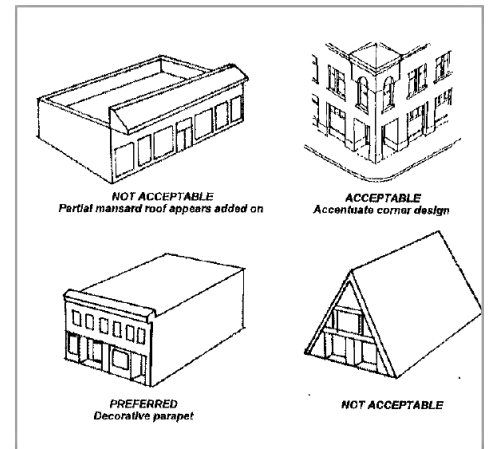
New infill should reflect the established rhythm and scale of adjacent structures

Massing

1. New and remodeled one story buildings shall have a minimum height of 20 feet to the top of the parapet.
2. New multi-story buildings shall have a minimum first floor height of 15 feet as measured from the exterior front elevation.
3. New multi-story buildings and remodels may be taller than adjacent structures (as permitted within the D-C Ordinance and Mixed-use overlay), but must include a reference to the scale of adjacent buildings in the form of transitional step-backs or a datum referencing adjacent structures (see Facade Guidelines).
4. Rhythm and Proportion of New Infill Buildings
 - New infill buildings shall maintain the characteristic proportion, common horizontal elements, and spacing of the window and door openings of those properties adjacent.
 - An infill building with a façade width greater than 25 feet shall maintain the existing characteristic of the facades on the street, with the introduction of a “structural bay”. Structural bays shall be “broken” by: (1) vertical and horizontal articulation; (2) breaks in the surfaces of the wall itself; (3) the location of window and door openings; and/or (4) the location of appropriate balconies, awnings, and canopies. The characteristic proportion (relationship of height to width) of existing facades must be respected.

5. The roof form must be designed in conjunction with mass and facade to create a consistent and integrated composition.

- Roofs should be flat; however, decorative pediments may be sloped and extend above the roofline.
- Roof lines of adjacent buildings shall be considered to avoid clashes in scale, style, and materials.
- Mansard roofs and “radical” roof pitches that create overly prominent or out-of-character are not permitted.



Flat roof lines with decorative pediments are preferred

Facade Guidelines for New Construction and Significant Remodels

Overview

New and construction and significant remodels (alterations to the exterior or interior structure and form of a building over \$30,000) are to be context-sensitive and aligned with the character of adjacent buildings in Downtown Lomita. This section covers three areas: Building Facades and Architecture, Lighting, and Facade Rehabilitation and Replacement.

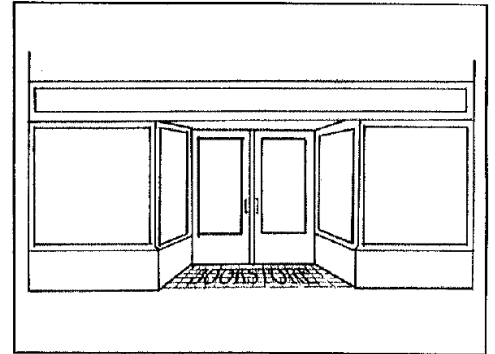
Building Facades and Architecture

1. Entrances

- Small Forecourts, recesses, and nooks are encouraged around entries in new and remodeled construction. The dimensions of these should be proportional to the overall facade with a maximum depth of 10 feet. (See additional requirements in Storefront Design).
- Lobbies for office, residential, or other uses must be integrated into the storefront and contribute to a harmonious, active ground plane.
- Rear entrances are discouraged, but if they are included, their visual character should not compete with the primary entrance.

2. Ground Floor Window Requirements

- The ground floor shall be activated with storefront windows at a minimum of 75% along the street length of the building.
- Ground floor storefront windows shall maintain the existing range of height on the street of ten feet to twelve feet high.
- See Section 4 – Storefront Design for more inclusive guidelines.



Small recesses and nooks are encouraged

3. Upper Floor Windows

- Upper floor windows should read as punched openings within a more solid surface.
- Upper floor windows should be more proportionally rectangular, with an approximate ratio of height to width of 1.5 to 1.

4. Facade Color

- Colors should help to visually relate facades and building elements to each other. The colors chosen for any facade should relate to the overall block as a whole.
- No more than three colors shall be used on any given facade. This includes any “natural” colors such as unpainted brick or stone.
- Colors can vary from ground floor to upper floors to help bring attention to the pedestrian experience.

5. Building Material Palette

- Building materials to be used on new buildings in the Downtown are to be complimentary with the materials used on significant adjacent buildings. Where new additions and remodels to buildings occur, the materials used should be compatible with non-“modernized” existing surrounding buildings. A brief list of the primary recommended building materials for infill construction is included as follows:



Building materials should complement adjacent structures

Recommended Materials for Frontages

A. Building Walls

- Clear glass (window areas)
- Concrete or exterior plaster (lightly troweled or sand finish)
- Shiplap or clapboard wood or cement board siding
- New or used face brick
- Cut or carved stone, precast concrete

B. Decorative Details

- Terra cotta tile cladding
- Ceramic tile (for entries, bulkheads, and piers)
- Stucco (smooth troweled or light sand finish)
- Terrazzo (for entries, bulkheads, and piers)

C. Roofs (where visible)

- Precast cornice and terracotta-style detail at top of parapet
- Flat concrete or clay tiles
- Asphalt materials

D. Fences/Walls/Gates

- Brick
- Stone
- Block with stucco veneer (smooth troweled or light sand finish) with cornice, pilasters, and cap
- Wood trellis
- Decorative wrought iron

Non-Permitted Materials for Frontages

A. Building Walls

- Highly reflective or opaque glass
- Imitation stone or flagstone parquet
- Rough sawn or “rustic” wood paneling
- Exposed plywood paneling
- “New” used brick
- Heavily textured stucco
-

B. Roofs (where visible)

- Exposed corrugated metal or plastic
- Cedar shake
- Brightly colored

C. Fences/Walls/Gates

- Unpainted, plain concrete block
- Chain link or “cyclone” fences
- Rough sawn or natural wood

Lighting

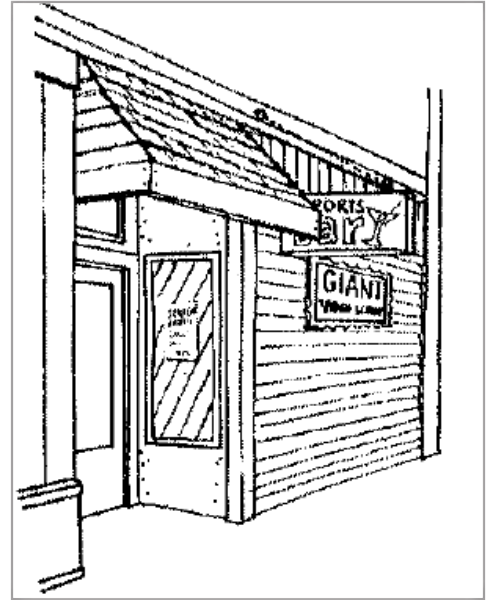
- Exterior lights that are part of a building facade shall provide adequate lighting levels and be designed to satisfy functional needs and complement the architectural style of the building.
- Storefronts with a deep threshold shall install a light into the ceiling of this area to illuminate building entrances.
- Rear security lighting shall be provided with a minimum 1.5 foot candles per square foot. The level of lighting shall be measured at ground level and should not adversely impact neighboring residences.

Facade and Storefront Rehabilitation

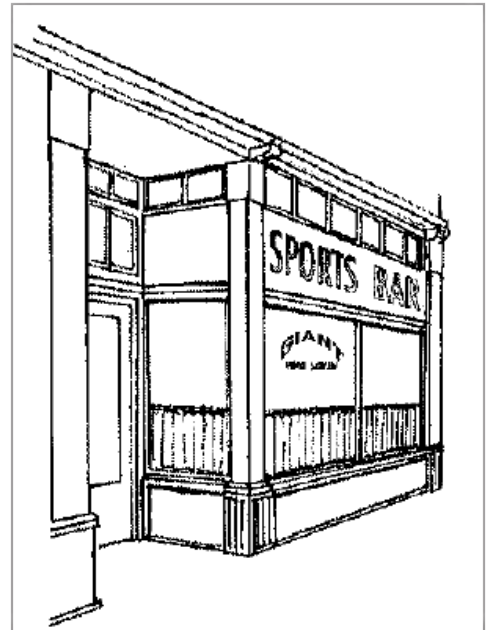
Considering Downtown Lomita has a richly varied architectural vocabulary, the facade rehabilitation guidelines that follow are written to allow flexibility of choice within basic design criteria. Their purpose is to promote diversity of design choices for “adding to” or modifying an existing structure. To the extent possible, compare the existing facade of a building with that shown in an old drawing or photograph. Contemporary designs can create a distinguishing identity for a building’s facade as long as the contemporary design is compatible with the historic design integrity and proportions of the building as a whole (i.e. bulkheads, transom windows, recessed entries, full display windows).

Window Replacement

If a window has deteriorated beyond repair or is missing, the replacement shall match the original window. If a suitable replacement cannot be found, the new window shall be consistent with the window requirements in Section Four.



Covered up facade



Uncovered original facade

Door Replacement

If a door has deteriorated beyond repair or requires replacement, the replacement shall match the original door. If a suitable replacement cannot be found, the new door shall be consistent with the door requirements in Section Four.

Removal of Elements Inconsistent with Original Facade

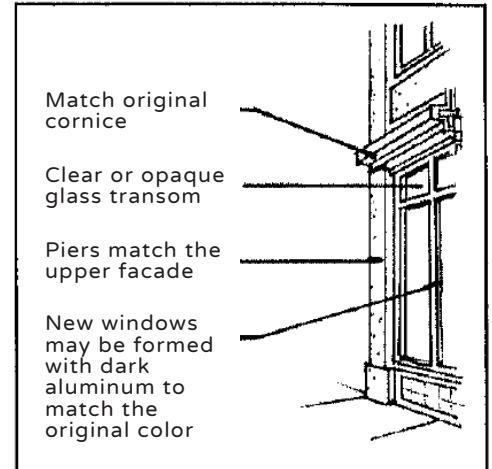
Existing building elements incompatible with the original facade design of the building should be removed. Any “added on” modernization or aluminum grille addition should be removed to reveal the original facades. These should be removed in nearly every facade improvement attempt. The facade can then be remodeled or restored to reflect its original appearance. The remodeling / restoration effort should stress the conservation of the unique stylistic features of the original building.

Preserve Traditional Decoration

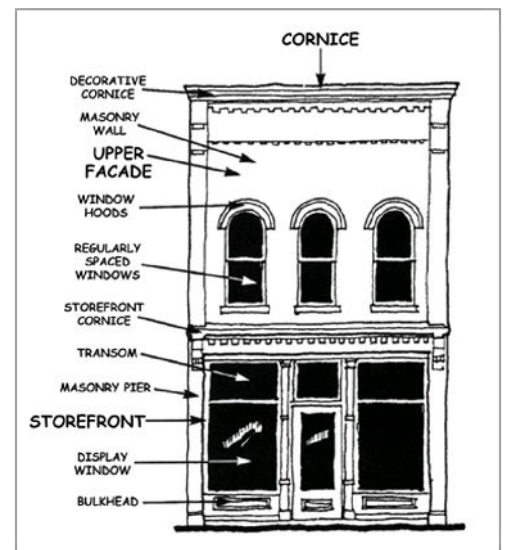
All existing historic decoration should be preserved. It reinforces the traditional character of the Lomita Downtown and adds a richness of detail which is often irreplaceable at today’s costs. At the same time, the details of the decoration lend a unique character to individual buildings and to the Downtown as a whole.

Selection of Building Materials

Contemporary materials which have characteristics similar to traditional materials can be appropriately used in facade rehabilitation. In general, materials such as brick veneer of a color which enhances the traditional character of the facade should be employed. Their profile should be similar to the profile of the traditional materials they replace. High gloss materials such as opaque glass and porcelain enamel should be used only within the storefront opening. Materials such as cedar shakes, textured plywood, stone veneer, stucco veneer, vinyl, and fiberglass are not appropriate for use on traditional facades.



Replacement of original facade materials should match original details



Traditional facade components

Storefront Design

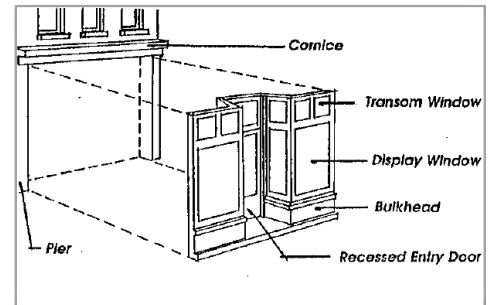
Overview

Although the storefront facade is only one of the architectural features of the entire building, it is the most important visual element. The storefront traditionally experiences the greatest amount of change during a building's life, and holds the most potential for creative alterations affecting both the character of the building and the streetscape. Once inappropriate (modernized) additions are removed, the storefront's original design may be the best guideline for any new alterations. Historically, the traditional "Main Street" storefront has limited decorative elements. Emphasis is placed on the display windows and their contents to entice customers into the business. The rest of the storefront is typically designed in a simple manner, in order to not compete with the storefront.

In an effort to preserve and revitalize Downtown Lomita storefront designs on existing structures and promote quality design for new infill buildings, the following specific storefront guidelines are presented.

Entries

- Recessed entries should be retained and are encouraged in new or rehabilitated storefront construction.
- Traditional recessed entries feature chamfered or angled window walls that invite sidewalk pedestrians to explore the space.
- Entry flooring usually contains enhanced paving and detail.
- If the ceiling inside the structure has been lowered, the ceiling should be sloped up by 2-3 feet to meet the transom, allowing light to penetrate the interior of the building.



Traditional storefront features

Storefronts

- Traditional storefronts feature display windows, transom windows, entry doors, and bulkheads (see diagram). Traditional storefronts also can feature a fascia above the storefront for signage and a cornice or other detail to separate the lower level facade from upper level uses.
- Traditional storefronts typically use enhanced materials on bulkheads and piers separating the stores or structural bays. Appropriate materials for these elements include painted wood or composite board, tile, brick, and smooth plaster.
- New storefronts should interpret traditional features in innovative ways.

Windows

Windows create a visual rhythm of building openings, as well as provide views into the interior. The primary function of storefront glass should be to encourage visibility to interior display areas or building interiors. The windows of retail stores should vary in size and shape, depending on the nature of the business, as well as the architectural style of the building. When considering new window fenestration, it is important to relate the proposed design to adjacent buildings. Specific design criteria related to window treatments include the following:

- Use clear glass (maximum light transmission based on energy codes) on the first floor. Using iron-free glass which improves visibility into stores is highly encouraged. Tinted glass allowing a minimum of 50 percent light transmission may be considered only for use in second floor windows. The use of reflective glass is prohibited.
- Window frame material shall be wood or steel. If aluminum storefront is used it should be dark anodized or powder coated. Vinyl or fiberglass windows at street level are prohibited.
- Storefront windows should be as large as possible, but no closer than 6" to the ground. Maximum bulkhead heights for new construction should be 30". Bulkheads should be finished and not exposed concrete. By limiting the bulkhead height, the visibility of the storefront display and retail interior is maximized.



New storefront within a traditional context



Window framing must be made of wood or steel

- Storefront windows should create visual interest – divided lights, and sliding and rolling doors that connect interiors with the sidewalk are encouraged.
- Permanent painted window signs are encouraged on first floor windows, limited to 25 percent of the window area.
- Mechanical grilles and vents must be coordinated with all storefront designs. Air conditioning units placed in front of windows are not permitted.



Retail visibility is improved with low bulkhead heights

Doors

Many of the storefront entrances in Downtown Lomita are comprised of standard aluminum and glass doors. In any renovation effort, doors should be selected to harmonize with the building facade. Traditionally, the storefront door was more than just a door. Tall and stately in proportion, its design reflected its commercial importance. Its wood and glass construction made it substantial and inviting to the customer. Other storefront doors (usually leading to upper floors) were similar in appearance but less impressive than the main entry door.

The storefront entry should play a similar role today. The customer should be invited into the store by a pleasant entry. Six general concepts that guide the design of doors include the following:

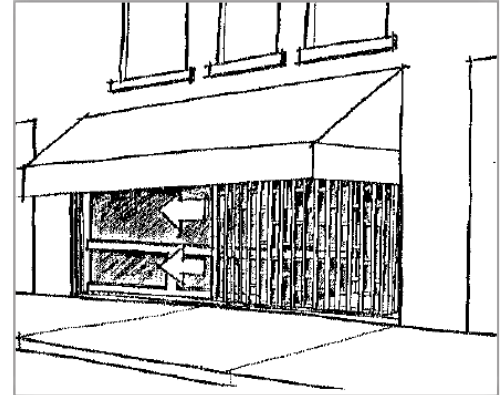
- In new and remodeled buildings, doors shall be a minimum of eight feet high. Transom window lights above the door should be created or maintained.
- Roll-up or sliding doors that connect the sidewalk and interior spaces are strongly encouraged.
- Street level doors must maintain a glazed window element and not be solid.
- Doors should have enhanced materials and hardware to create a pleasing experience on the sidewalk. Preferred materials include wood (painted or stained) or steel. Standard aluminum entry doors are discouraged.



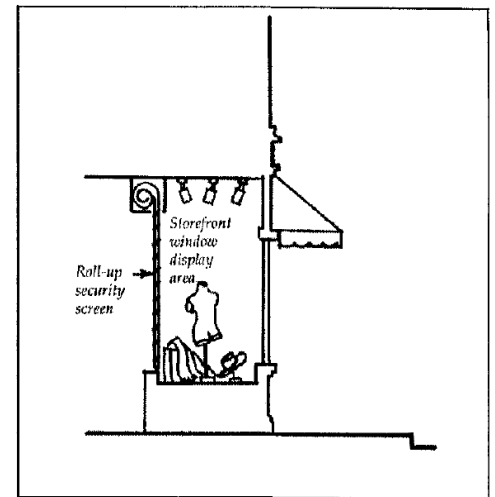
Tall and transparent doors contribute to an inviting storefront

Security

- Storefront security should be enhanced through the utilization of shatter-resistant, high-security glass.
- Electronic security systems are recommended.
- The use of exterior, scissor-style security grilles is not permitted. Any utilization of interior scissor grilles shall be concealed from public view when not in use by retracting the grilles into casings that are in proportion and scale with the building's architecture.
- Exposed permanent security bars (defined as those clearly visible and fixed to windows or the facade) and roll-up metal security doors at the building face are prohibited. Security grilles must be placed at least 4 feet behind storefront windows.
- Window signage shall not occupy more than 25% of any individual window area and shall be placed to maintain a clear and unobstructed view of the interior of the business establishment from the sidewalk.



Security grille should roll out from hidden panel



Roll up security screens must be located behind storefront windows

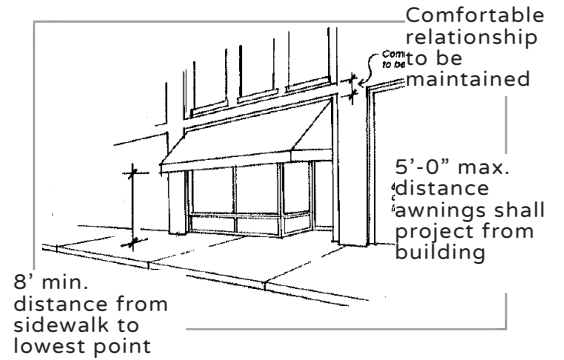
Awnings

Awnings play a significant role in encouraging pedestrian traffic throughout the year. Awnings protect a pedestrian on the sidewalk from extremes of sun and weather, and also contribute accent color, pattern, and signage to the streetscape. Awnings are available in a wide variety of types, shapes, and materials. They can be retractable or fixed in one position. They can be made in almost any shape or profile. The most appropriate awnings are made from treated canvas and are available in many traditional colors and striped patterns.

The awning can play a special role in bringing visual harmony to the Narbonne Avenue or Lomita Boulevard corridor. The careful addition of an appropriate awning can create a pleasant transition between upper and lower floors. In such cases, the color and pattern of the awning should be carefully chosen to tie the two basic facade portions together.

The following awning guidelines should be consulted when constructing or rehabilitating structures located within the Lomita Downtown:

- Where the facade is divided into distinct bays or sections by vertical architectural elements, awnings should be placed within the width of the bay or section feature rather than extending between and overlapping them. The awning design should respond to the scale, proportion, and rhythm created by these elements.
- Minimum height of awnings shall be 8'-0" as measured from the bottom of the awning to the sidewalk and shall not extend outwardly more than 6'-0" from the face of the structure. (The 6'-0" dimension should be diminished when tree plantings and other obstacles dictate.)
- Awnings shall be weather-treated canvas over steel frames. New aluminum awnings or canopies are not permitted.
- The highest point of a first-floor awning shall not exceed the midpoint of space created between the second story window sill (or parapet for a single story building) and the top of the first floor storefront window. The awning location shall leave a comfortable space between awning and architecture elements that comprise the building.
- Care should be taken so that awnings do not obstruct views to adjacent businesses.
- Awning shape shall relate to window/door openings. Barrel-shaped awnings shall be used to complement arched windows, while square awnings shall be used on rectangular windows.
- Awnings may be dropped straight down from ends of canopies or in archways, thereby allowing more shade and sign area.
- Awnings shall be well maintained, washed regularly, and replaced when faded or torn.
- When there are several businesses in one building utilizing awnings, the awnings should be coordinated in terms of color, trim, and form. In order to differentiate the individual businesses found within the building, simple signs on the valance may vary in type style and color.

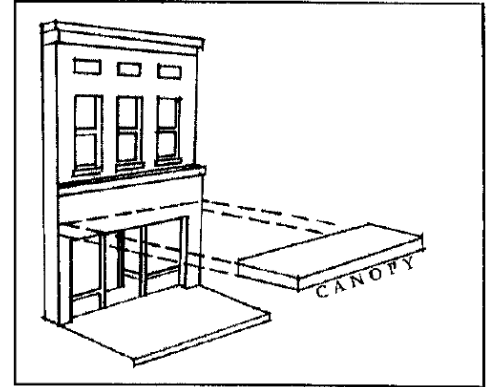


Awnings encourage year-round pedestrian traffic

Canopies

Canopies serve a similar function to awnings. A canopy is usually permanently affixed to the building, flat, and made out of solid materials versus canvas or vinyl. The design criteria for canopies are similar to those of awnings. They are as follows:

- Canopies shall reflect the character of the building, particularly in material and color selection.
- The highest point of a canopy or its superstructure shall not be higher than the midpoint of the space located between the second story window sill, or parapet for a single story, and the top of the first floor storefront window. The purpose of this requirement is to leave a comfortable space between the top of the canopy and the window, trim, and other architectural elements.
- Canopies are permitted to shelter openings at the bottom floor only.
- Minimum height of a canopy or a sign hung from a canopy shall be 8'-0" from the lowest canopy/sign point to the sidewalk.
- Adding a brow canopy to an existing building which is visually incompatible to a canopy form is not permitted.

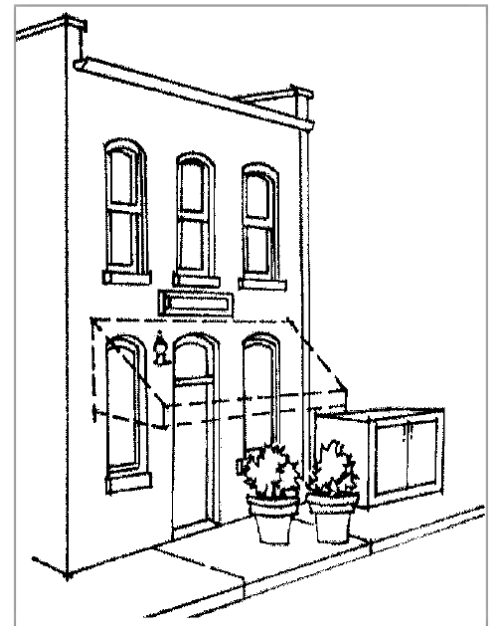


Canopies must reflect the building's character

Rear Entrances

The design of a rear entrance, including identification signage, should be appropriate to its surroundings. The visual character of rear facades, alleys, and parking lots is a relatively casual and utilitarian one, especially when compared to formal facades. In this context, a refined or grand design can look out of place. Rather, the design should be pleasant, incorporating architectural elements from the front facade, but simple in detail. Specific design criteria related to rear entrances includes the following:

- Signs should be modestly scaled to fit the casual visual character of the rear parking area.
- A canvas awning can soften rear facades and provide a pleasant protected entrance space.
- The rear entry door should be wood and glass or similar to the front door. Security hardware on the inside of the door is acceptable.



Rear entry treatment should reflect the front facade treatment. Add pedestrian scale amenities such as display windows, awnings, wood and glass, doors, and surface paving

Signage

Overview

Downtown Lomita, through facade improvements, will offer an exciting variety of building types, architectural styles, materials and well-crafted details that form a distinctive, memorable context for individual businesses. Thus, large signs are not only out of scale here, they also overwhelm the very architectural features that will make the small downtown a special place.

When carefully planned, signs communicate essential information while ordering and enhancing the architectural character of downtown. A sign's use of color, its size, shape, placement, and selection of lettering can attract or detract from its effectiveness. An effectively designed sign should:

- Be compatible with the surrounding physical and visual character of the area.
- Promote the “individuality” of establishments.
- Identify the business clearly and attractively.
- Reduce the amount of visual clutter caused by excessive and poorly placed signage.

All signs within the boundaries of Downtown Lomita are to be designed utilizing these Design Guidelines. These guidelines are in addition to any other requirements of the City of Lomita for regulating signs. If there is a conflict between the requirements of the guidelines and the Zoning Code, the more restrictive of the requirements shall prevail.



Simple signage painted directly on the storefront

Preferred Sign Types

While many sign types are permitted in Downtown, the following sign types are preferred:

- Wall-mounted signs at upper portion of first story. Individually mounted channel letters are encouraged. Exposed raceways are prohibited.
- Awning signs (restricted to valance or end flap).
- Projecting or hanging signs.
- Building address numbers.
- Marquee signs for civic, movie and theater uses.
- Civic and community signage
- Murals and supergraphics (painted on a wall surface) not advertising a business.
- Permanent painted window signs on first floor windows limited to 25 percent of the window area.
- Building signs at rear entrances when rear customer entries exist.
- Signs made of carved or sandblasted wood.
- Portable A-frame signs.



Projecting signs can advertise a business with its form

Discouraged Sign Types

- Internally illuminated can signs with light colored / translucent background / field.
- Any signs above the first story (except window signs).
- Paper, cloth, or plastic streamers and bunting – except holiday decorations.
- Statues used for advertising.
- Traffic sign replicas.
- Vehicle signs attached to vehicles parked to advertise a nearby business.
- Swinging signs.
- Internally-illuminated or backlit awnings.

General Design Guidelines for Signs

Clear Sign Message

- Use a brief message. The fewer the words, the more effective the sign. A sign with a brief, succinct message is simpler and faster to read, looks cleaner, and is more attractive.
- Avoid hard-to-read, overly intricate typefaces. These typefaces are difficult to read and reduce the sign's ability to communicate.
- Lettering should be in proportion to the size of the sign. As a rule of thumb, the recommended size of letters is between one-third ($1/3$) to one-half ($1/2$) the height of the sign.
- Avoid signs with strange shapes. Signs that are unnecessarily narrow, oddly shaped, or unrelated to the products or services being provided on site can restrict the legibility of the message. If an unusual shape is not symbolic, it is probably confusing.
- Use widely-recognized logos rather than print/ text whenever possible.
- Make signs smaller if they are oriented to pedestrians. The pedestrian-oriented sign is usually read from a distance of fifteen to twenty feet; the vehicle-oriented sign is viewed from a much greater distance. The closer a sign's viewing distance, the smaller that sign need be.

Sign Architectural Compatibility

- Signs should make a positive contribution to the general appearance of the street and the character of the neighborhood in which they are located.
- Sign size should be proportionate. The size and shape of a sign should be proportionate with the scale of the structure and should not overwhelm the architecture of the building.
- Place wall signs to establish facade rhythm, scale, and proportion where facade rhythm does not exist. In many buildings that have a monolithic or plain facade, signs can establish or continue appropriate design rhythm, scale, and proportion.

- As an alternative to an attached sign, lettering may be painted directly on the building facade. This method resembles a wooden or metal band but does not require the introduction of another material.

Awning Signs

Awning signs shall be placed on the awning flap. The flap should be at least eight (8) inches in height so that the letters and symbols can be big enough to read easily.

Hanging Signs

A hanging sign is a sign suspended from a support that projects from the building wall. Similar to awning signs and banners, a hanging sign can add interest and vitality to a street. Hanging signs can include pictorial images, logos, and symbols.

- The size of a hanging sign should be proportional to the building facade to which it is attached and typically should not exceed ten (10) square feet.
- A hanging sign should be hung perpendicular to and should not project more than four (4) feet from the face of the building.
- To minimize visual clutter, hanging signs should not be located within close proximity to other hanging signs or projecting signs, preferably maintaining a separation of at least twenty-five (25) feet from each other.

The placement of a hanging sign should not impede the safe movement of people or vehicles within a public right-of-way and should be properly secured to a building in a structurally sound manner.



Hanging signs can add visual interest to the street



Awnings should include large, clear lettering identifying the business

Design for Crime Prevention

Security

Design strategies incorporating safety are based on the practice called Crime Prevention Through Environmental Design or CPTED (pronounced “sep-ted”). There are four principles used in the application of CPTED: Natural Surveillance, Natural Access Control, Territoriality, and Management and Maintenance.

- Natural surveillance: The organization of physical features, activities and people in such a way as to maximize visibility.
- Natural access control: The physical guidance of people coming and going from a space by the judicious placement of entrances, exits, signs, fencing, landscaping, and lighting.
- Territorial reinforcement: The use of physical attributes that express ownership, such as fences, pavement treatments, art, signage and landscaping.
- Management and Maintenance: The continued use of a space for its intended purpose, which serves as an additional expression of ownership.

Design Considerations

The following design considerations, as well as many of the preceding guidelines, incorporate CPTED principles and should be considered for any new or rehabilitated commercial development in Lomita.

- Storefront security may be enhanced through the utilization of shatter-resistant laminated high-security glass (or glass-clad polycarbonate windows).
- The use of exterior scissors-style security grilles is not permitted. Any utilization of interior scissors grilles must be concealed from public view when not in use by retracting the grilles into casings which are in proportion and scale with the building’s architecture. However, although they are allowed, the use of interior scissors grilles is discouraged since they communicate a message of high crime and often cannot be integrated visually into the overall design of a building or storefront.

- Permanent security bars (defined as those clearly visible and fixed to windows or the facade) and roll-up metal security doors are not permitted.
- Exterior lights that are a part of streetscape improvements should provide adequate lighting levels. However, in the case of a deep threshold to a building, a light applied to the ceiling of this area is strongly recommended to illuminate the building entrance.
- Lighting should be designed to satisfy both functional and decorative needs. Storefront lighting should complement the architectural style of the building while providing illumination of building facades and entrances.
- Rear security lighting should be provided and maintained at 1½ foot candles per square foot. The level of lighting should be measured at ground level. All security lighting should be designed as part of an overall lighting plan rather than as single stand alone elements.
- Safety behind buildings should be ensured through the use of: 1) adequate security lighting for parking areas and pedestrian walkways; 2) limited access (through the use of walls, fences, gates, shrubs); 3) signage; 4) introduction of activities that increase surveillance (e.g. rear entrances for commercial businesses); 5) surveillance through windows or with cameras; and 6) ongoing maintenance of storage areas and alleys.

DRAFT

Exhibit B



Below is a summary of proposed modifications to the City of Lomita’s 1999 Downtown Design Guidelines, including significant additions, deletions and restructuring intended to streamline and update the original document.

Project Goals

- Update the 1999 Guidelines to complement the 2018 Downtown Lomita Vision
 - Align guidelines with current best practices
 - Consolidate sections and reduce overall text
 - Clarify development standards to encourage private development
 - Encourage development that supports a vibrant, cohesive, walkable Downtown
 - Revised language to encourage implementation - more “shalls” than “shoulds”
-

Restructured Chapters

- 1999 Chapters
 - o Infill Design Guidelines
 - o Storefront Design
 - o Facade Rehabilitation
 - o Sign Guidelines
 - o Design for Crime Prevention
 - o Streetscape Design
 - 2019 Chapters
 - o Site Plan and Massing
 - o Facade Design
 - o Storefront Design
 - o Signage
 - o Design for Crime Prevention
 - o Streetscape Design [Not included in this exercise]
 - Section contents were shifted and consolidated to make a more coherent document, reduce repetition, and facilitate ease of reference
 - Addition of images to support text and diagrams, reduction of redundant diagrams
-

Introduction

- Original study area retained
 - o Narbonne Avenue from 240th to 247th
 - o Lomita Boulevard from Moon Avenue / Alliene Avenue to Woodward Avenue

- Reduced and revised introductory text to reiterate focus on context-sensitive design that celebrates Downtown Lomita's historic character

Site Plan and Massing for New Construction and Significant Remodels

- Revised and expanded the original infill section to also address significant remodels. Proposed definitions
 - o Minor Remodel: Alterations to the exterior OR interior structure and form of a building under \$30,000
 - o Major Remodel: Alterations to the exterior OR interior structure and form of a building over \$30,000
- Consolidated and added dimensions to massing guidelines
 - o Retained 0' setback from property line, 100% street frontage provisions, and 10' corner setback for buildings located at intersections
 - o Added 20' minimum building height
 - o Added 30' minimum ground floor building depth and 15' ground floor height to increase commercial viability
 - o Added provisions for stepping back building massing a minimum of 6 feet above the 3rd floor, or 40 feet, whichever is lower
 - o Required introduction of structural bays to buildings after 25' of unbroken facade
 - o Added language requiring driveways to be located on side streets or alleys; where not feasible, directs minimum disturbance of overall streetscape and building site
- Consolidated all mechanical and equipment screening provisions, previously distributed throughout the 1999 Guidelines into this section
 - o Clarified screening guidance, and reinforced importance of not disrupting the pedestrian experience
 - o All mechanical/electrical/plumbing utilities must be screened from view and architecturally integrated into building design
- Building materials section moved to Facade Design
- Security section moved to Storefront Design

Facade Design

- Updated facade requirements
 - o Entrances are encouraged to incorporate small forecourts, recesses, and nooks
 - o 75% of ground floor storefront comprised of windows
 - o No more than 3 colors for any given facade – colors to relate to overall block as whole
- Facade rehabilitation section expanded
 - o Removed unnecessary introductory text, retaining only the most actionable guidelines to reduce confusion
 - o Added direction for rehabilitation of existing structures as well as for new construction

- Retained guidance on preservation / restoration of historic facades particularly for doors and windows
 - Recommended frontage materials moved to this section from 1999 Infill chapter, minor updates to reflect current architectural styles
-

Storefront Design

- Expanded entries section to encourage inviting storefronts
 - Encourages new storefronts to interpret traditional features in innovative ways
 - Chamfered window walls, enhanced paving and details, and recessed entries encouraged
 - Expanded storefront windows section
 - Large storefront windows encouraged
 - Clear glass only on first floor windows
 - Reflective glass prohibited
 - Window frames required to be made of wood or steel
 - Maximum storefront window size increased – now allowed up to 6” from ground, previously 18”
 - Maximum window bulkhead heights reduced from 36” to 30” and required to be finished as opposed to exposed concrete
 - Added provisions encouraging sliding and rolling doors that connect interiors with the sidewalk
 - Retained language directing that rear entrances must not compete with front facades
 - Retained 8’ minimum height for awnings and canopies
 - Awnings required to be made of weather-treated canvas over steel frames (no vinyl)
 - Brow canopies prohibited
-

Signage

- Reduced signage text about traditional roll of downtown signage, retained notes about avoiding visual clutter and ensuring signage is compatible with surrounding buildings
 - Individually mounted channel letters encouraged; exposed raceways prohibited
 - Signs must be proportionate and not compete with scale/structure of building
 - Added portable a-frame signs to preferred types
 - Removed neon lighting from preferred sign types
 - Simple, painted store names and addresses encouraged
 - Signs above first floor prohibited
- Eliminated section proscribing signage colors
- Eliminated requirement for building address numbers mounted above main entries

Design for Crime Prevention

- Crime Prevention Through Environmental Design (CPTED) standards remain relevant – introductory text reduced, but provisions retained largely unedited
- Storefront lighting to complement architectural style and focus on nooks and thresholds
- Permanent security bars prohibited
- Exterior scissor style security grills not permitted – security measures must be retractable and concealed from public view when not in use
- Safety behind buildings maintained with lighting, signage, and “back of house” maintenance